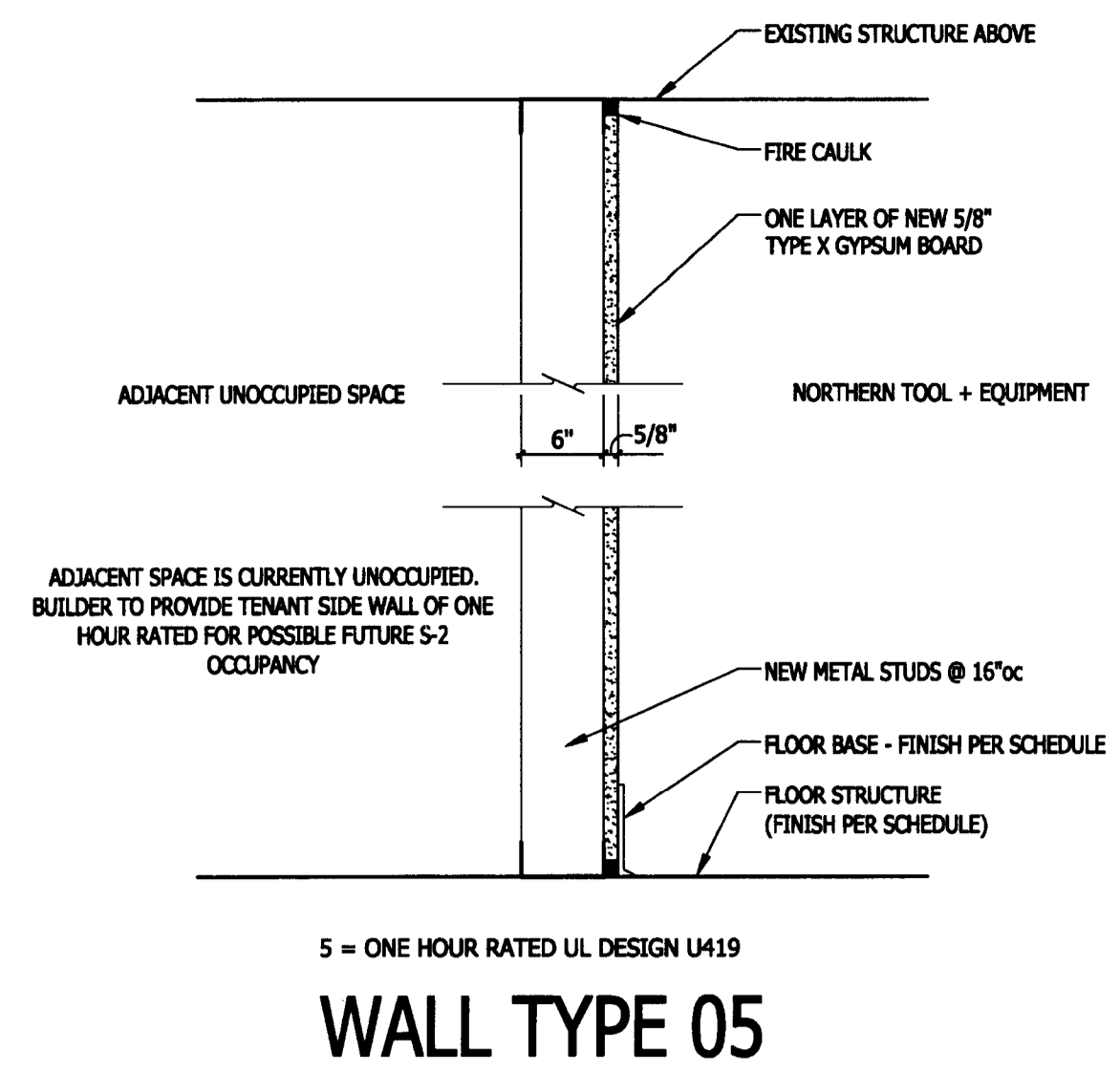
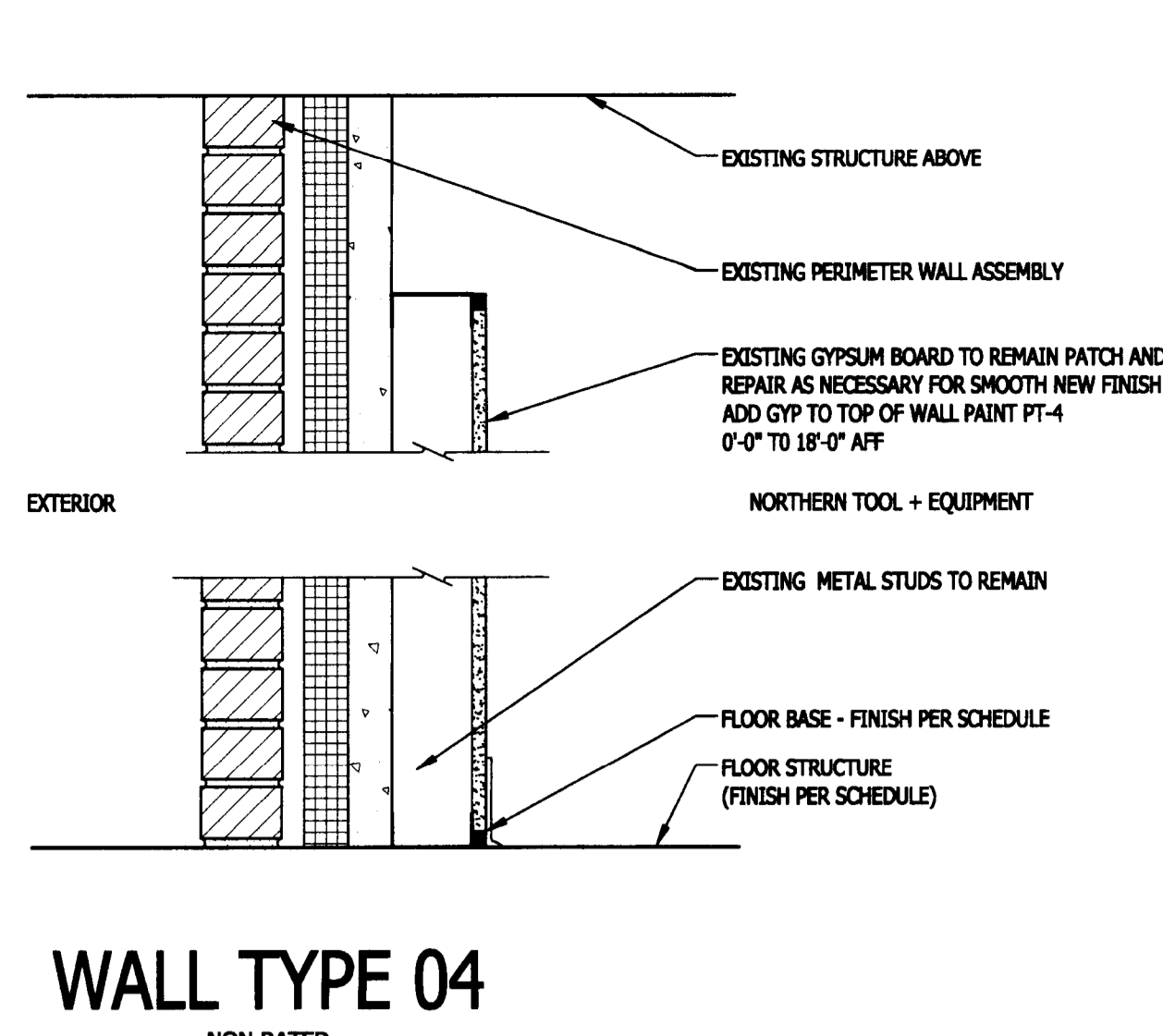


03 GUARD RAIL scale: 1/2" = 1'-0"

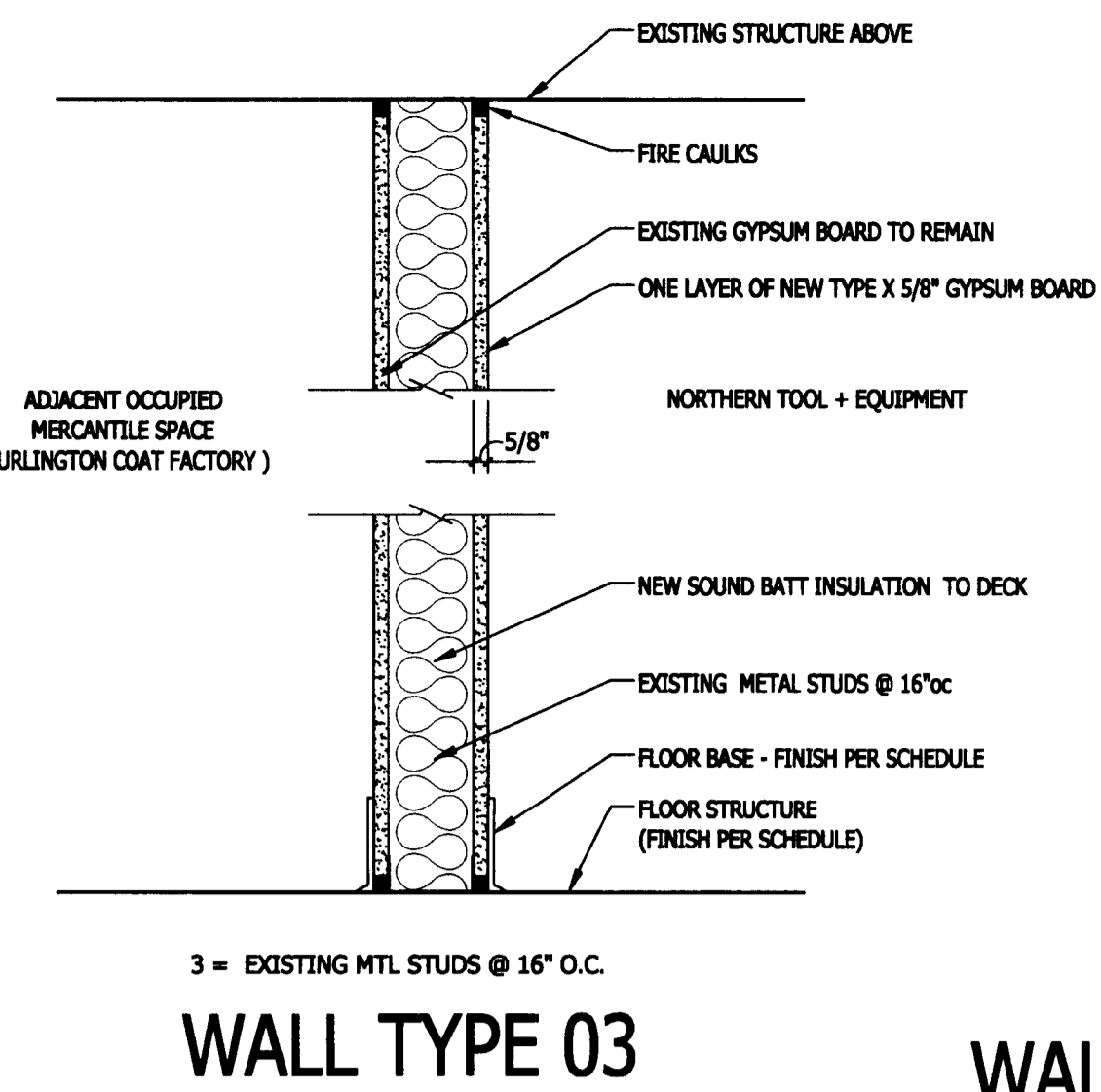
- GENERAL NOTES:**
1. ALL CONSTRUCTION TO MEET REQUIREMENTS OF 2012 NORTH CAROLINA BUILDING CODE.
 2. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION OBTAIN CLARIFICATION FROM ARCHITECT.
 3. ALL DIMENSIONS ARE GIVEN TO STUDS - NOT FINISH. ALL DIMENSIONS MARKED "CLEAR" OR "CL" SHALL BE MAINTAINED.
 4. CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONED FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATIONS PRIOR TO THE PERFORMANCE OF ANY WORK.
 5. ALL TRADES SHALL REVIEW ALL SHEETS IN CONSTRUCTION DOCUMENT SET FOR COORDINATION PURPOSES.
 6. CONTRACTOR SHALL COORDINATE AND PROVIDE SOLID FIRE RATED WOOD BLOCKING IN WALLS FOR MOUNTING OF ALL CABINETS, TOILET ACCESSORIES AND OTHER WALL MOUNTED ITEMS. IF BLOCKING IS REQUIRED IN AN EXISTING WALL, PATCH WALL WITH MATERIALS FINISHED TO MATCH ADJACENT SURFACES.
 7. FIRE SAFE ALL PENETRATIONS IN UL RATED PARTITIONS TO MAINTAIN/Achieve LEVEL OF PROTECTION REQUIRED FOR PARTITION TYPE. FIRE SAFE ALONG PERIMETER OF RATED PARTITIONS WHERE VOIDS OCCUR, SUCH AS FLOOR DECKING.
 8. ALL HARDWARE TO BE ACCESSIBLE THROUGHOUT.
 9. WHERE INDICATED PROVIDE BATT INSULATION FULL HEIGHT IN PARTITIONS AND AROUND PERIMETER OF TOILET ROOMS, MECHANICAL ROOMS AND SHAFTS, KITCHENS, AND PLUMBING CHASES.
 10. CONTRACTOR SHALL COORDINATE WITH TENANT THE SCHEDULE FOR ALL TELEPHONE COMPANY, DATA, AND FURNITURE INSTALLATIONS.
 11. OFFSET ELECTRICAL AND TELEPHONE OUTLETS 16" MINIMUM IN SEPARATE STUD CAVITIES.
 12. REFERENCE FINISH SCHEDULE AND/OR FLOOR PLANS FOR LOCATION/VERTIC OF FINISH MATERIALS WHERE DIFFERENT FINISHES ARE INDICATED FOR EITHER SIDE OF A PARTITION.
 13. G.C. TO FURNISH AND INSTALL BUILDING STANDARD FIRE EXTINGUISHER CABINETS AND DEVICES AS PER CODE AS REQUIRED PER NORTHERN TOOL USE - SEE FUTURE PLAN.
 14. ALL INTERIOR FINISHES SHALL COMPLY WITH 803 OF THE IFC 2012 EDITION.
 15. THE G.C. IS TO TAKE ANY PRECAUTIONS NECESSARY TO PROTECT EXISTING AND NEW CONSTRUCTION, FURNISHINGS, PROPERTY AND OTHER CONTENTS AT THE PROJECT SITE.
 16. THE G.C. IS TO FURNISH AND INSTALL DEMISING WALL STUDS, BATT INSULATION AND GWB. G.C. FURNISHES AND INSTALLS GWB ON TENANT SIDE OF DEMISING WALL FROM FLOOR TO DECK ABOVE AND INTERIOR TENANT WALLS.
 17. MAINTAIN 18" CLEAR ON THE PULL SIDE OF ALL DOORS AND 12" ON THE PUSH SIDE OF ALL DOORS.
 18. REFER TO ENLARGED PLAN AND DETAILS FOR ADDITIONAL INFORMATION.
 19. G.C. TO CALK AS REQUIRED. LOCATION INCLUDE, BUT NOT LIMITED TO: ANY WALL JOINT BETWEEN A NEW GYP. RD. ASSEMBLY AND EXISTING CHNL. AT ABUTTING WALLS, DOOR FRAMES, CABINETS, COUNTERTOPS, MISC. SMALL WALL PENETRATIONS, HOLES IN SHELL COLUMNS ETC.



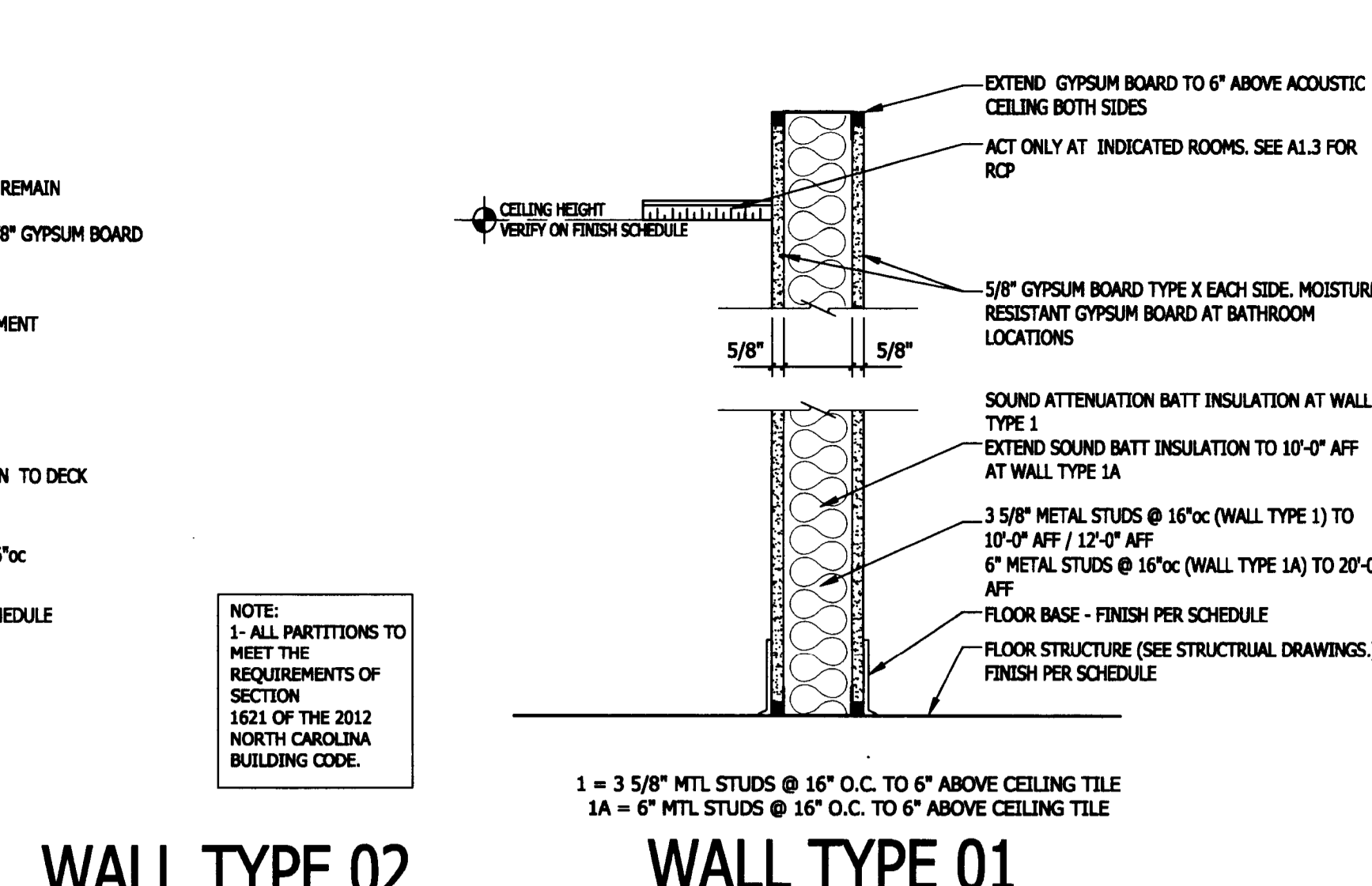
WALL TYPE 05



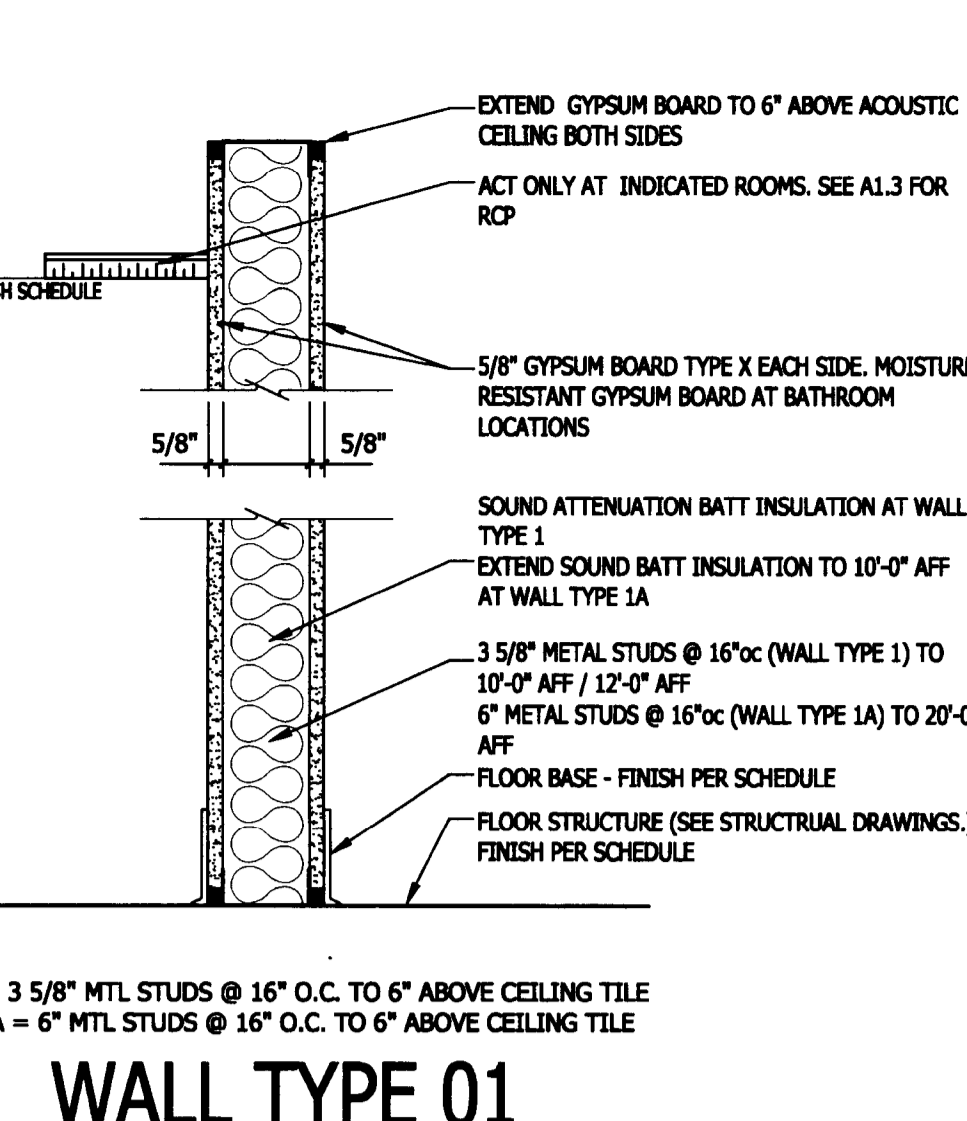
WALL TYPE 04
NON RATED



WALL TYPE 03
NON RATED

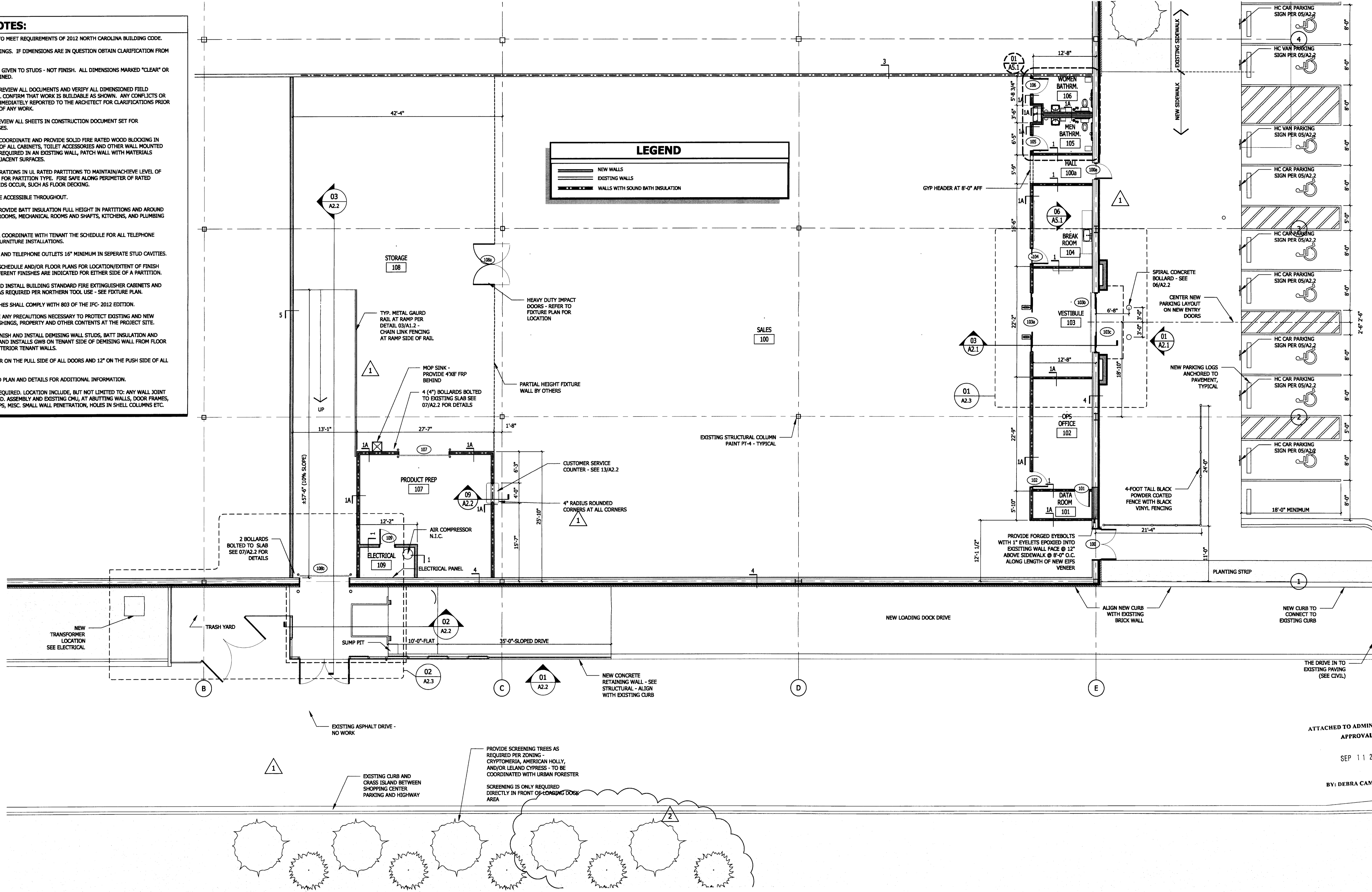


WALL TYPE 02
NOT USED



WALL TYPE 01
NON RATED

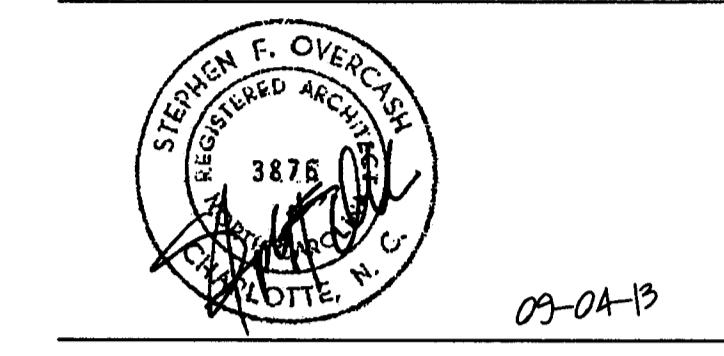
02 WALL TYPES scale: 1 1/2" = 1'-0"



01 FLOOR PLAN scale: 1/8" = 1'-0"

ODa
overcash demmitt

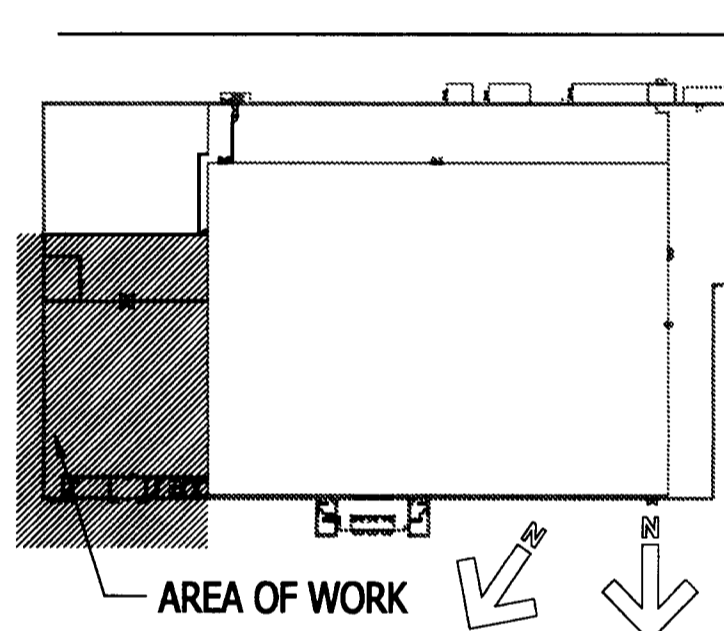
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Matthews, NC



ISSUED	MM/DD/YY
ISSUED FOR CONSTRUCTION	08/23/13
REVISION	09/04/13
REVISION	09/09/13

ATTACHED TO ADMINISTRATIVE APPROVAL

SEP 11 2013

BY: DEBRA CAMPBELL

NEW FLOOR PLAN & WALL TYPES

A1.2
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COA No. 132766



Charlotte-Mecklenburg Planning Department

DATE: September 11, 2013
TO: Mark Fowler, Zoning Supervisor
FROM: Debra Campbell, Planning Director

SUBJECT: Administrative Approval for Petition No. 1984-076 Crownpoint Shopping Center

Attached is a revised site plan for the above referenced rezoning petition. The site plan attached allows for a modification of existing building to allow a loading dock. Building elevations have been provided for the new retail tenant. Since this change does not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

Note all other Zoning, Subdivision, Ordinance and conditional requirements still apply.