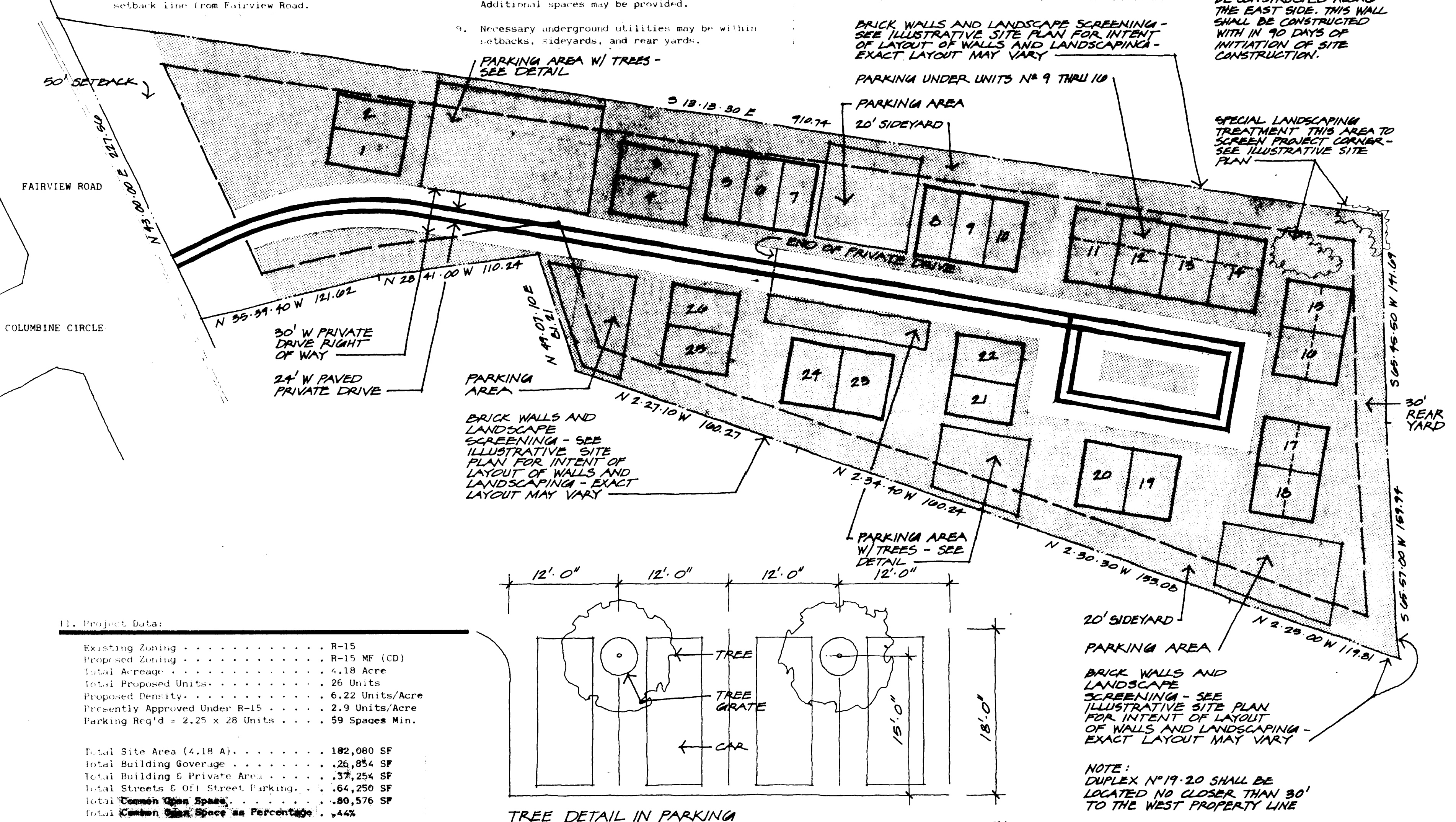


- I. Notes:
- The property is requested to be rezoned from R-15 to R-15 MF CD.
 - Structures shown (See Illustrative Plan) will be townhouses for sale.
 - Access to the development shall be by way of a private street from Fairview Road by providing a 50' right of way aligned with Columbine Circle and perpendicular to Fairview Road.
 - Buildings and parking will not be within a 50' setback line from Fairview Road.
 - See Conditional Site Plan for minimum setback, side yard and rear yard.
 - Entry and identification signs shall be placed in accordance with City of Charlotte ordinance requirements.
 - Development shall meet the requirements of the Charlotte storm water detention ordinance.
 - Minimum parking will be as required to meet the City of Charlotte ordinance requirements. Additional spaces may be provided.
 - Necessary underground utilities may be within setbacks, sideyards, and rear yards.
 - All parking areas will be screened with brick walls or adequate landscaping to prevent visual contact between adjacent properties and subject property.
 - Setback from private street (Columbine Court) will be a minimum of 20'-0" on front side of buildings and a minimum of 5'-0" from side of buildings.
 - Setback from parking shall be a minimum of 15'-0" on front side of buildings and a minimum of 5'-0" from side of buildings.
 - All street lighting fixtures shall be of a type similar to a Herwig Octagonal Lantern No. 3211 or equal.
 - A CONTINUOUS SOLID BRICK WALL, BETWEEN 6'-0" HIGH AND 8'-0" HIGH SHALL BE CONSTRUCTED ALONG THE WEST AND SOUTH SIDES OF THE SITE. A SIMILAR WALL WITH SOME BREAKS SHALL BE CONSTRUCTED ALONG THE EAST SIDE. THIS WALL SHALL BE CONSTRUCTED WITHIN 90 DAYS OF INITIATION OF SITE CONSTRUCTION.

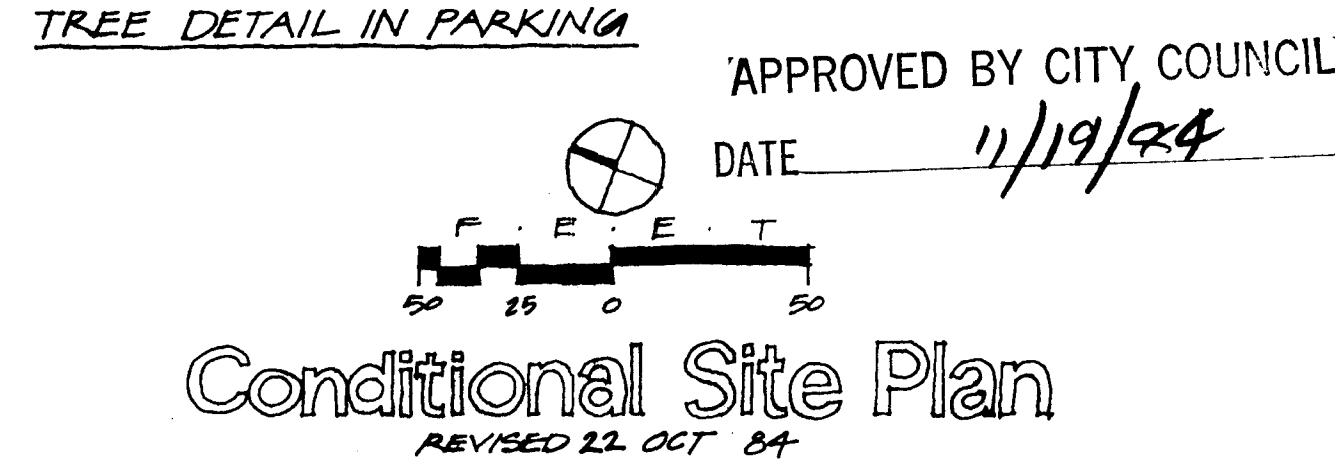


II. Project Data:

Existing Zoning	R-15
Proposed Zoning	R-15 MF (CD)
Total Acreage	4.18 Acre
Total Proposed Units	26 Units
Proposed Density	6.22 Units/Acre
Presently Approved Under R-15	2.9 Units/Acre
Parking Req'd = 2.25 x 28 Units	59 Spaces Min.

Total Site Area (4.18 A)	182,080 SF
Total Building Coverage	26,854 SF
Total Building & Private Area	37,254 SF
Total Streets & Off Street Parking	64,250 SF
Total Common Open Spaces	80,576 SF
Total Common Open Space as Percentage	44%

- I. NOTES CONTINUED:
- A PHYSICAL SURVEY WILL BE CONDUCTED TO IDENTIFY ALL TREES WITHIN 5'-0" OF ADJACENT PROPERTIES TO GUIDE THE ARCHITECTS IN THE PLACEMENT OF PERIMETER BRICK WALLS.
 - NO EAVE SPOT LIGHTS WILL BE ALLOWED ON THE PERIMETER OF THE PROJECT FACING ADJACENT PROPERTY OWNERS.

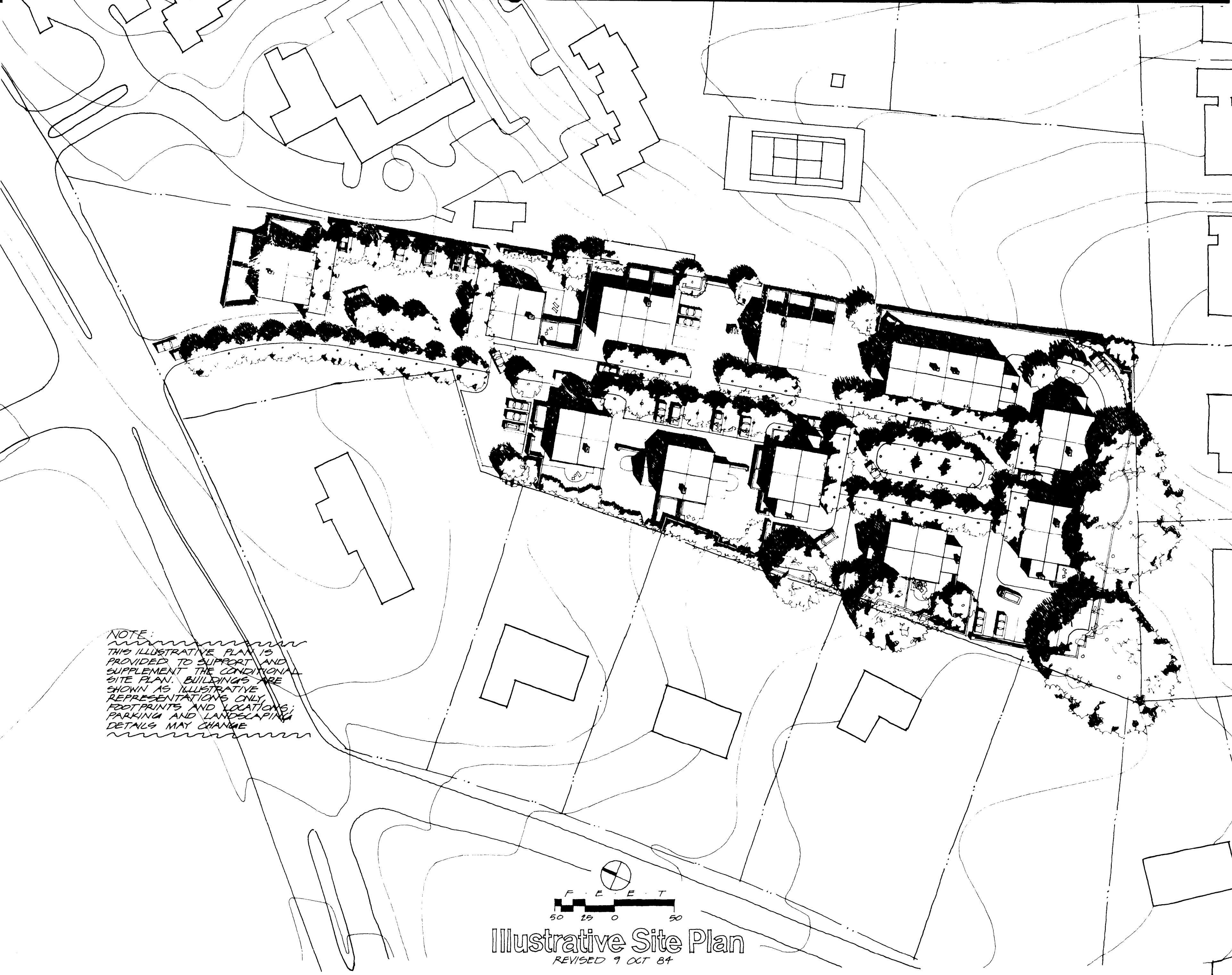


- I. NOTES CONTINUED:
- THERE WILL BE (10) SIX SEDIMENTATION CONTROL BASINS ON SITE DURING CONSTRUCTION. THESE WILL BE DESIGNED TO MEET CITY ENGINEERING STANDARDS.
 - OFF SITE UNDERGROUND AND OVERLAND STORM DRAINAGE WILL BE CONSTRUCTED TO CITY STORM WATER STANDARDS.

Columbine Court

Fairview Road Charlotte, North Carolina

Moehring Investments, Inc. • Commercial & Investment Properties Corp. of Charlotte • Abernethy/Poetzsch Architects • DPR Associates • Fred Bryant



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