

EXISTING TRACT 4 ZONING TO REMAIN AS INDICATED ON MASTER PLAN PREPARED BY PAUL BRASWELL, ARCHITECT, P.A. DATED 6-30-83 AS APPROVED 7-18-83 REPLACING NEVINS CTR. PETITION 77-63

ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: 12/8/97
BY: MARTIN R. CRAMTON, JR.

GERNE (MRS. W.A.) THOMAS
4600 STATESVILLE RD.
CHARLOTTE, NC 28219
T/C 45-281-3, DEED
ZONED R-9

TRACT NO. 4
NEVINS CENTER, INC. (SEE OVERALL PLAN)
P.O. BOX 28540
3523 NEVINS RD, CHARLOTTE, NC 28219
T/C 45-291-4, DEED 3324-515
INSTITUTIONAL (C.D.) SPECIAL USE DISTRICT

ROBERTA W. MARGARET MORGAN
RFD 1, BOX 10
SANDFIELD, NC 28163
T/C 45-291-1
DEED 2436-56
R-9

WED. ADRIAN W. GREENE
NO ADDRESS GIVEN
T/C 45-291-6
DEED 2389-125
R-9

TRACT NO. 5
NEVINS CENTER, INC.
T/C 45-291-4
DEED 3324-515
R-9
9.66 ACRES

TRACT NO. 6
NEVINS CENTER, INC.
T/C 45-291-5
DEED 3324-515
R-9

TRACT NO. 7
NEVINS CENTER, INC.
T/C 45-291-6
DEED 3324-515
R-9

TRACT NO. 8
NEVINS CENTER, INC.
T/C 45-291-7
DEED 3324-515
R-9

TRACT NO. 9
NEVINS CENTER, INC.
T/C 45-291-8
DEED 3324-515
R-9

TRACT NO. 10
NEVINS CENTER, INC.
T/C 45-291-9
DEED 3324-515
R-9

TRACT NO. 11
NEVINS CENTER, INC.
T/C 45-291-10
DEED 3324-515
R-9

TRACT NO. 12
NEVINS CENTER, INC.
T/C 45-291-11
DEED 3324-515
R-9

TRACT NO. 13
NEVINS CENTER, INC.
T/C 45-291-12
DEED 3324-515
R-9

TRACT NO. 14
NEVINS CENTER, INC.
T/C 45-291-13
DEED 3324-515
R-9

TRACT NO. 15
NEVINS CENTER, INC.
T/C 45-291-14
DEED 3324-515
R-9

TRACT NO. 16
NEVINS CENTER, INC.
T/C 45-291-15
DEED 3324-515
R-9

TRACT NO. 17
NEVINS CENTER, INC.
T/C 45-291-16
DEED 3324-515
R-9

TRACT NO. 18
NEVINS CENTER, INC.
T/C 45-291-17
DEED 3324-515
R-9

TRACT NO. 19
NEVINS CENTER, INC.
T/C 45-291-18
DEED 3324-515
R-9

TRACT NO. 20
NEVINS CENTER, INC.
T/C 45-291-19
DEED 3324-515
R-9

TRACT NO. 21
NEVINS CENTER, INC.
T/C 45-291-20
DEED 3324-515
R-9

TRACT NO. 22
NEVINS CENTER, INC.
T/C 45-291-21
DEED 3324-515
R-9

TRACT NO. 23
NEVINS CENTER, INC.
T/C 45-291-22
DEED 3324-515
R-9

TRACT NO. 24
NEVINS CENTER, INC.
T/C 45-291-23
DEED 3324-515
R-9

TRACT NO. 25
NEVINS CENTER, INC.
T/C 45-291-24
DEED 3324-515
R-9

TRACT NO. 26
NEVINS CENTER, INC.
T/C 45-291-25
DEED 3324-515
R-9

TRACT NO. 27
NEVINS CENTER, INC.
T/C 45-291-26
DEED 3324-515
R-9

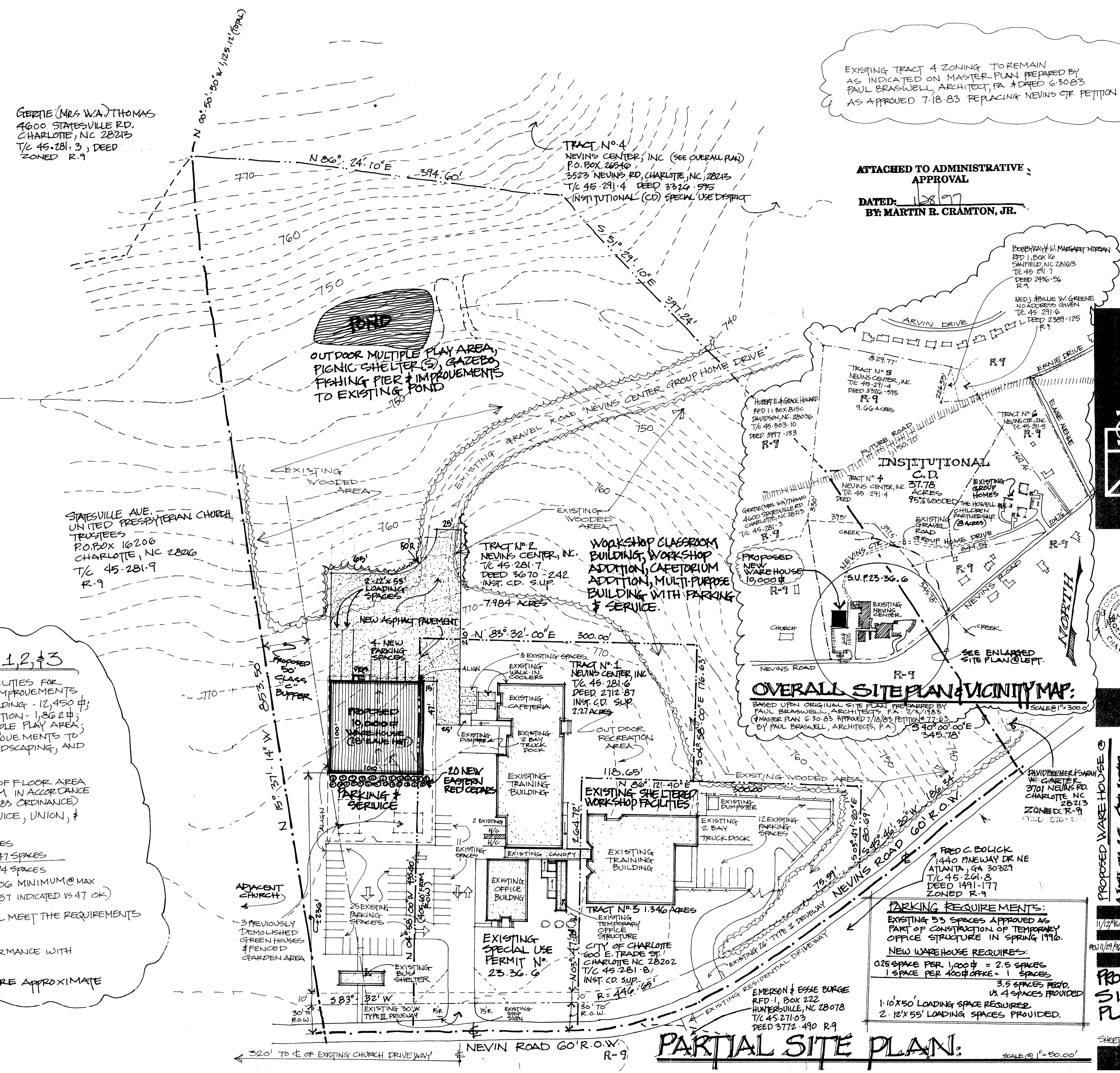
TRACT NO. 28
NEVINS CENTER, INC.
T/C 45-291-27
DEED 3324-515
R-9

place PLANNING and DESIGN

3831 NORTH CAROLINA AVENUE CHARLOTTE, NC 28202

PROPOSED WAREHOUSE @ NEVINS CENTERS, INC. 3525 NEVINS ROAD CHARLOTTE, NORTH CAROLINA 28269

PROPOSED SITE PLAN SHEET 1 OF 1



SITE PLAN AMENDMENT PROPERTY - TRACTS NO. 1, 2, & 3

DESCRIPTION: EXPANSION OF EXISTING SHELTERED WORKSHOP FACILITIES FOR DEVELOPMENTALLY DISABLED ADULTS & RELATED IMPROVEMENTS TO INCLUDE FUTURE WORKSHOP-CLASSROOM BUILDING - 12,450 SF; WORKSHOP ADDITION - 2,250 SF; CAFETERIA ADDITION - 1,862 SF; MULTI-PURPOSE BUILDING - 11,270 SF; OUTDOOR MULTIPLE PLAY AREA; PICNIC SHELTERS; GAZEBO; FISHING PIER; & IMPROVEMENTS TO EXISTING POND; PARKING; DRIVES, WALKS, LANDSCAPING, AND OTHER SITE IMPROVEMENTS.

PARKING: MINIMUM PARKING SHALL BE BASED ON 40 SF OF FLOOR AREA AVAILABLE FOR THE LARGEST ASSEMBLY ROOM IN ACCORDANCE WITH ARTICLE II, DIVISION 1, SECTION 23-62, (R-9 ORDINANCE) BUILDINGS FOR SOCIAL, FRATERNAL, SOCIAL & SERVICE, UNION, & CIVIC ORGANIZATIONS.

- EXISTING CAFETERIA: @ 1,862 SF ÷ 40 SF = 47 SPACES
- FUTURE CAFETERIA ADDITION: @ 1,862 SF ÷ 40 SF = 47 SPACES
- TOTAL NUMBER OF SPACES REQUIRED = 94 SPACES
- TOTAL NUMBER OF SPACES PROVIDED = 106 MINIMUM @ MAX (57 INDICATED VS 47 OK)

LANDSCAPE SCREENING: ALL PROPOSED LANDSCAPE SCREENING SHALL MEET THE REQUIREMENTS OF THE LOCAL ZONING ORDINANCE.

SIGNS: ALL EXTERIOR SIGNS TO BE LOCATED & CONSTRUCTED IN CONFORMANCE WITH LOCAL SIGN ORDINANCES.

NOTE: ALL BUILDINGS SQUARE FOOTAGES LISTED ABOVE ARE APPROXIMATE

OVERALL SITE PLAN & VICINITY MAP:
BASED UPON ORIGINAL SITE PLAN PREPARED BY PAUL BRASWELL, ARCHITECT, P.A. 7/18/83 (MASTER PLAN G-30-83 APPROVED 7/18/83 PETITION 77-63 BY PAUL BRASWELL, ARCHITECT, P.A.)

PARKING REQUIREMENTS:
EXISTING 53 SPACES APPROVED AS PART OF CONSTRUCTION OF TEMPORARY OFFICE STRUCTURE IN SPRING 1970.
NEW WAREHOUSE REQUIREMENTS:
0.25 SPACE PER 1,000 SF = 2.5 SPACES
1 SPACE PER 4000 SF OFFICE = 1 SPACE
3.5 SPACES PER 10,000 SF WAREHOUSE = 4 SPACES PROVIDED
1-10'x50' LOADING SPACE REQUIRED
2-12'x55' LOADING SPACES PROVIDED.

PARTIAL SITE PLAN: SCALE @ 1" = 50.00'

CHARLOTTE-MECKLENBURG PLANNING COMMISSION
INTER-OFFICE COMMUNICATION

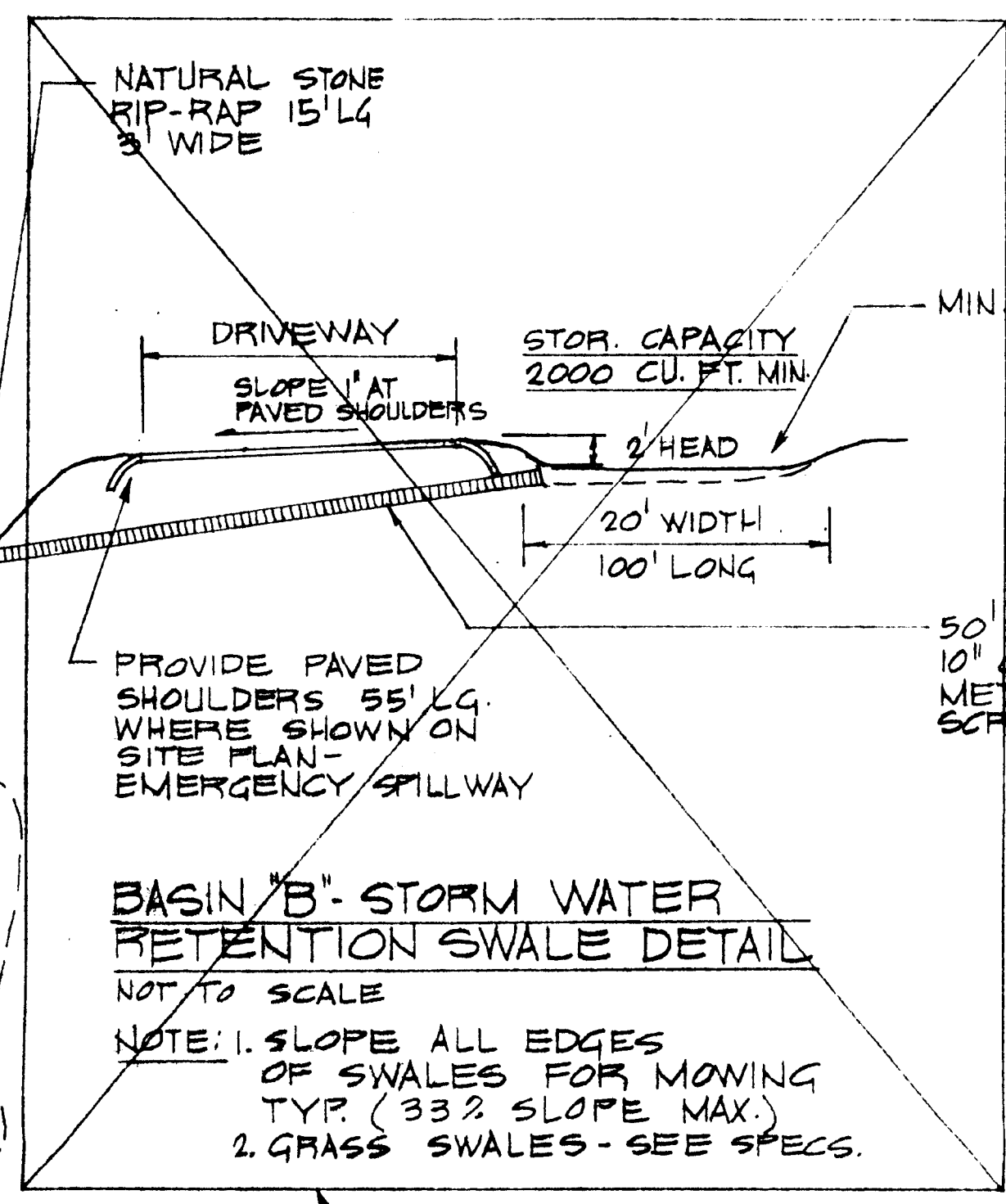
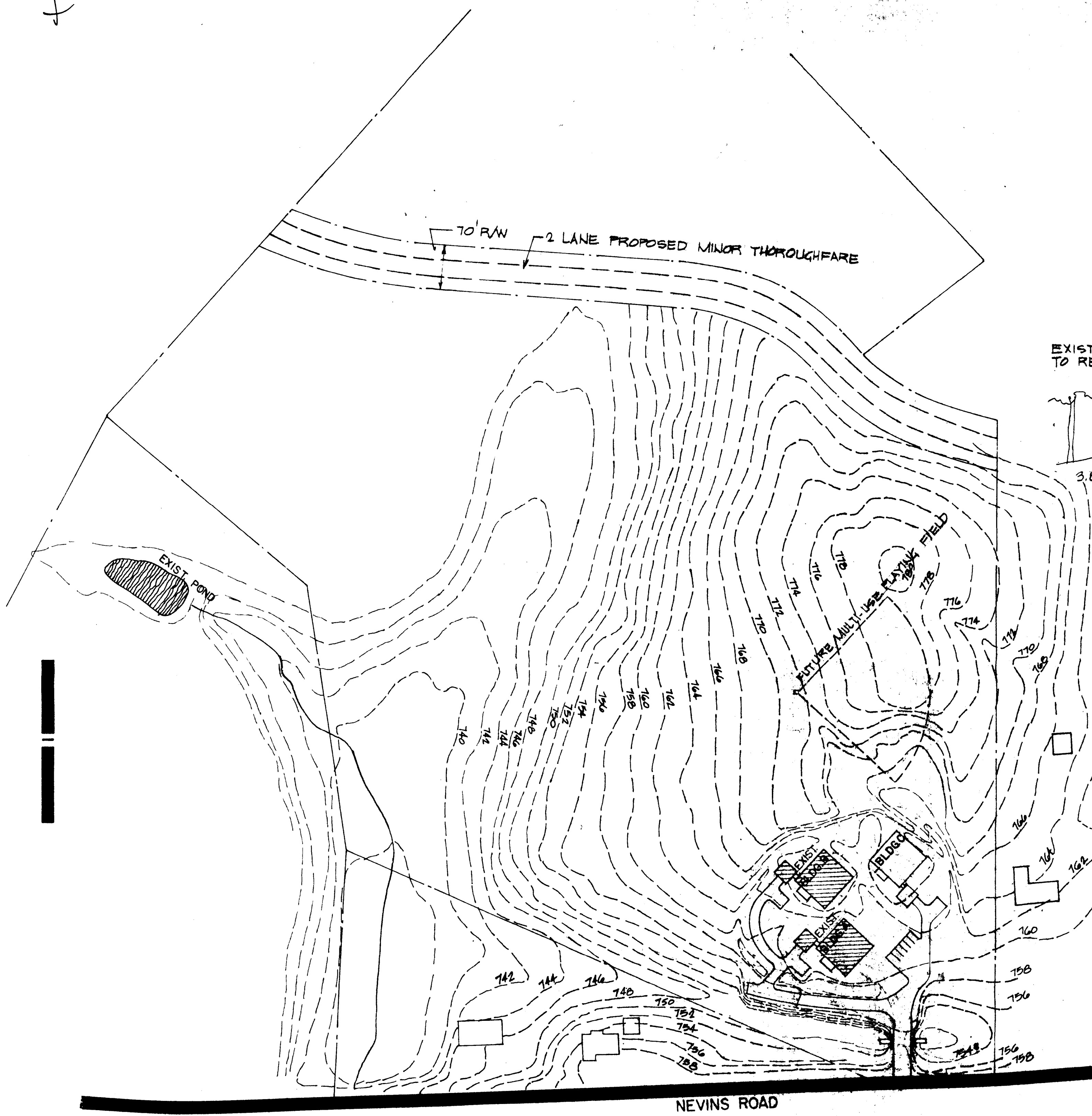
DATE: January 28, 1997

TO: Robert Brandon
Zoning Administrator

FROM: Martin R. Cramton, Jr.
Planning Director

SUBJECT: Administrative Approval for Petition No. 83-40 by Nevins Center Inc. Tax Parcel # 045-291-04

Attached is a revised plan for the above mentioned rezoning petition. The plan has been revised to show a new 10,000 square foot warehouse facility in area where the plan originally allowed green houses. The warehouse will have a 50-foot class "C" buffer along the western property line and will be screened from the public street by two rows of red cedars. These cedars are to be a minimum of 8 feet tall at installation. Since these changes are minor, I am administratively approving this revised plan. Please use this revised plan when evaluating request for building permits and certificates of occupancy.

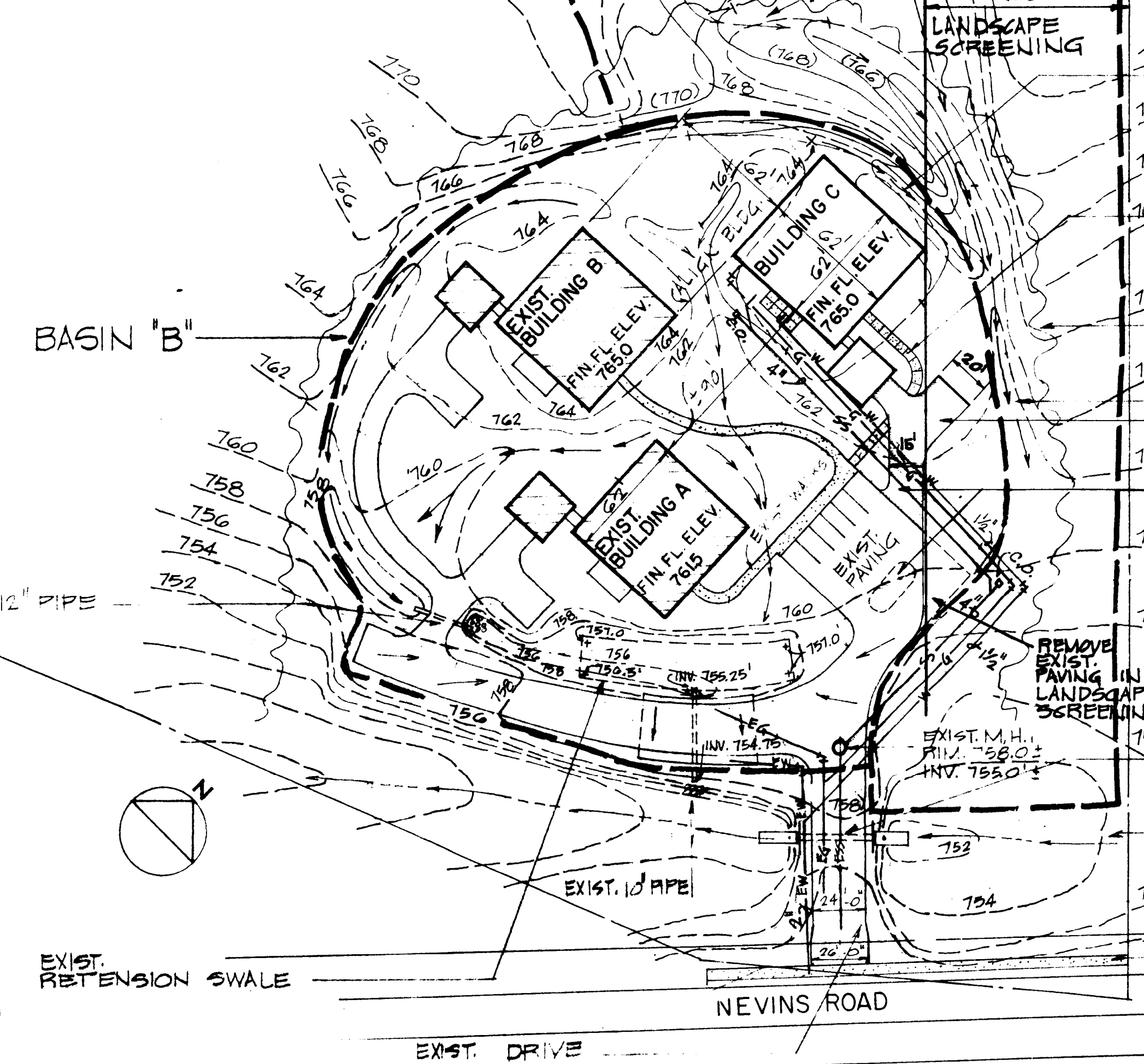


φ AREA OF BASIN "B" 1.38 AC.
 φ AREA OF EXIST. IMPROVED PAVING (BASIN B) 26,000 PRESENT 33,000 FUTURE TOTAL 76 AC.

AREA PLAN
 SCALE: 1" = 100'-0"

SEQUENCE OF CONST. FOR SEDIMENTATION, EROSION CONTROL

1. PROVIDE FOR TEMPORARY EROSION CONTROL DURING CONST. PERIOD BY MEANS OF SWALES, BERMS, SILT FENCES, STRAW BALES, MULCH, TEMPORARY GRASSING, ETC.
2. SURVEY IN & CUT ROADS & PARKING AREAS
3. APPLY & COMPACT BASE COURSE ON ROADS & PARKING AREAS
4. COMPLY WITH ALL LOCAL & STATE OF N.C. REQUIREMENTS & PROVISIONS IN CURRENT ORDINANCES RELATED TO SEDIMENTATION, EROSION CONTROL & STORM WATER RET.
5. UPON COMPLETION OF CONST. GRASSING SHALL BE PROVIDED ON ALL DENUDED AREAS. SEE SPECS.



- PROVIDE DIVERSION SWALE AS REQ'D TO PREVENT DRAINAGE BETWEEN BUILDINGS FROM DRAINAGE AREA "A"
- SWALE AROUND BLDG. AS REQ'D FOR PROPER DRAINAGE
- 4" WIDE x 4" DEEP CONC. WALK WITH CONTROL JOINTS @ 5'-0" MAX.
- EXIST. TREE COVER TO REMAIN
- DIVERSION SWALE VEHICULAR TURNING AREA
- NEW 1/2" BIT. PAVING ON 2" COMPACTED STONE BASE
- UTILITY LINE LEGEND
 EW EXIST. WATER
 W WATER
 EG EXIST. GAS
 G GAS
 ESS EXIST. SAN. SEWER
 SS SAN. SEWER
 EXIST. 30" METAL PIPE
- OFF-SITE WATER PASSES THRU SITE WITHOUT OBSTRUCTION
- EXIST. WALK

SEDIMENTATION, EROSION CONTROL & STORM WATER RETENTION PLAN
 SCALE: 1" = 50'-0"

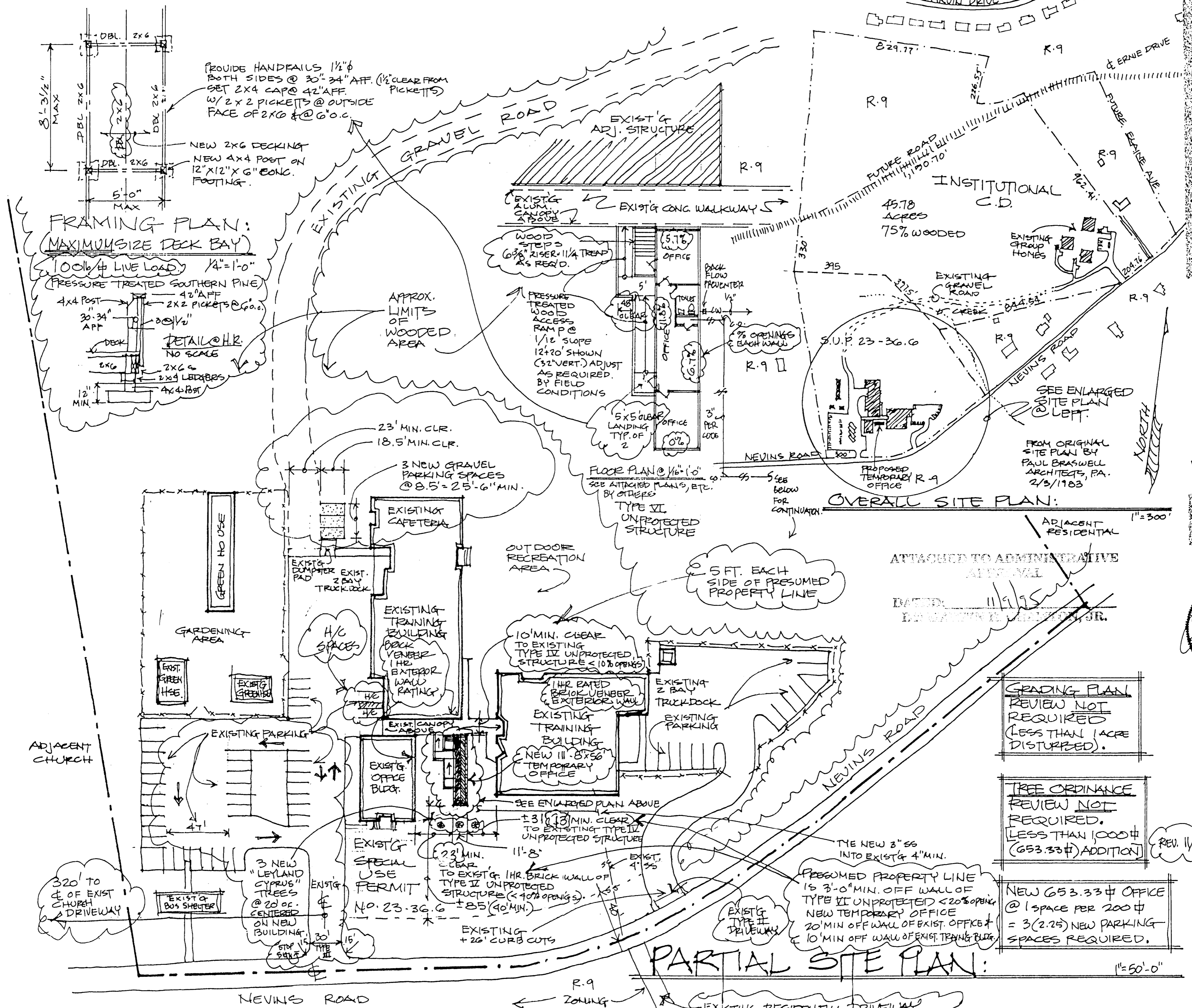
Project No	Drawn	Check	Owner	Consultant - LANDSCAPE ARCHITECT	Paul Braswell Architect PA	Project GROUP HOME	DFS NO. DD-324	Drawing	Scale	Date	Sheet
718-A	MSB	WPB	NEVINS CENTER, INC. CHARLOTTE, NORTH CAROLINA	JORDAN / EVANS / WILLIAMS DESIGN COLLABORATIVE, P.A. CHARLOTTE, NORTH CAROLINA	Charlotte NC	NEVINS CENTER, INC. CHARLOTTE, NORTH CAROLINA		SEDIMENTATION, EROSION & STORM WATER RETENTION PLAN; AREA PLAN & DETAILS	AS NOTED	4-13-84 5-3-84 9-24-84 10-17-85 7-11-86	SW-11 11/5/86 of 1

CHARLOTTE-MECKLENBURG PLANNING COMMISSION
INTER-OFFICE COMMUNICATION

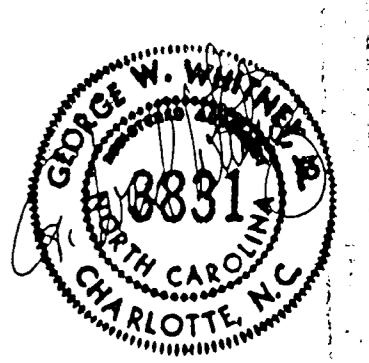
DATE: July 15, 1986
 TO: Mr. Dale Long
 Zoning Administrator
 FROM: Martin R. Gremton, Jr.
 Planning Director
 SUBJECT: Nevins Center Site Plan Amendment to 100' Buffer

Enclosed please find a letter from Paul Braswell requesting an administrative site plan amendment to permit construction of a vehicular turning area within the 100' landscaping area. Provided that the removal of the existing parking area within the 100' buffer is carried out, and landscape materials are installed as noted, I am administratively approving this plan. Please use it when evaluating requests for building permits.

MRCJr.:DL-S:dmh
 cc: Mr. Paul Braswell
 757 Providence Road
 Charlotte, North Carolina 28207



TEMPORARY OFFICE STRUCTURE NEVINS CENTER INC. CHARLOTTE, N.C.



SITE PLAN & DETAILS SHEET 2 of 2

ZONING CODE SUMMARY

PROJECT NAME: NEVINS CENTER, Inc.
 Temporary Office Structure
 Rick Hanford PHONE # (704) 529-3161
 Institutional S.U.P. 23 - 36.6 JURISDICTION: Charlotte
 PROPOSED USE: Accessory Office
 BUILDING HEIGHT: +/- 15' Feet Stories: Single
 BUILDING COVERAGE: 653.33 Sq. Ft. GROSS FLOOR AREA: 653.33 SQ. FT.
 LOT SIZE: 1994177 / 45.78 Sq. Ft./Acres NUMBER OF UNITS/SUITES:
 YARD REQUIREMENTS:
 Setback (front): 40' ft. from R/W 80' ft. from C/L of R/W
 Side Yard (R): 20' ft. Side Yard (L): 20' ft.
 Rear Yards: 20' ft.
 REQUIRED BUFFERS:
 Front: No/Yes ft. Rear: No/Yes Existing ft.
 Side (R): No/Yes Existing ft. Side (L): No/Yes ft.
 REQUIRED SCREENING:
 Front: No/Yes Rear: No/Yes
 Side (R): No/Yes Side (L): No/Yes
 Parking Only: No/Yes
 PAVEMENT COVERAGE: +/- 0.1% (+/- 19,940 / 5) Sq. ft./acres
 PARKING DATA: (specify requirement)
 (X) As Per Charlotte Zoning Ordinance Section #2000
 Required: 2.25 Provided: 3 Handicapped: 0 Compact: Existing
 ALL SIGNAGE WILL BE APPROVED AND PERMITTED SEPARATELY.

THERMAL ENVELOPE CRITERIA FOR BUILDINGS UNDER 15,000 S.F.

BUILDING SECTION	Area (S.F.)	U Values
Walls	1243	0.09
Windows	70.2	1.0
Doors	40	1.0
Roof	653.33	0.052
Floor	653.33	0.09

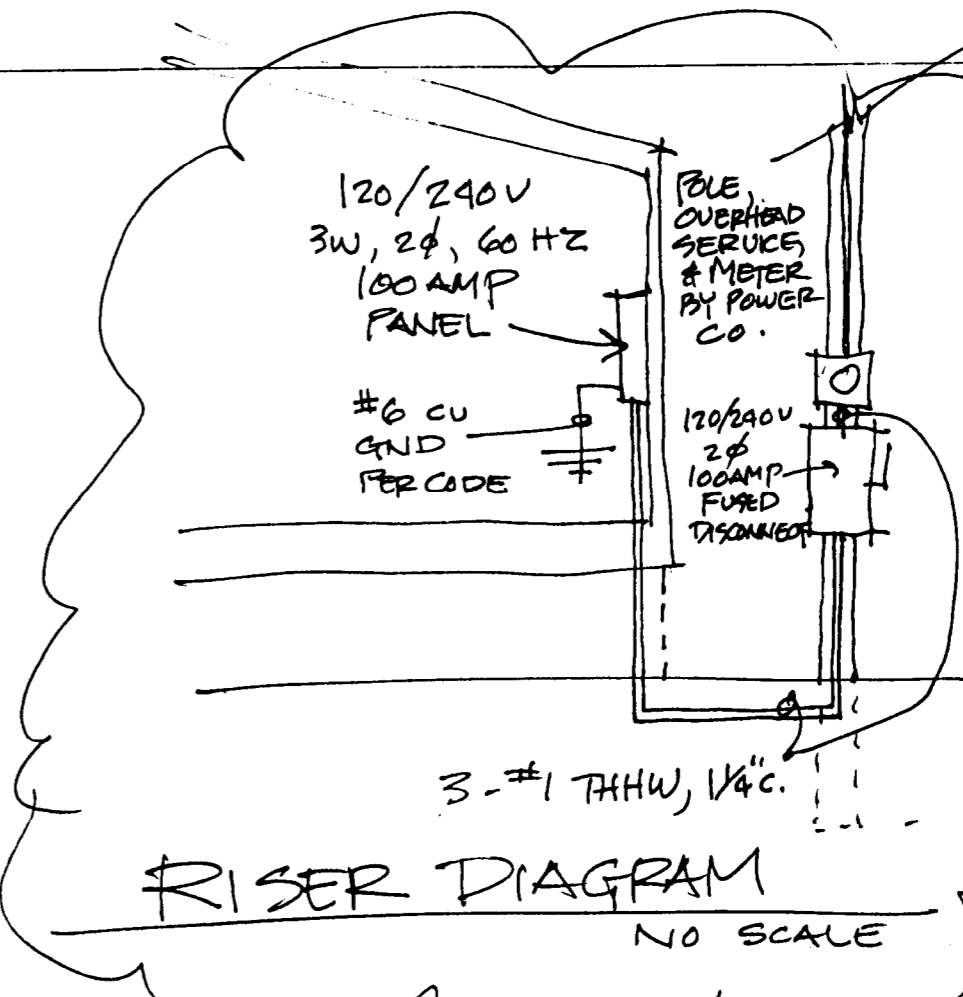
DESIGNER'S STATEMENT
 To the best of my knowledge and belief, the design of this building complies with the applicable requirements of Chapter 32 of the North Carolina State Building Code.
 SIGNED: George Ward Whitney, Jr.
 DATE: 10/12/95 NAME: George Ward Whitney, Jr. TITLE: Architect

GENERAL NOTES:

- All installations made with these plans shall conform to the requirements of the North Carolina State Building Code (including all amendments) Volumes: I, II, III, IV, V, VI; hereby incorporated with these Construction Documents as the Project Specifications. The Installations shall also conform to the requirements of all other Federal, State & Local Authorities having jurisdiction.
- All materials, equipment, & installations shall be guaranteed for a period of one year from the date of the Certificate of Occupancy.

APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

Name of Project: NEVINS CENTER, Inc. Temporary Office Structure
 Address: 3523 Nevin Road
 Charlotte, NC
 Proposed Use: Accessory Office
 Owner/Contact Person: Rick Hanford Phone# (704) 529-3161
 DESIGNER OF RECORD: NAME LICENSE # TELEPHONE #
G. Ward Whitney, Jr. 3831 (704) 376-3411
 See Separate Drawings by Others
 BUILDING DATA
 Occupancy: Assembly Business Educational Mercantile Hazardous
 Factory-Industrial Institutional (unrestrained)
 Use Conditional Institutional (restrained)
 Residential Storage
 Mixed Occupancy? Yes No Separation Hr.
 Construction Type: I II III IV(P) V(P) VI(P) VII(P)
 V(P) VI(P) VII(P) Mixed construction Yes/No Type
 Fire District? Yes/No (13 13R 13D):
 Fire District: Yes/No
 Building Height: 15 Feet Single Number of Stories
 Mezzanine: Yes/No
 High Rise? Yes/No
 Cross Building Area:
 Floor (Foot Print) Sq. Ft. Sq. Ft.
 Basement _____ 4th Floor _____
 1st Floor 653.33 5th Floor _____
 2nd Floor _____ 6th Floor _____
 3rd Floor _____ 7th Floor _____
 Total Gross Area: 653.33 sq. ft.
 Area Increases? Yes/No Yes code reference: _____
 If yes, calculations: _____
 DESIGN LOADS:
 Roof live load: 20 psf.
 Wind: 80 mph.
 Floor: 80 psf.
 Snow: Zone 3 psf.
 Seismic: Zone 3
 Lateral design: Av = 0.125
 Soil Bearing Capacities:
 Field Test (provided copy of test report) _____ psf. Presumptive Bearing capacity 3000 psf.
 PARKING SPACES: 2.25 Required 3 Provided
 Handicap Spaces Existing provided



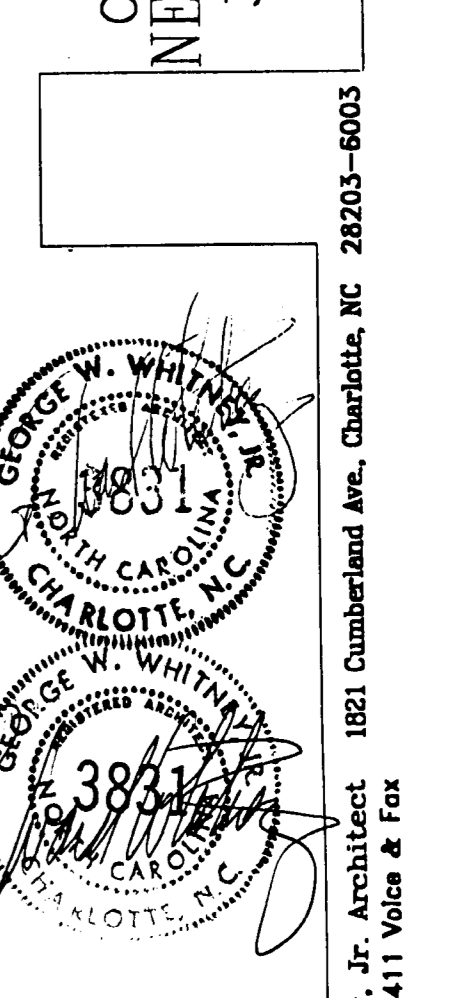
RISER DIAGRAM NO SCALE

FIRE RESISTANCE RATINGS

	Required Hourly	Detail & Sheat#	W. Wall Opening	UL/FM# for Rated Assemblies
Party/Firewalls:	N/A			
Exterior bearing Walls:				
North				
East				
West				
South				
Exterior non-bearing Walls:				
North				
East				
West				
South				
Interior Walls:	UL		UL/FM#	
Bearing	N/A			
Non-bearing				
Tenant Separation				
Ceiling - Floors Assembly:				
Beams:				
Columns:				
Ceiling - Roof Assembly:				
Vertical Shafts:				
Crosses - P.E.M.:				
Mixed Occupancy Separation:				
Tenant Separation:				

LIFE SAFETY SYSTEMS:
 Emergency Lighting and Exit Signs Yes/No
 Fire Alarm and Smoke Detection Systems Yes/No
 Panic Hardware Yes/No
EXIT REQUIREMENTS:
 Dead end limit-maximum condition 20 Feet
 Travel distance to exit-maximum condition 75 Feet
 Number exits:
 Total Square footage of floor 653.33 divided by net/sq. ft. per occupancy 100 = 6.5 Total number of people on floor.
 Number of doors provided 2, number of doors required 1

PLACE PLANNING and DESIGN
 TEMPORARY OFFICE STRUCTURE NEVINS CENTER, Inc. 3523 Nevin Road Charlotte, NC



CODE & COVER SHEET 1 of 2

CHARLOTTE - MECKLENBURG PLANNING COMMISSION INTER-OFFICE COMMUNICATION

DATE: November 9, 1995
 TO: Robert Brandon Zoning Administrator
 FROM: Martin R. Cramton, Jr. Planning Director
 SUBJECT: Administrative Approval for Petition No. 83-40 by Nevins Center Inc. Tax Parcel # 045-291-04

Attached is a specific plan for a portion of the above mentioned rezoning petition. This specific plan shows the proposed location of a proposed office trailer that will be used by the Nevins center as temporary office space. The location of the proposed office trailer is between two existing office buildings and will be partially screened from Niven Road. Since this change is minor I am administratively approving this plan. Please use this plan when evaluating requests for building permits and certificates of occupancy.