

NEWELL - HICKORY GROVE ROAD

o ATTACHED TO MEMO
 DATED 10/6/89 BY MARTIN
 R. Cramton, Dir

DETAIL AREA 2
 ZONING SITE PLAN REVISION
 DATE: JULY 28, 1989
 ATTACHMENT TO SHOPPING CENTER PLAN
 HICKORY GROVE AT NEWELL - HICKORY GROVE ROAD

85-31(c)

CHARLOTTE-MECKLENBURG
 PLANNING COMMISSION

INTER-OFFICE COMMUNICATION

DATE: October 6, 1989

TO: Robert Brandon
 Zoning Administrator

FROM: *Martin R. Cramton*
 Planning Director

SUBJECT: Zoning Committee approval of modifications for zoning petition
 #85-31(c) tax parcel #099-311-17, 18

Attached is a revised plan for petition #85-31(c) by Charlotte Realty Limited. The Zoning Committee approved a modification in the limits of development line for the outparcel at its October 5th meeting. The Zoning Committee approved a specific plan for a portion of the outparcel. This specific plan allows some parking in the area originally labeled as limits of development. The Zoning Committee felt the change was minor and would not reduce the exterior boundaries. This new detailed plan is to be used when evaluating requests for building permits. The overall master plan has also been modified to reference the specific plan. Please use both these plans when evaluating requests for building permits.

MRC/vjm:sls
 Attachment

Building Data and Performance Standards

1. THE APPLICATION REQUESTS MODIFICATION OF EXISTING 31-1 ZONING PLAN THAT WAS ADOPTED IN 1973 PURSUANT TO ZONING NO. 73-11(6). TOTAL SITE IS ABOUT 21 ACRES.

2. MAXIMUM BUILDING AREA, EXCLUDING OUTREACH, SHALL NOT EXCEED 140,000 SF.

3. THESE BUILDINGS SHALL BE CONFORMANT WITH COUNTY ZONING ORDINANCES.

4. ALL SIGNS TO CONFORM WITH COUNTY ZONING ORDINANCES.

5. SIGNS SHALL BE PLANTED OR RETAINED IN SITUATION WITH COUNTY ZONING ORDINANCES.

6. SIGNS SHALL BE PLANTED OR RETAINED IN SITUATION WITH COUNTY ZONING ORDINANCES.

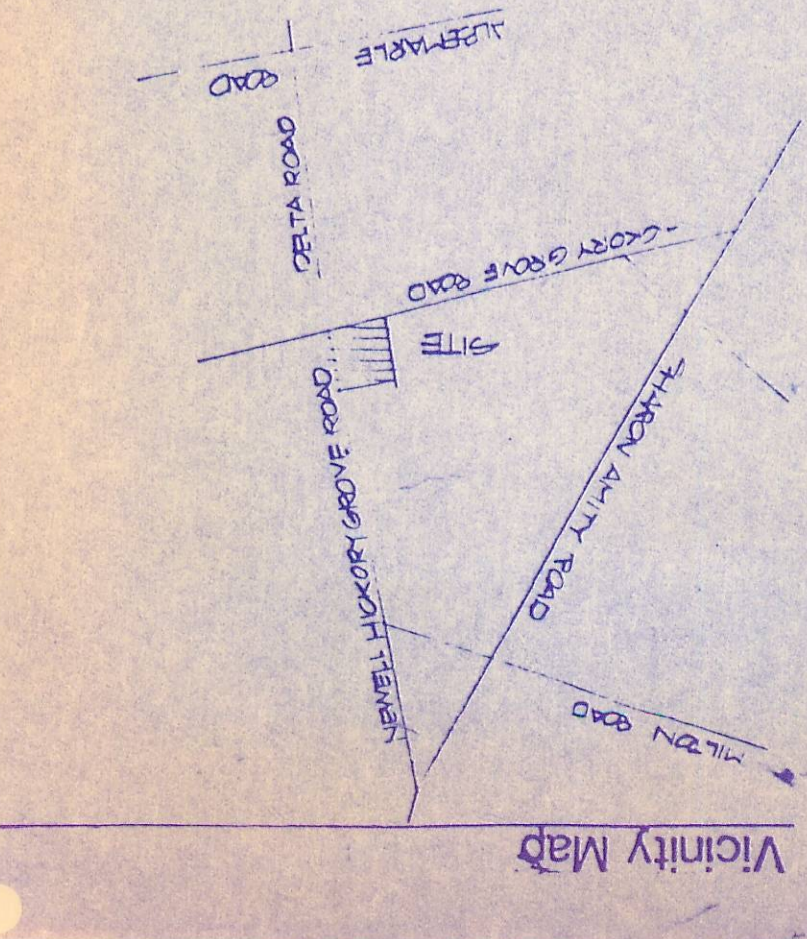
7. SIGNS SHALL BE PLANTED OR RETAINED IN SITUATION WITH COUNTY ZONING ORDINANCES.

8. SIGNS SHALL BE PLANTED OR RETAINED IN SITUATION WITH COUNTY ZONING ORDINANCES.

9. SIGNS SHALL BE PLANTED OR RETAINED IN SITUATION WITH COUNTY ZONING ORDINANCES.

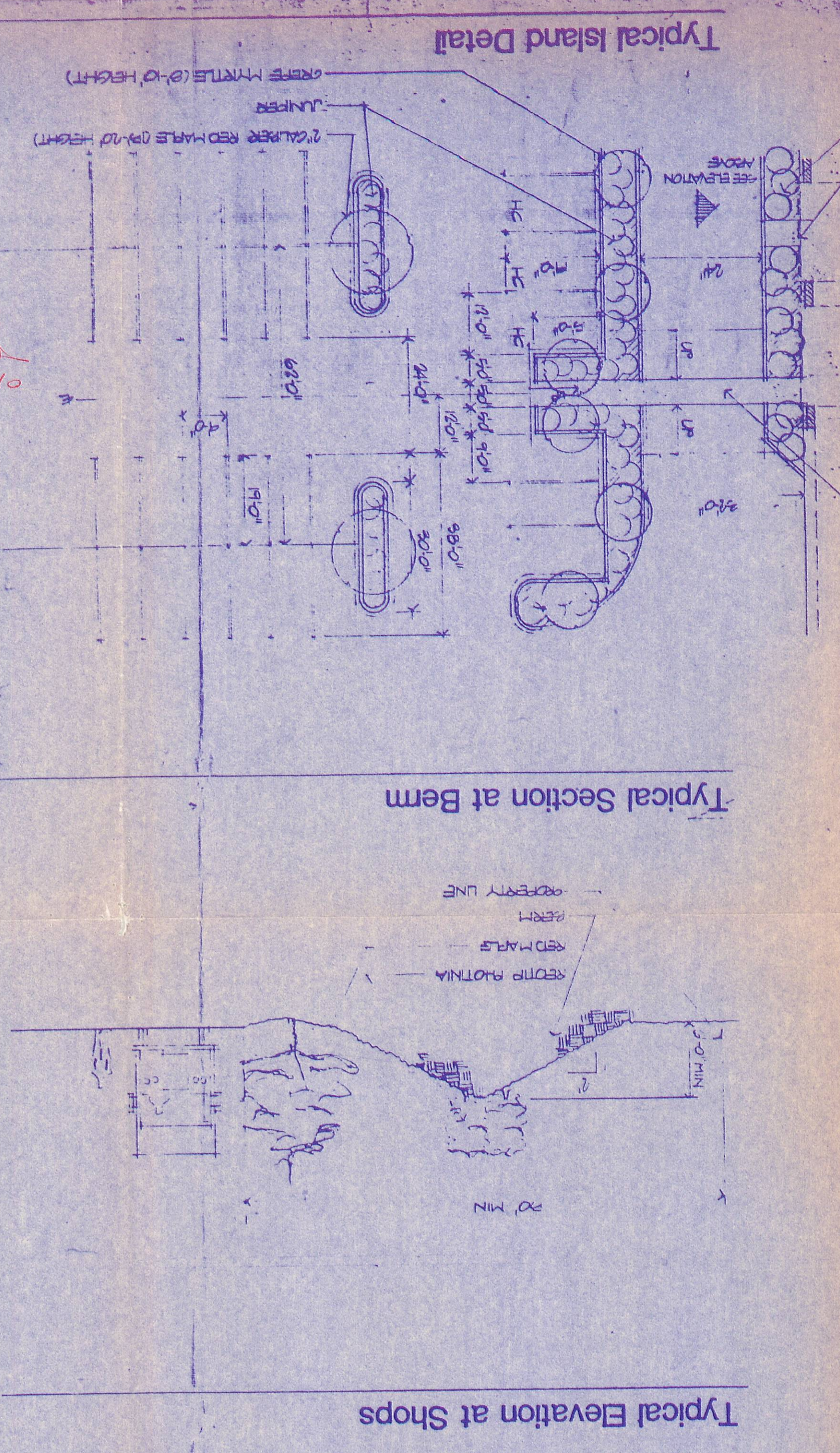
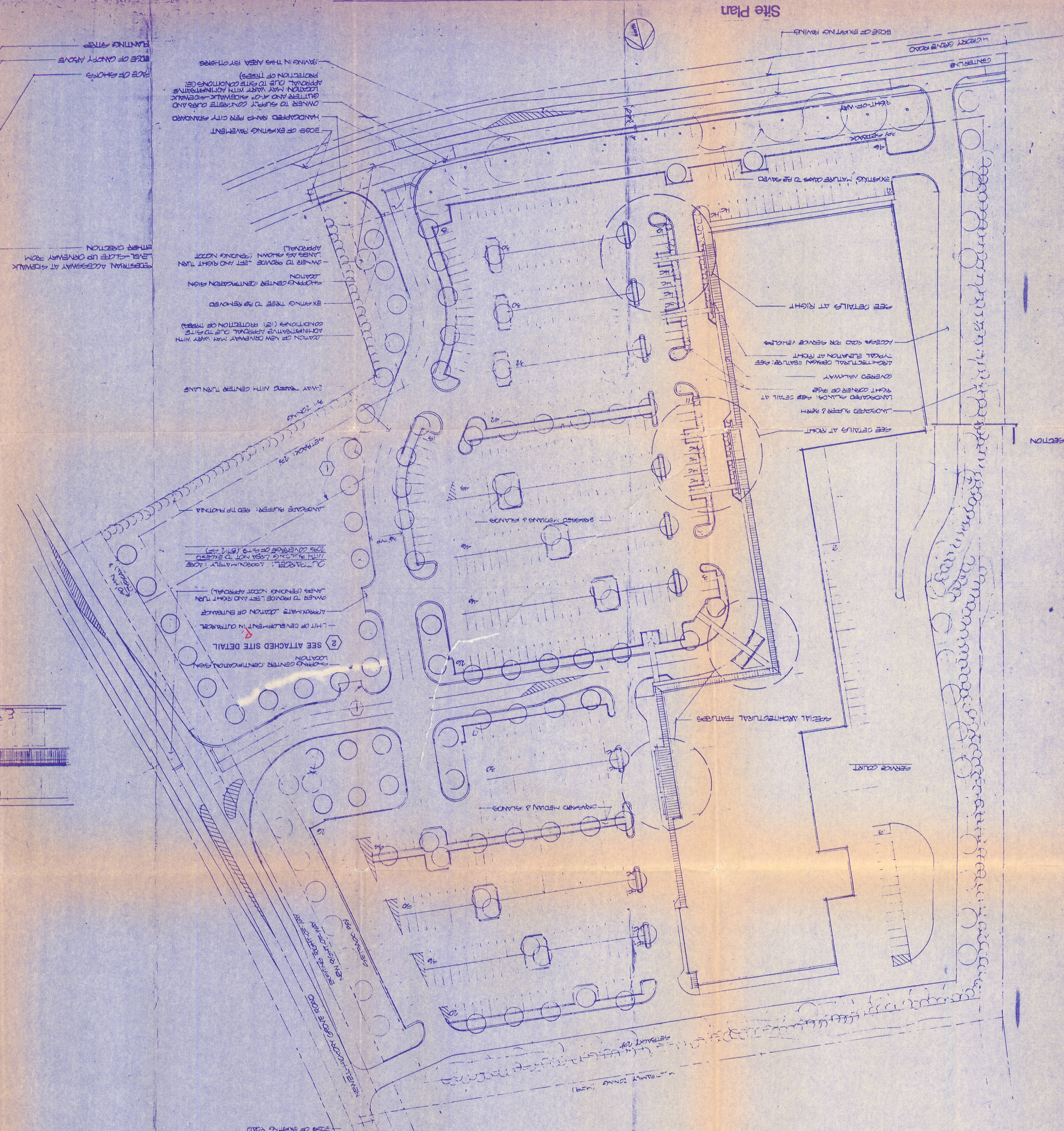
10. SIGNS SHALL BE PLANTED OR RETAINED IN SITUATION WITH COUNTY ZONING ORDINANCES.

11. SIGNS SHALL BE PLANTED OR RETAINED IN SITUATION WITH COUNTY ZONING ORDINANCES.



Symbols

- EDGE OF PAVEMENT IN DRIVEWAYS AND OUTREACH
- PROPERTY LINE
- SETBACK OR CENTERLINE
- LOW PLANTING
- TREES (12'-10" HEIGHT)
- SMALL TREES (8'-10" HEIGHT)
- NATURAL EXISTING TREES
- PLANTING IN OPENINGS
- PLANTING IN CURBS AND GUTTERS



SHOPPING CENTER
 HICKORY GROVE AT
 NEWELL-HICKORY ROAD
 CHARLOTTE, N.C.

MODIFICATION OF B-1 SCD
 SITE PLAN MAY 1, 1985
 REVISED JUNE 7, 1985
 MAY 10, 1985
 ADDITIONAL CURB CUTS AND BOUNDARY
 JULY 28, 1985
 DETAILING OF OUTREACH DEVELOPMENT

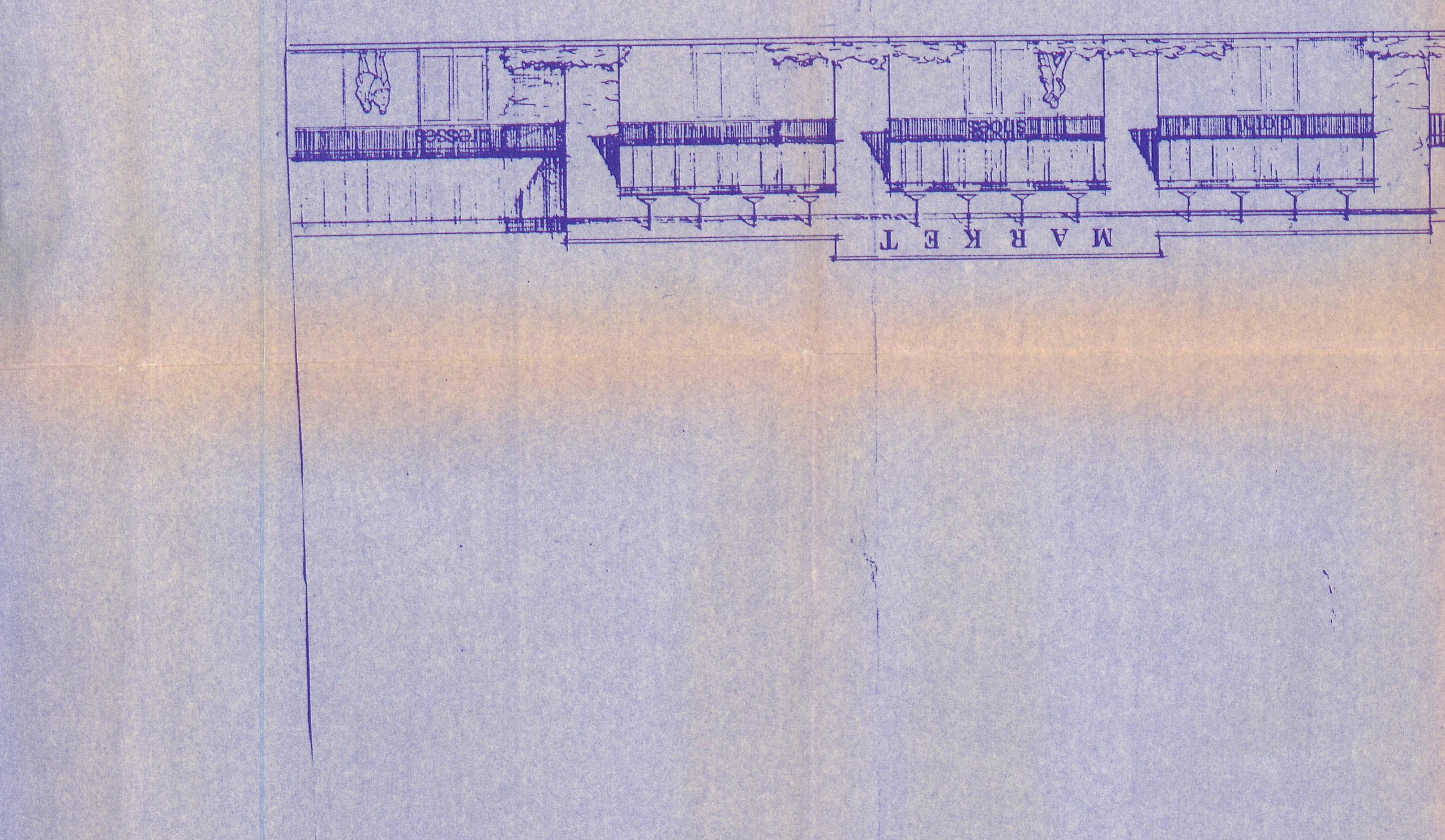
ATTACHED TO MEMO
 DATED 10/18/85 BY
 MARTIN R. CANNON, D/E/A

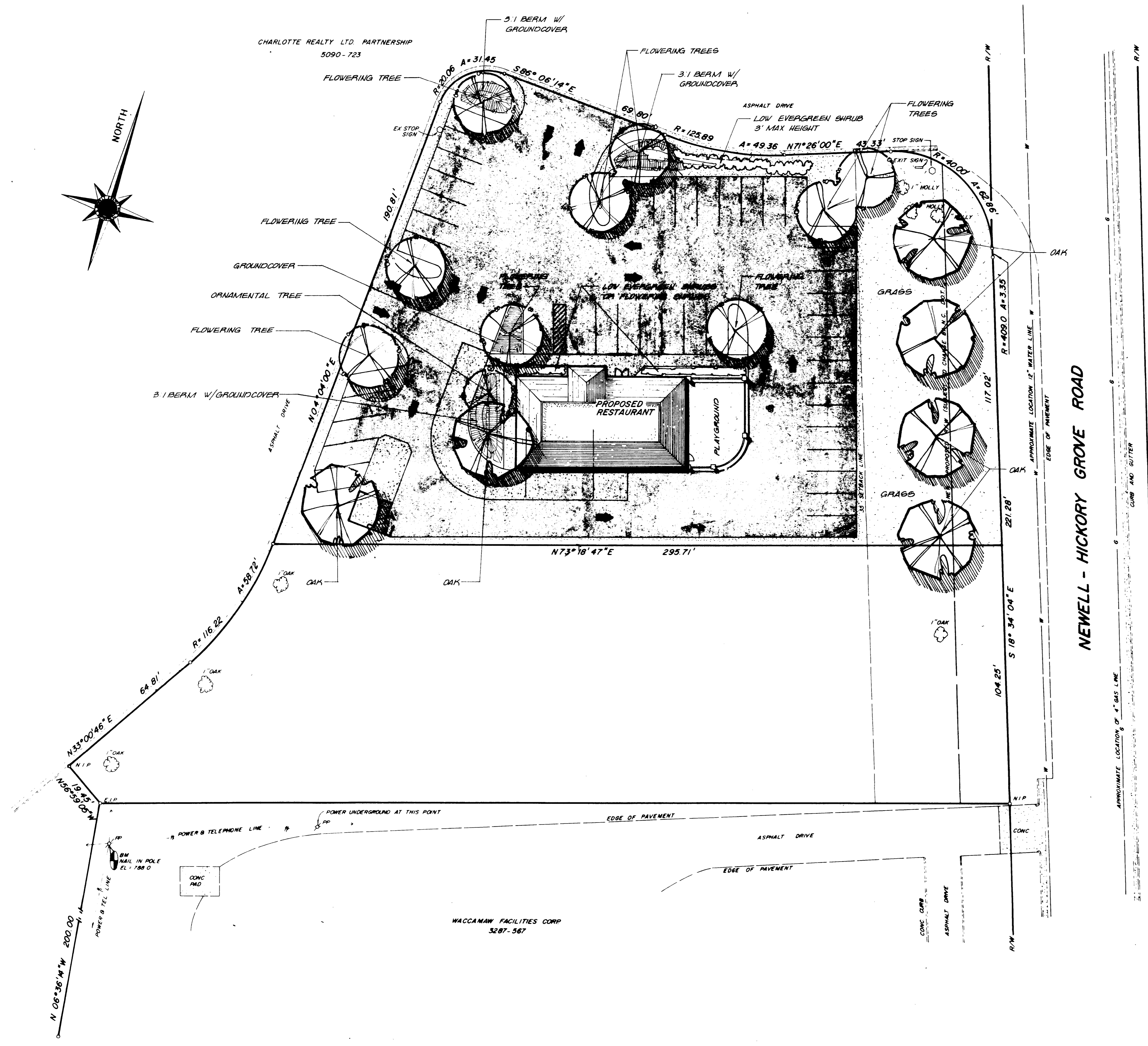
Typical Island Detail

EDGE OF SHOULDER
 EDGE OF CANOPY ABOVE
 PLANTING ABOVE
 2' CLEARANCE RED WARE (BY-10 HEIGHT)
 2' CLEARANCE RED WARE (BY-10 HEIGHT)
 2' CLEARANCE RED WARE (BY-10 HEIGHT)

Typical Section at Berm

PROPERTY LINE
 RED MARKS
 RED TOP MATING
 3' MIN.





NEWELL - HICKORY GROVE ROAD

ATTACHED TO MEMO DATED 10/6/89 BY MARTIN R. CRAMTON, DRP

DETAIL AREA 2
 ZONING SITE PLAN REVISION
 DATE: JULY 28, 1989
 ATTACHMENT TO SHOPPING CENTER PLAN
 HICKORY GROVE AT NEWELL - HICKORY GROVE ROAD

85-31(c)

CHARLOTTE-MECKLENBURG
 PLANNING COMMISSION
 INTER-OFFICE COMMUNICATION

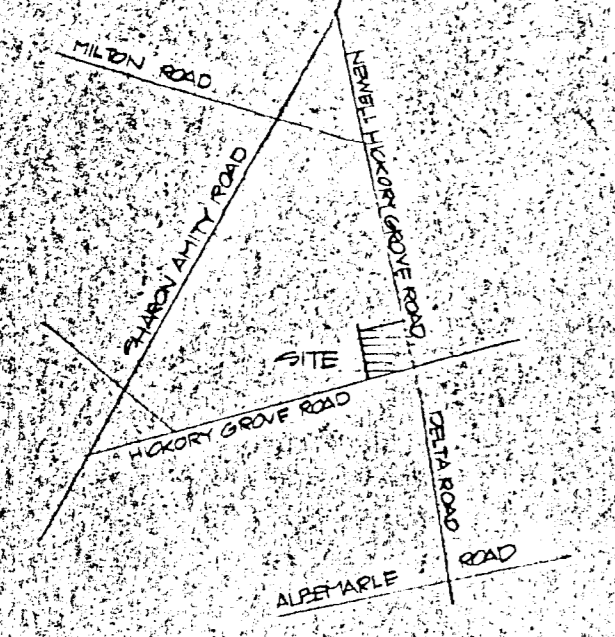
DATE: October 6, 1989
 TO: Robert Brandon, Zoning Administrator
 FROM: Martin R. Cramton, Planning Director

SUBJECT: Zoning Committee approval of modifications for zoning petition #85-31(c) tax parcel #099-311-17, 18

Attached is a revised plan for petition #85-31(c) by Charlotte Realty Limited. The Zoning Committee approved a modification in the limits of development line for the outparcel at its October 5th meeting. The Zoning Committee approved a specific plan for a portion of the outparcel. This specific plan allows some parking in the area originally labeled as limits of development. The Zoning Committee felt the change was minor and would not reduce the exterior boundaries. This new detailed plan is to be used when evaluating requests for building permits. The overall master plan has also been modified to reference the specific plan. Please use both these plans when evaluating requests for building permits.

MRC/KSM:sls
 Attachment

Vicinity Map



Symbols

- EDGE OF PAVEMENT - NO CURB
- EDGE OF PAVEMENT WITH CURB & GUTTER
- PROPERTY LINE
- SETBACK OR CENTERLINE
- ON PLANTING
- TREES (6'-10' HEIGHT)
- SMALL TREES (8'-0' HEIGHT)
- MATURE EXISTING TREES
- ▨ ISLAND - PAINTED ON PAVEMENT
- ▨ ISLAND - BY CURB AND GUTTER

Building Data and Performance Standards

1. THIS APPLICATION REQUESTS MODIFICATION OF EXISTING B-1 SCD PLAN.
2. TOTAL SITE IS ABOUT 21 ACRES.
3. MAXIMUM BUILDING AREA, INCLUDING OUTPARCELS, SHALL NOT EXCEED 115,000 SQ. FT. (OUTPARCELS 1 AND 2).
4. THESE DRAWINGS ARE CONCEPTUAL. ACTUAL BUILDING LOCATION AND CONFIGURATION MAY VARY. PARTIAL ELEVATION SHOWN BELOW IS ILLUSTRATIVE ONLY. BUILDING LOCATION MAY VARY FROM THAT SHOWN.
5. ALL PLANS TO CONFORM WITH CITY ZONING ORDINANCE.
6. TREES SHALL BE PLANTED OR RETAINED AS SHOWN CONCEPTUALLY. ACTUAL LOCATION MAY VARY. PLANTINGS SHALL CONFORM TO OR EXCEED REQUIREMENTS OF CITY TREE ORDINANCE. SIMILAR SPECIES MAY BE SUBSTITUTED FOR THOSE TYPES SHOWN TO OR EXCEED REQUIREMENTS OF CITY TREE ORDINANCE. (REPLACE WITH CITY TREE ORDINANCE).
7. PARKING SHALL CONFORM TO OR EXCEED REQUIREMENTS OF CITY ORDINANCE.
8. THE PETITIONER AND SHOPPING CENTER OWNER AGREE TO DEDICATE ADDITIONAL RIGHT-OF-WAY ALONG HICKORY GROVE ROAD AND HARRIS BLVD. FOR HICKORY GROVE RD. THIS ADDITIONAL RIGHT-OF-WAY SHALL BE 5' AND SHALL BE 7' 1/2' FOR HARRIS BLVD. AT PARCEL 2. THE DEDICATION SHALL OCCUR PRIOR TO THE ISSUANCE OF ANY ADDITIONAL BUILDING PERMITS.
9. BASE INFORMATION TAKEN FROM A SURVEY PREPARED FOR THE OWNER BY JACK CHRISTIAN, CHARLOTTE, NC. LOCATION OF NORTHERN ZONING LINE PROVIDED BY BOB YOUNG AT A MEETING AT HIS OFFICE ON 21 APRIL 1985.
10. ELEVATION WILL INCLUDE FEATURES TO PROVIDE VISIBILITY, SCALE, INTEREST (E.G. AWNING, ROOF LEVEL CHANGES, COLOR, LANDSCAPING, ETC.). THE OUTPARCELS SHALL BE DESIGNED TO BE COMPATIBLE WITH THE ARCHITECTURE OF THE SHOPPING CENTER.
11. BUILDINGS DEVELOPED IN THE OUTPARCELS SHALL BE DESIGNED TO BE COMPATIBLE WITH THE ARCHITECTURE OF THE SHOPPING CENTER.
12. THE SHOPPING CENTER SHALL COMPLY WITH THE CHARLOTTE TREE ORDINANCE.
13. THE SHOPPING CENTER SHALL COMPLY WITH CITY OF CHARLOTTE FIRE DEPARTMENT REGULATIONS REGARDING FIRE HYDRANT LOCATIONS.
14. PARCEL 1 IS NOT INCLUDED IN THIS SITE PLAN AMENDMENT. NO AMENDMENTS MADE AS PART OF THIS PLAN SHALL INCLUDE PARCEL 1.
15. A SIGN/DIRECTIONAL ARROWS SHALL BE INSTALLED AT THE T-BOY DRIVE-IN WINDOW TO DIRECT TRAFFIC IN THE PROPER DIRECTION.
16. IN THE EVENT THAT ANY OF THE EXISTING MATURE TREES ADJOINING THE HICKORY GROVE RD. RIGHT-OF-WAY DIES, THE PROPERTY OWNER SHALL AGREE TO REPLACE THE TREE(S) WITH A LIKE (OR SIMILAR) TREE(S) MEASURING A MINIMUM OF 3/4" IN CALIPER AT THE TIME OF PLANTING.

RP 90-77

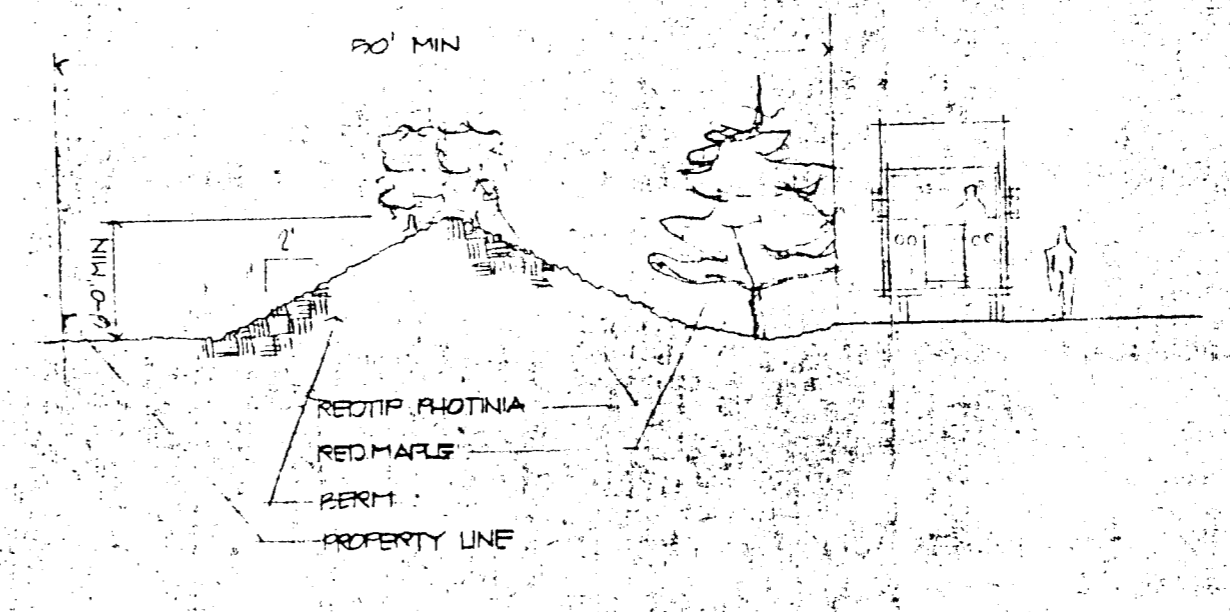
Shopping Center
Hickory Grove at
Newell-Hickory Grove Roads
Charlotte, NC

Charlotte Realty Limited Partners

RECEIVED
SEP 25 1990
Transportation Engineering



Typical Elevation at Shops



Typical Section at Berm

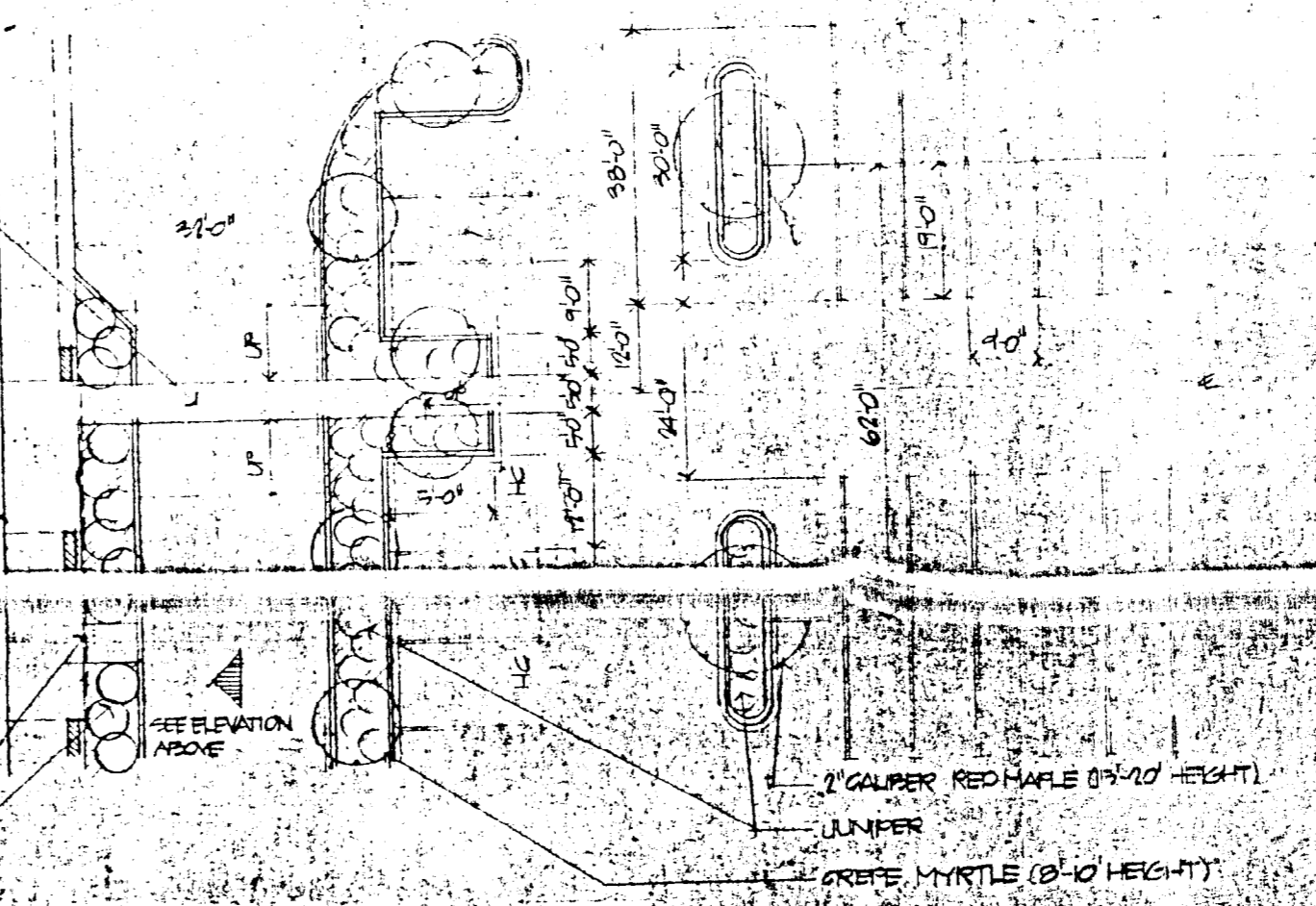
Modification of B-1 SCD Site Plan

Project Number: 11111
Drawn By: J. R. Crampton, Jr.
Date: 9/12/90
Revised: 9/12/90
24 SEPTEMBER 1990
PETITION 90-77
FOR PUBLIC HEARING

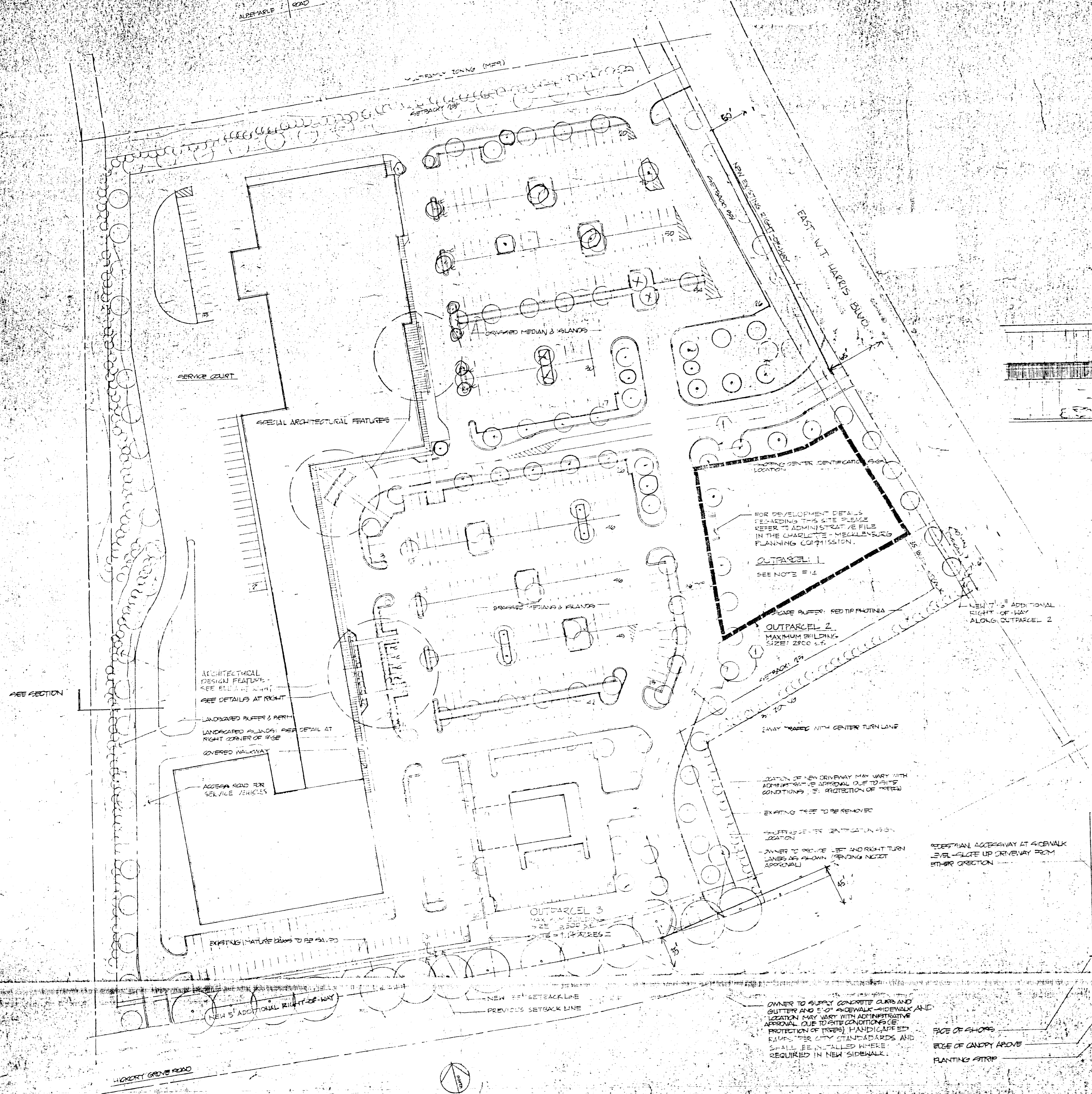
SEE ADMINISTRATIVE APPROVAL

DATED: 09/12/90
BY: MARTIN R. CRAMPTON, JR.

FOR REVISED PLAN

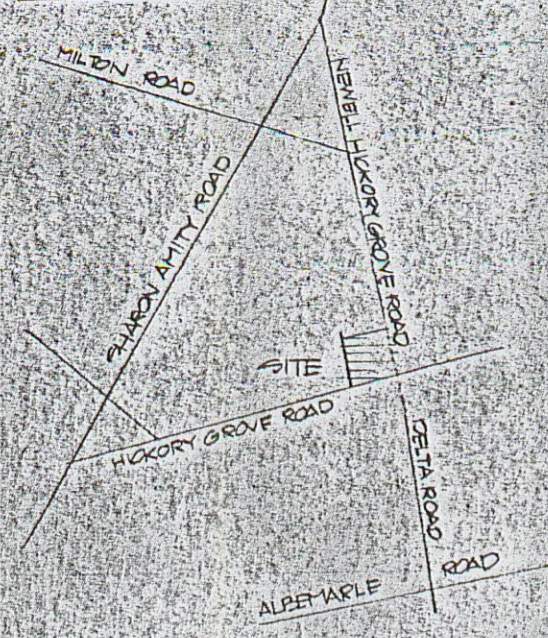


Typical Island Detail



Site Plan
1"=50'

Vicinity Map



Symbols

- EDGE OF PAVEMENT-NO CURB
- EDGE OF PAVEMENT W/ 6" CURB & GUTTER
- PROPERTY LINE
- SETBACK OR CENTERLINE
- LAN PLANTING
- TREES (5'-10' HEIGHT)
- SMALL TREES (0'-3' HEIGHT)
- NATURE EXISTING TREES
- ISLAND - PAINTED ON PAVEMENT
- ISLAND - 6" CURB AND GUTTER

Building Data and Performance Standards

1. THIS APPLICATION REQUESTS MODIFICATION OF EXISTING B-1 SCD PLAN.
2. TOTAL SITE IS ABOUT 21 ACRES.
3. MAXIMUM BUILDING AREA, INCLUDING OUTPARCELS SHALL NOT EXCEED 115,000 SF (OUTPARCELS 1 AND 2).
4. THESE DRAWINGS ARE SCHEMATIC. ACTUAL BUILDING LOCATION AND CONFIGURATION MAY VARY. PARTIAL ELEVATION SHOWN BELOW IS ILLUSTRATIVE ONLY. DELINEATED LOCATIONS MAY VARY FROM THOSE SHOWN.
5. ALL BUILDINGS TO CONFORM WITH CITY ZONING ORDINANCE.
6. TREES SHALL BE PLANTED OR RETAINED AS SHOWN CONCEPTUALLY. ACTUAL LOCATION MAY VARY. PLANTINGS SHALL CONFORM TO OR EXCEED REQUIREMENTS OF CITY ZONING ORDINANCE. SIMILAR SPECIES MAY BE SUBSTITUTED FOR THOSE TYPES NAMED.
7. PARKING SHALL CONFORM TO OR EXCEED REQUIREMENTS OF CITY ZONING ORDINANCE.
8. THE PETITIONER AND SHOPPING CENTER OWNER AGREE TO DEDICATE ADDITIONAL RIGHT-OF-WAY ALONG HICKORY GROVE ROAD AND HARRIS BLVD. FOR HICKORY GROVE RD. THIS ADDITIONAL RIGHT-OF-WAY SHALL BE 5' AND SHALL BE 7' 6" FOR HARRIS BLVD. AT PARCEL 2. THE DEDICATION SHALL OCCUR PRIOR TO THE ISSUANCE OF ANY ADDITIONAL BUILDING PERMITS.
9. BASE INFORMATION TAKEN FROM A SURVEY PREPARED FOR THE OWNER BY JACK CHRISTIAN, CHARLOTTE, NC. LOCATION OF NORTHERN ZONING LINE PROVIDED BY BOB YOUNG AT A MEETING AT HIC OFFICE ON 11 APRIL 1990.
10. ELEVATION WILL INCLUDE FEATURES TO PROVIDE PEDESTRIAN SCALE & INTEREST (IE: AWNING, ROOF LEVEL CHANGES, COLOR, LANDSCAPING, ETC.).
11. BUILDINGS DEVELOPED IN THE OUTPARCELS SHALL BE DESIGNED TO BE COMPATIBLE WITH THE ARCHITECTURE OF THE SHOPPING CENTER.
12. THE SHOPPING CENTER SHALL COMPLY WITH THE CHARLOTTE TREE ORDINANCE.
13. THE SHOPPING CENTER SHALL COMPLY WITH CITY OF CHARLOTTE FIRE DEPARTMENT REGULATIONS REGARDING FIRE HYDRANT LOCATIONS.
14. PARCEL 1 IS NOT INCLUDED IN THIS SITE PLAN AMENDMENT. NO AMENDMENTS MADE AS PART OF THIS PLAN SHALL INCLUDE PARCEL 1.
15. A SIGN/DIRECTIONAL ARROWS SHALL BE INSTALLED AT THE TOLBY DRIVE IN RINDON TO DIRECT TRAFFIC IN THE PROPER DIRECTION.
16. IN THE EVENT THAT ANY OF THE EXISTING MATURE TREES ADJOINING THE HICKORY GROVE RD. RIGHT-OF-WAY MAY DIE, THE PROPERTY OWNERS AGREE TO REPLACE THE TREE(S) WITH A LIKE (OR SIMILAR) TREE(S) MEASURING A MINIMUM OF 3 1/2" IN CALIPER AT THE TIME OF PLANTING.

Daniel J. Crumpton & Partners

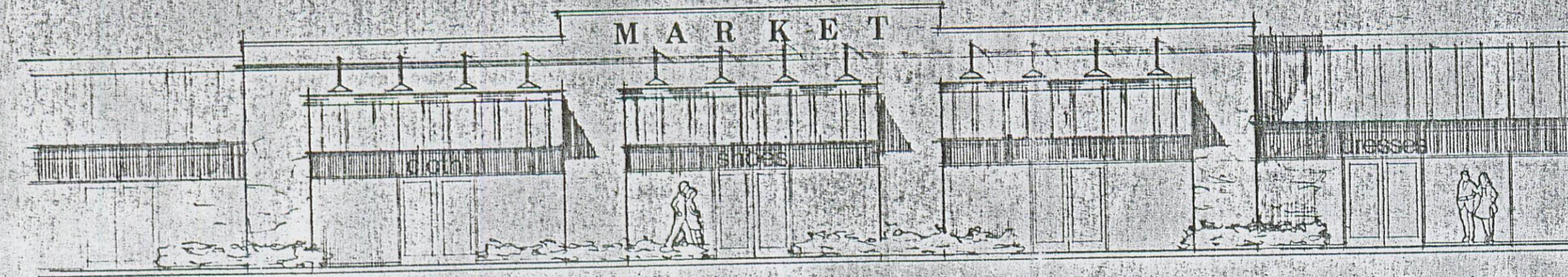
1100 W. 10th St. Charlotte, NC 28202
 Phone: 704.375.1100
 Fax: 704.375.1101

RP 90-77

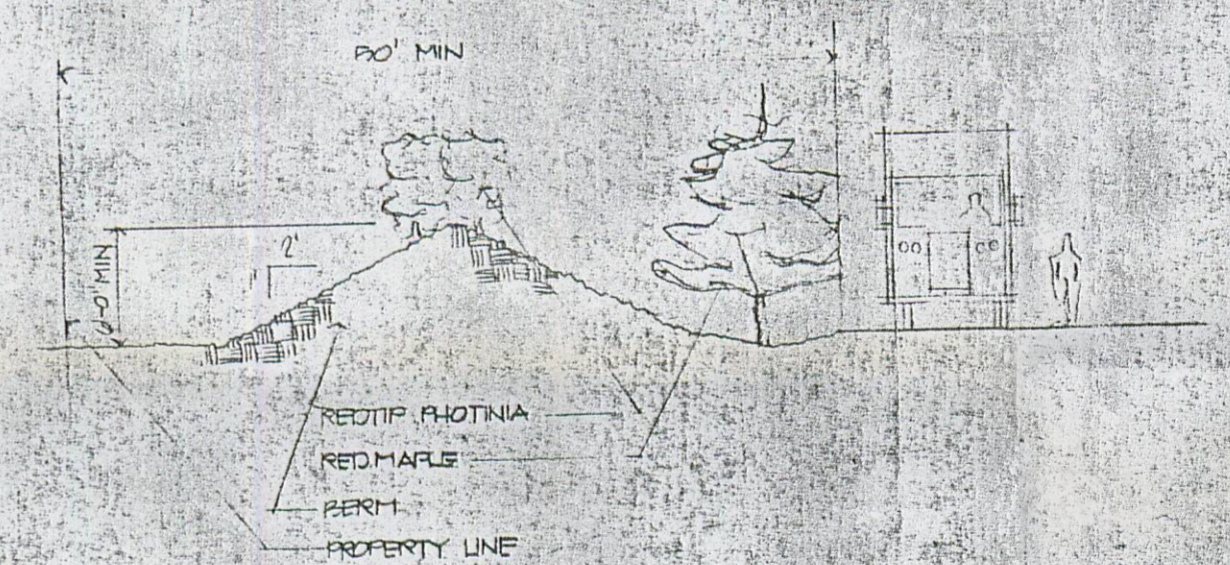
Shopping Center
 Hickory Grove at
 Newell-Hickory Grove Roads
 Charlotte, NC

Charlotte Realty Limited Partners

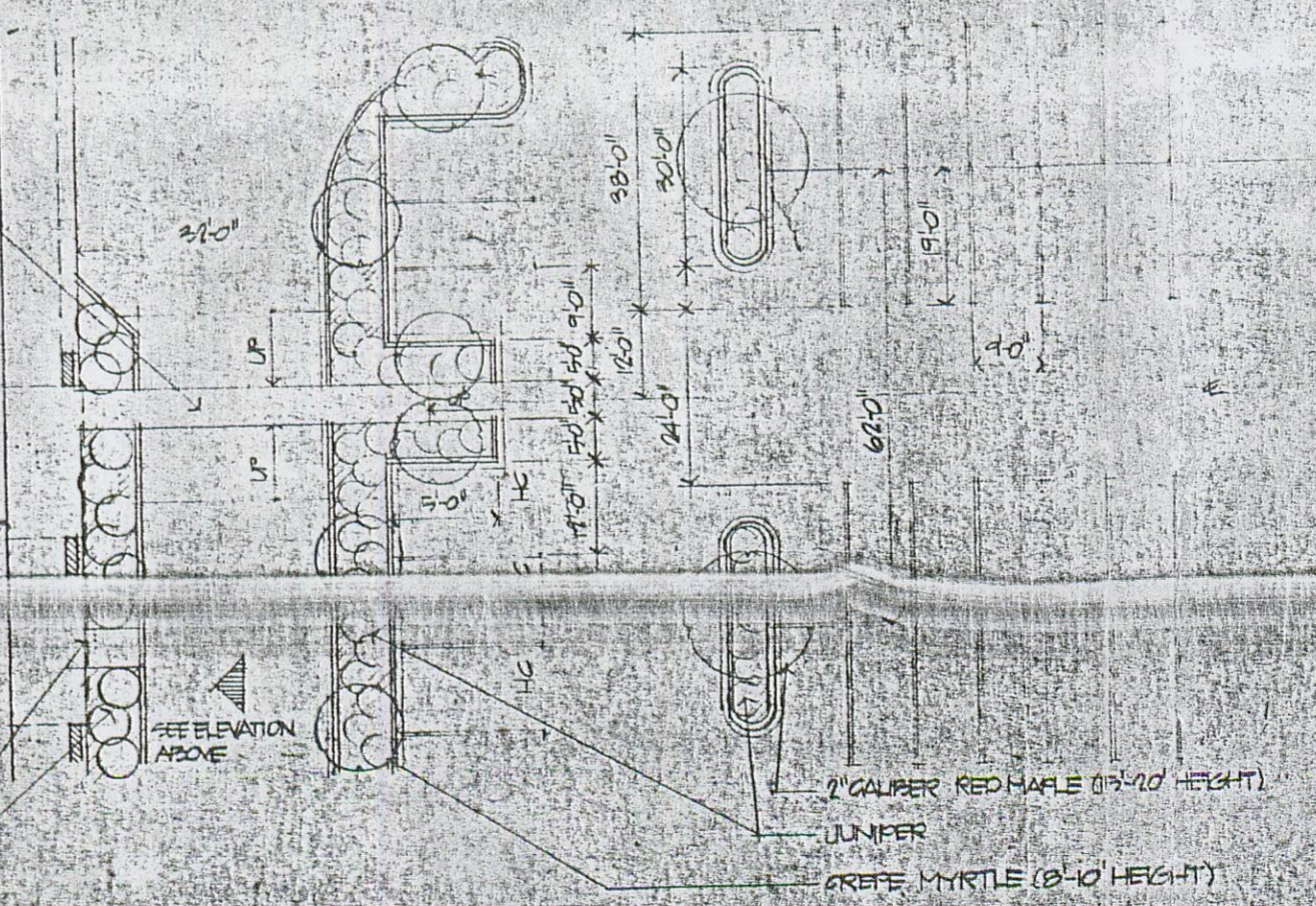
RECEIVED
 SEP 25 1990
 Transportation Engineering



Typical Elevation at Shops



Typical Section at Berm



Typical Island Detail

Modification of B-1 SCD Site Plan

Project Number:	90-77
Drawn by:	ML
Date:	11/2 JUL 90
Revised:	

24 SEPTEMBER 1990
 PETITION 90-77
 FOR PUBLIC HEARING

SEE ADMINISTRATIVE APPROVAL

DATED: 05/11/92
 BY: MARTIN R. CRAMPTON, JR.

FOR REVISED PLAN



Site Plan
 1"=60'

11