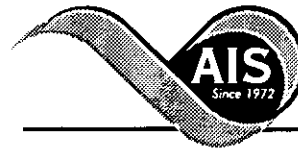




* 0 0 B R E A K 0 0 *



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City of Charlotte – Planning Dept. Scanning Rezoning Files

Petition # 1983-40

Document type:

- Applications
- Correspondence
- Department Comments
- Land Use Consistency
 - Mail Info
 - Mapping
 - Other
- Site Plans



* 0 0 B R E A K 0 0 *

OFFICIAL REZONING APPLICATION CITY OF CHARLOTTE

Petition No.	<u>83-40</u>
Date Filed	<u>5/5/83</u>
Received By	<u>[Signature]</u>
OFFICE USE ONLY	

Ownership Information

Property Owner Nevins Center, Inc.

Owner's Address P. O. Box 26546, 3523 Nevins Road
Charlotte, North Carolina 28213

Date Property Acquired August 26, 1971

Deed Reference 3326-595 Tax Parcel Number 45-291-4

Location Of Property

Property to be Rezoned: Located on North side of Nevins Rd. commencing at approximately 2,896 ft. East of Statesville Rd. (U. S. Highway #21) and extending approximately 204.76 ft. in an Easterly direction along Nevins Rd. Site Plan Amendment Property: Nevins Center, Inc., 3523 Nevins Rd., Charlotte, N. C. 28213

Description Of Property

Property to be Rezoned: 1,156,082.4 Sq. Ft. - 26.54 Acres 204.76 ft.
Size (Sq. Ft.-Acres) _____ Street Frontage (ft.) _____
Site Plan Amendment Property: 505,296 Sq. Ft. - 11.6 Acres 806.84 ft.
Current Land Use Property to be Rezoned: Land is currently not in active use. It is uninhabited, undeveloped, open and wooded property without building improvements. Site Plan Amendment Property: Land is currently used for a sheltered workshop for developmentally disabled adults and related activities.

Zoning Request

Existing Zoning Property to be Rezoned: R-9 Requested Zoning Institutional (CD)
Site Plan Amendment Property: Institutional (CD) w/Special Use Permit Site Plan Amendment Purpose of zoning change Property to be Rezoned: To permit residential development of the property for developmentally disabled adults to accommodate group home/apartment living with related administration, maintenance, and service support facilities; outdoor recreation and social areas; and related landscaping, utilities, and site improvements. Site Plan Amendment Property: To allow for expansion of existing sheltered workshop facilities for developmentally disabled adults and related improvements.

Name of Agent _____

Agent's Address _____

Telephone Number _____

Nellie B. Skelton, President
Nevins Center, Inc., P.O. Box 26546
Name of Petitioner(s) _____
3523 Nevins Rd., Charlotte, N.C.
Address of Petitioner(s) _____ 28213
(704) 596-1372
Telephone Number _____
Nellie B. Skelton
Signature _____

Signature of Property Owner if Other Than Petitioner _____

INSTRUCTIONS FOR FILING A PETITION FOR A CHANGE IN A ZONING CLASSIFICATION

A petitioner for a zoning change must complete and file in duplicate the application form on the reverse side of this sheet. All information requested must be given.

There is a filing fee of \$100.00 required with each rezoning petition.

No application shall be considered filed until it has been discussed with and accepted by a member of the staff of the Planning Commission.

The application must be accompanied by two copies of a map, drawn to scale, of the property to be considered for a change in zoning.

If the area proposed to be changed is part of a SUBDIVISION recorded in the plat books in the Mecklenburg County Register of Deeds Office, then the map must include the following information:

- 1) A copy of that portion of the recorded map that shows the property to be considered for the proposed zoning change, plus sufficient additional area to show the location of the property in reference to the nearest street intersection.
- 2) The lot and block number(s) of the property proposed to be changed.
- 3) The name of the subdivision, and the plat book and page number at which the map is recorded.
- 4) Dimensions and compass bearings of all lines bounding the property proposed to be changed.

If the area proposed to be changed is ACREAGE or PROPERTY NOT LOCATED IN A RECORDED SUBDIVISION then the map must include the following information:

- 1) The exact dimensions and compass bearings of all lines bounding the property to be considered for the proposed zoning change.
- 2) The location of the property in reference to a street intersection, railroad, creek, or other features easily identified on the ground. Adequate information (distances, compass bearings) must be given to show the exact location of the property with respect to the reference point.

If the petitioner is not the owner of the property, the application must be signed by the owner, or accompanied by a letter signed by the owner signifying his approval of the proposed change. (This does not apply when the petitioner is a group of neighborhood property owners seeking a general change in the zoning of lands or properties within the neighborhood.)

Petitions which have been completed and filed with the Planning Commission will be heard at the earliest feasible scheduled date.

All petitions are considered at a public hearing held jointly by the City Council and the Planning Commission.