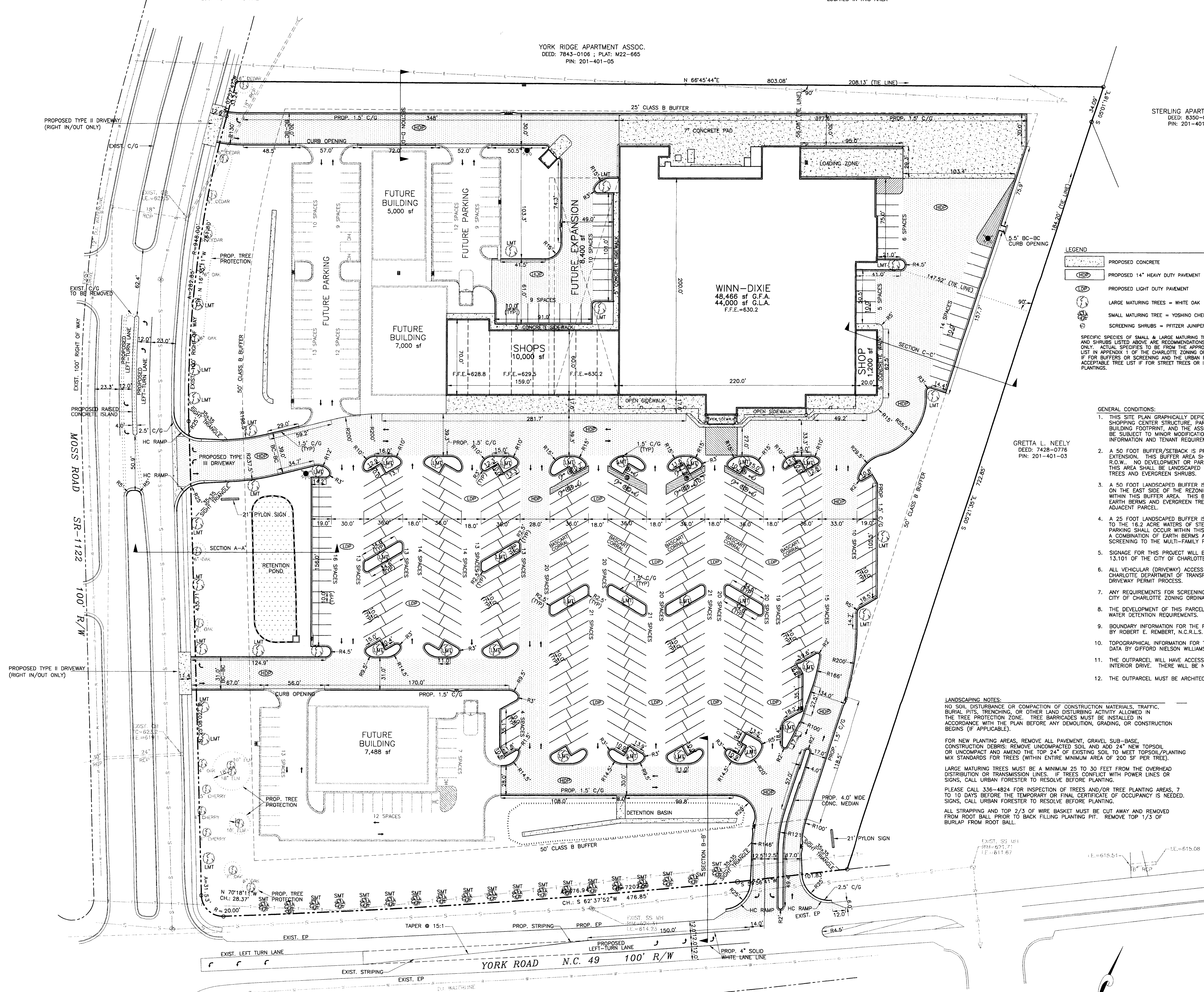
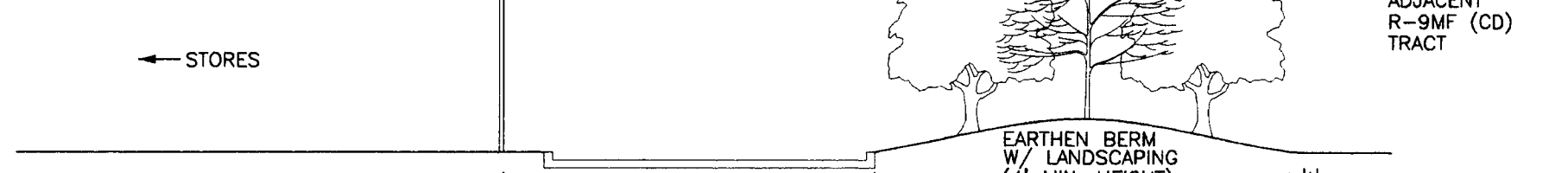
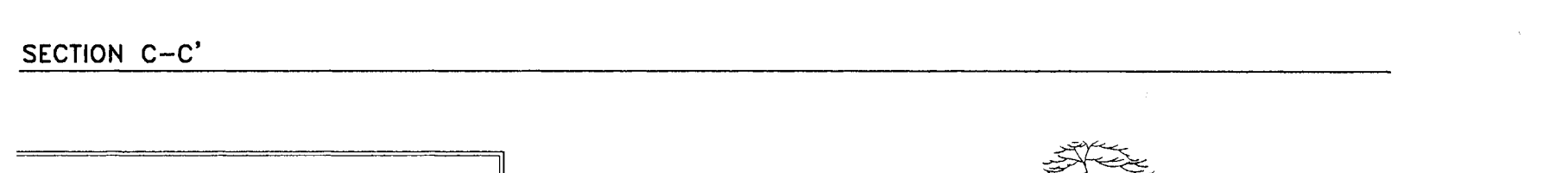
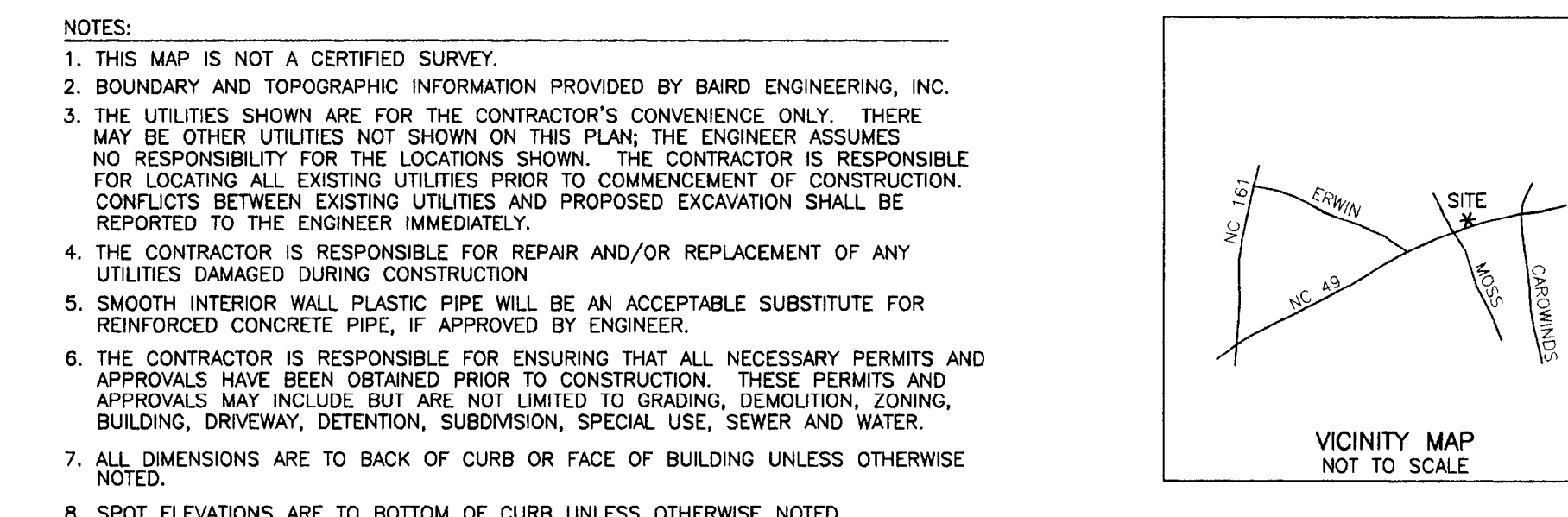
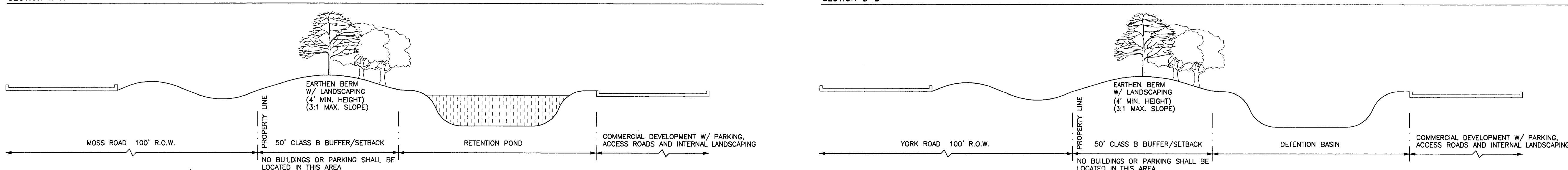


SECTION A-A'

SECTION B-B'



NOTES: 1. THIS MAP IS NOT A CERTIFIED SURVEY. 2. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY SAHO ENGINEERING, INC. 3. THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE FOR LOCATING ALL UTILITIES SHOWN ON THIS PLAN, THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. 4. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. 5. SMOOTH INTERIOR WALL PLASTIC PIPE WILL BE AN ACCEPTABLE SUBSTITUTE FOR REINFORCED CONCRETE PIPE, IF APPROVED BY ENGINEER. 6. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, LANDSCAPING, ZONING, BUILDING, DRIVEWAY, SETBACK, SUBDIVISION, SPECIAL USE, SEWER AND WATER. 7. ALL DIMENSIONS ARE TO BACK OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. 8. SPOT ELEVATIONS ARE TO BOTTOM OF CURB UNLESS OTHERWISE NOTED.

AS PER ORIGINAL CD REZONING PLAN SCREENING IN THIS AREA SHALL BE ACCOMPLISHED USING A COMBINATION OF EARTH BERMS, BUCKINGHOE STREET TREES AND SHRUBS.

SCREENING IN THE 25' BUFFER AREA SHALL BE ACCOMPLISHED USING A COMBINATION OF FENCING AND EVERGREEN TREES AND SHRUBS.

ZONING CODE SUMMARY

PROJECT NAME: WINN-DIXIE
OWNER/AGENCY: WINN-DIXIE STORES, INC. PHONE # 704-366-1981
PLANS PROVIDED BY: THE ISSACS GROUP, INC. PHONE # 704-527-3440
ZONING: B-115000 JURISDICTION: CITY OF CHARLOTTE
PROPOSED USE: SHOPPING CENTER

YARD REQUIREMENTS: SETBACK (FRONT): 50' FT. FROM R/W REAR YARD: 25' FT. SIDE YARD: 50' FT.

REQUIRED BUFFERS: FRONT: 50' CLASS B SIDE (L): 50' CLASS B REAR: 50' CLASS B SIDE (L): 50' CLASS B

REQUIRED SCREENING: FRONT: 50' CLASS B REAR: 50' CLASS B SIDE (L): 50' CLASS B SIDE (L): 50' CLASS B

PARKING ONLY: 30 SPACES @ 5' x 10' G.C.

BUILDING COVERAGE: 80.8% 50 FEET GROSS FLOOR AREA: 59,666. 50 FEET LOT SIZE: 2,333.0/2,333. 50 FEET/ACRES NUMBER OF UNITS/SUITES: 10 BUILDINGS, PARKING LOTS, AND WALKWAYS COVERAGE: 283,926/2,333. 50 FEET/ACRES

INTERIOR LANDSCAPING: AREA REQUIRED = 10% OF TOTAL INTERIOR = 293,024 x 0.10 = 29,302.4 SF. TREES REQUIRED IN LANDSCAPED AREA: 293,024 SF x 1 TREE PER 10,000 SF = 30 TREES TREES PROVIDED IN LANDSCAPED AREA: 30 LMT.

STREET TREES: YORK HIGHWAY FRONTAGE/20 FT PER S.M.T. = 595 L.F./20 = 29.8 TREES MOSS ROAD FRONTAGE/20 FT PER S.M.T. = 718 L.F./20 = 35.9 TREES STREET TREES PROVIDED = 14 EXIST. 3.28 (PROP.) TREES

PARKING DATA (SPECIFIC REQUIREMENT, ZONING ORDINANCE AND SECTION NUMBER) REFERENCE ZONING CODE 12.202 OFFICE AND PROFESSIONAL BLDG. GROSS FLOOR AREA (G.F.A.): 59,666 S.F./250 = 238.7 REQUIRED: 239 PROVIDED: 239 HANDICAP: 12

ALL SIGNAGE WILL BE APPROVED AND PERMITTED SEPARATELY.

L.M.T. REPRESENTS LARGE MATURING TREES FROM AN APPROVED LIST IN APPENDIX I OF THE CITY OF CHARLOTTE ZONING ORDINANCE FOR SCREENING AND BUFFER TREES AND FROM THE URBAN FORESTRY APPROVED LIST FOR STREET TREES AND INTERNAL PLANTINGS REQUIRED BY THE ZONING ORDINANCE. MINIMUM TREE CALIPER MEASURED 8 INCHES ABOVE GROUND ON ALL TREES SHALL BE 4.0 INCHES AND THE MINIMUM HEIGHT SHALL BE 8 FEET. ALL MULTI-STEM PLANTS MUST BE TREE FORM (MINIMUM 3 TO 5 TRUNKS) AND MINIMUM 1" TALL MATCH IS REQUIRED.

SHRUBS USED FOR SCREENING TO BE EVERGREEN FROM THE APPROVED LIST IN APPENDIX I OF THE CHARLOTTE ZONING ORDINANCE. SHRUBS TO BE AT LEAST 3' x 1" WITH PLANTED AND NO FURTHER APART THAN 5' - THEY MUST BE OF A VARIETY AND ACQUILITY MAINTAINED SO THAT AN AVERAGE OF 3 TO 6 FEET GROWTH CAN BE EXPECTED AS NORMAL GROWTH WITHIN 4 YEARS OF PLANTING.

ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: 1/12/97

BY: MARTIN R. CRAMTON, JR.

GRAPHIC SCALE: 1 INCH = 40 FEET

REVISIONS:

NO.	BY	DATE	REVISION
1	BTU	8/15/97	REV LAYOUT
2	BTU	9/18/97	REV LAYOUT
3	BTU	11/11/97	REV LAYOUT

YORK ROAD SHOPPING CENTER CHARLOTTE, NORTH CAROLINA

SITE PLAN

Prepared By: BTU Date: 1/12/97 Project No: 77706

Drawn By: BTU

Checked By: BTU

Scale: 1"=40'

6505 77 CENTER DRIVE, SUITE 250 CHARLOTTE, N.C. 28217

PHONE (704) 527-3440 FAX (704) 527-8335

C1.0

CHARLOTTE-MECKLENBURG PLANNING COMMISSION

INTER-OFFICE COMMUNICATION

DATE: February 9, 1998

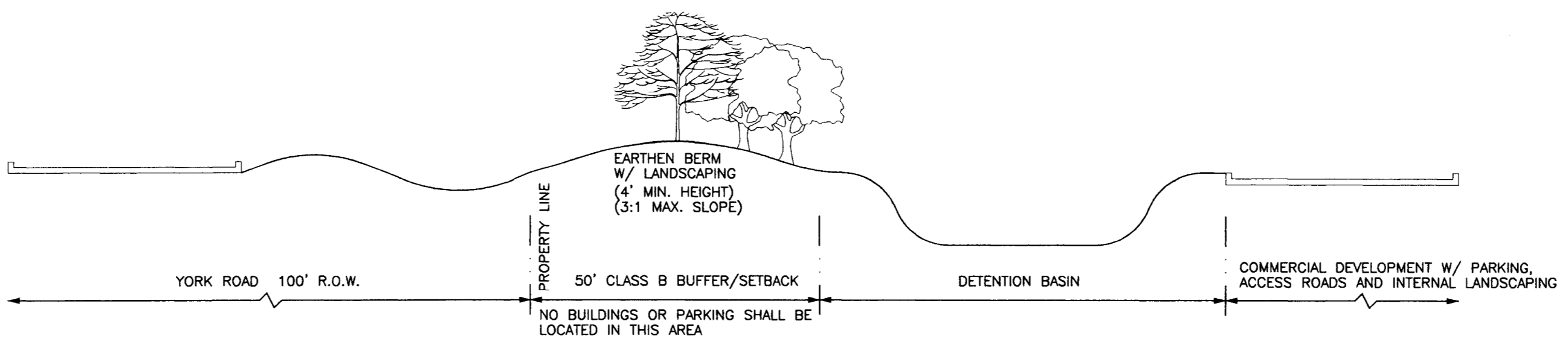
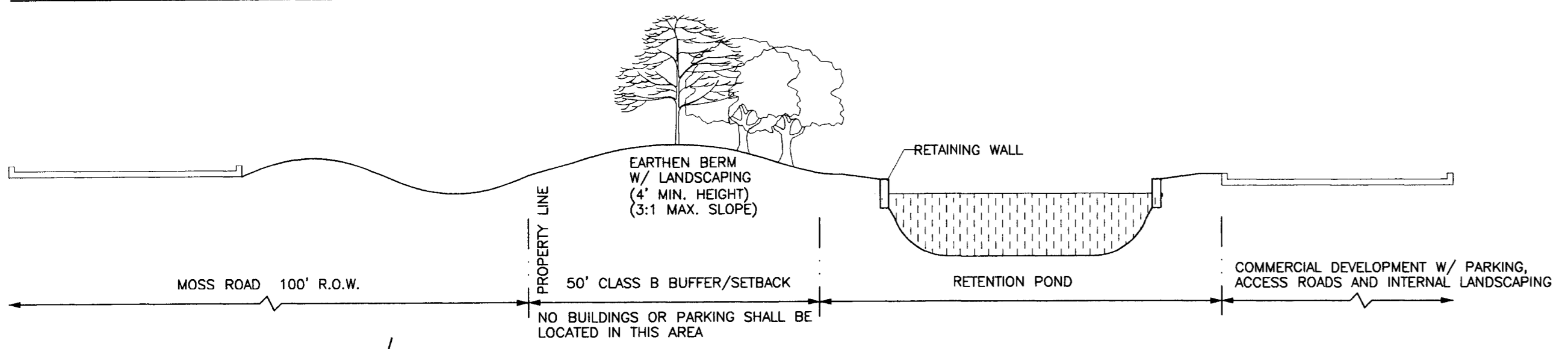
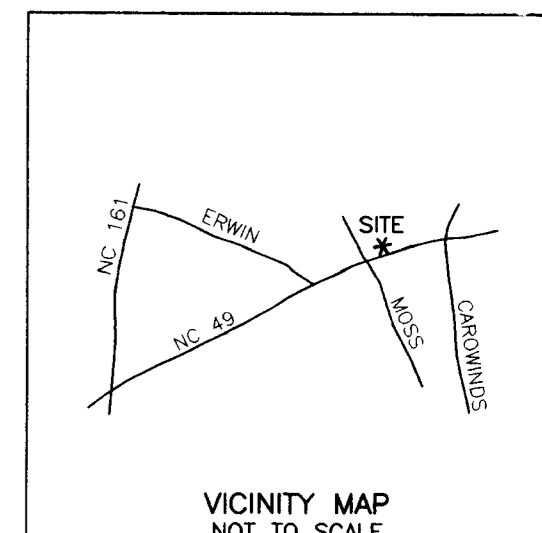
TO: Robert Brandon, Zoning Administrator

FROM: Martin R. Cramton, Jr., Planning Director

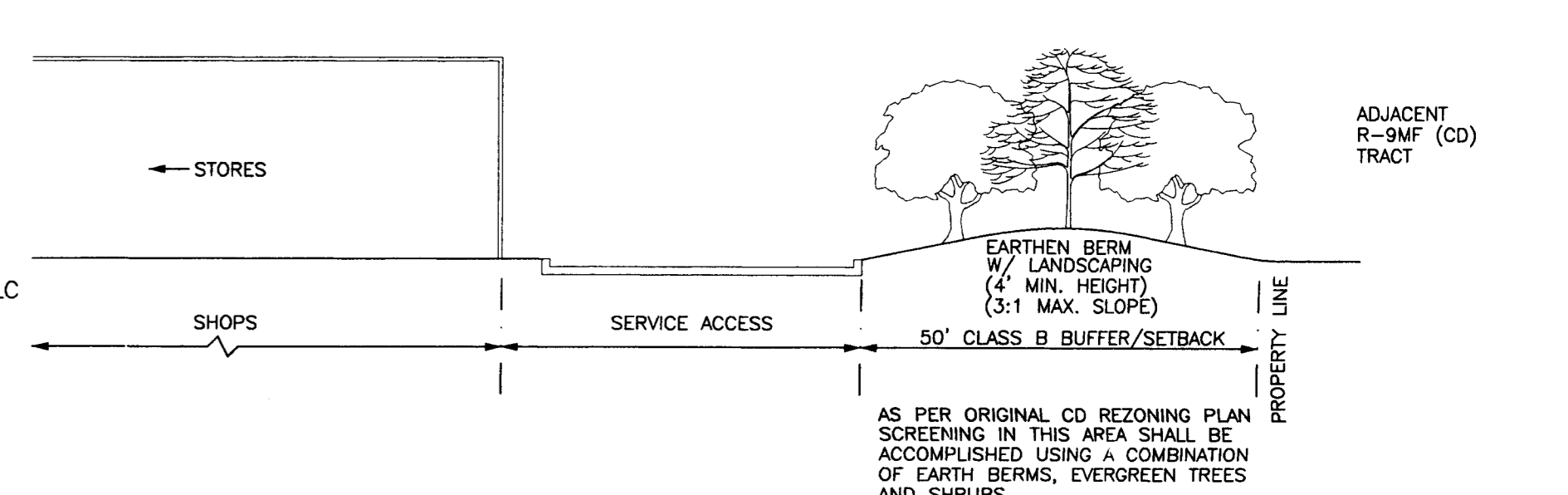
SUBJECT: Administrative Approval for Petition No. 88-5(c) Belk Investments Tax Parcel # 201-201-01

Attached is a revised plan for the above mentioned rezoning petition. The plan has been revised to show a new building and parking lot layout all other conditions of the previously approved plan remain the same. Since these changes are minor we are administratively approving the attached plan. Please use this plan when evaluating request for building permits and certificates of occupancy.

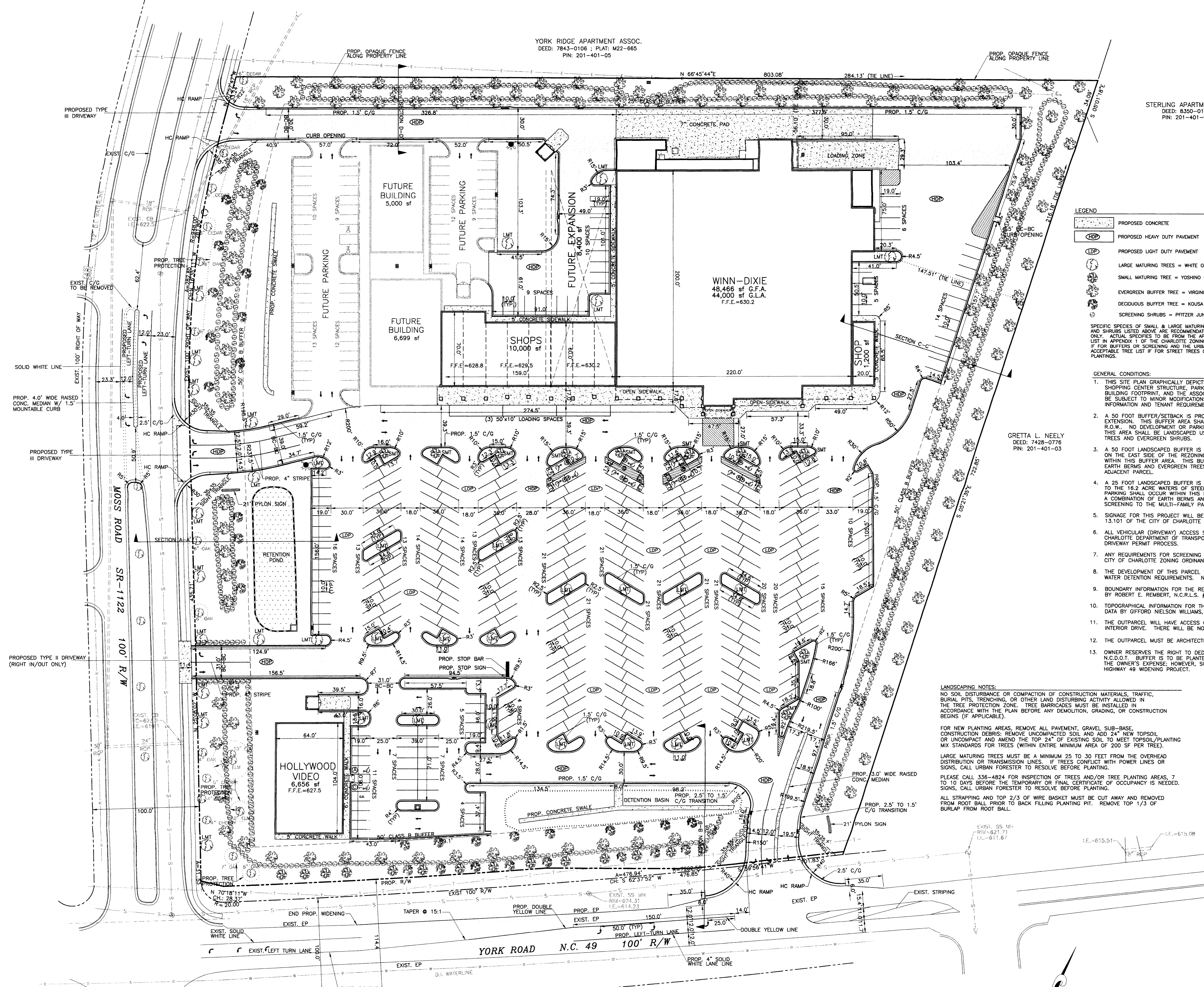
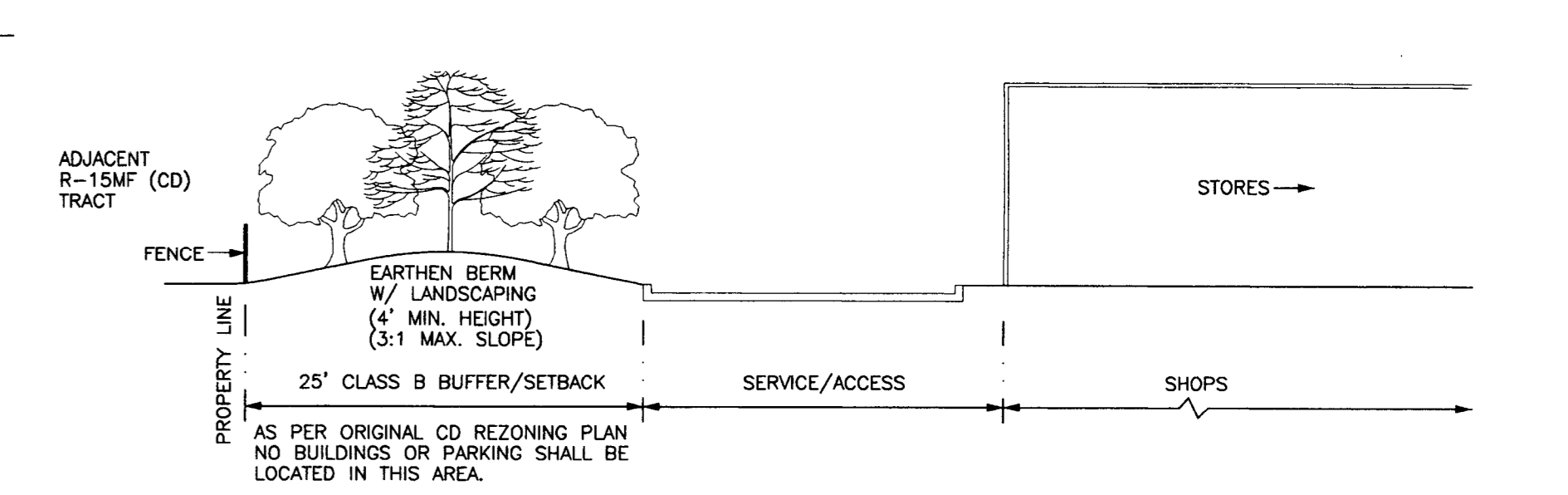
- NOTES:
1. THIS MAP IS NOT A CERTIFIED SURVEY.
 2. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY BAIRD ENGINEERING, INC.
 3. THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
 4. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION.
 5. SMOOTH INTERIOR WALL PLASTIC PIPE WILL BE AN ACCEPTABLE SUBSTITUTE FOR REINFORCED CONCRETE PIPE, IF APPROVED BY ENGINEER.
 6. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, DEMOLITION, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION, SPECIAL USE, SEWER AND WATER.
 7. ALL DIMENSIONS ARE TO BACK OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
 8. SPOT ELEVATIONS ARE TO BOTTOM OF CURB UNLESS OTHERWISE NOTED.



SECTION C-C'



SECTION D-D'



ZONING CODE SUMMARY

PROJECT NAME: WINN-DIXIE
OWNER/AGENT: BLANDHARD & SANDOZ
PLANS PREPARED BY: THE ISAACS GROUP, P.C.
ZONING: B-1(SO)
PROPOSED USE: SHOPPING CENTER
JURISDICTION: CITY OF CHARLOTTE

YARD REQUIREMENTS:
SETBACK (FRONT): 50' FT. FROM R/W
REAR YARD: 25' FT. SIDE YARD: 50' FT.

REQUIRED BUFFERS:
FRONT: NONE
SIDE (L): NONE
SIDE (R): NONE
REAR: NONE

REQUIRED SCREENING:
FRONT: NONE
SIDE (L): NONE
SIDE (R): NONE
REAR: NONE

BUILDING COVERAGE: 22.62%
50 FEET
NO. OF FLOOR AREAS: 66,622 - 50 FEET
LOT SIZE: 343,812/2.3 - 50 FEET/ACRES NUMBER OF UNITS/SPACES: 10
BUILDINGS, PARKING LOTS, AND WALKWAYS COVERAGE: 332,671/7.4 - 50 FEET/ACRES

INTERIOR LANDSCAPING:
AREA REQUIRED = 10% OF TOTAL IMPERVIOUS = 332,671 x 0.10 = 33,267 SF.
AREA PROVIDED = 210,239 SF.

TREES REQUIRED IN LANDSCAPED AREAS: 332,671 SF x 1 TREE PER 10,000 SF = 33.3 TREES
TREES PROVIDED IN LANDSCAPED AREAS: 25 LMT x 1.0 SMT = 30 TREES

BUFFER PLANTING:
50' FRONT BUFFER = 7 TREES AND 30 SHRUBS PER 100 FT. = (200/100) x 7 = 21 TREES
50' FRONT BUFFER = 8 TREES AND 20 SHRUBS PER 100 FT. = (225/100) x 8 = 24 TREES
50' FRONT BUFFER = 9 TREES AND 10 SHRUBS PER 100 FT. = (250/100) x 9 = 27 TREES
RIGHT BUFFER = 8 TREES AND 40 SHRUBS PER 100 FT. = (252/100) x 8 = 61 TREES
LEFT BUFFER = 8 TREES AND 40 SHRUBS PER 100 FT. = (252/100) x 8 = 61 TREES
REAR BUFFER = 6 TREES AND 40 SHRUBS PER 100 FT. = (252/100) x 6 = 48 TREES
REAR BUFFER = 6 TREES AND 40 SHRUBS PER 100 FT. = (252/100) x 6 = 48 TREES
BEHM REDUCES SHRUB REQUIREMENT BY 25% = 0.75(60)/100 x 7 = 21 SHRUBS
BEHM REDUCES SHRUB REQUIREMENT BY 25% = 0.75(60)/100 x 7 = 21 SHRUBS

STREET TREES:
YORK HIGHWAY FRONTAGE 50 FT PER L.M.T. = 565 LF/50 = 19.8 TREES
MOSS ROAD FRONTAGE 20 FT PER L.M.T. = 798 LF/50 = 15.9 TREES
STREET TREES PROVIDED = 32 EXIST. + 5 L.M.T. = 19.8 TREES

OFFICE AND PROFESSIONAL BLDG. - MAXIMUM 32'
REFERENCE ZONING CODE: 12.202
OFFICE AND PROFESSIONAL BLDG. - MAXIMUM 32'
GROSS FLOOR AREA (G.F.A.) = 59,868 SF/250 = 239.5 SPACES
GROSS FLOOR AREA (G.F.A.) = 59,868 SF/250 = 239.5 SPACES
OFFICE AND PROFESSIONAL BLDG. - MAXIMUM 32'
ALL SIGNAGE WILL BE APPROVED AND PERMITTED SEPARATELY.

L.M.T. REPRESENTS LARGE MATURING TREES FROM AN APPROVED LIST IN APPENDIX 1 OF THE CITY OF CHARLOTTE ZONING ORDINANCE FOR SCREENING AND BUFFER TREES AND FROM THE URBAN FORESTER APPROVED LIST FOR STREET TREES AND INTERNAL PLANTINGS REQUIRED BY THE ZONING ORDINANCE. MINIMUM TREE CALIPER MEASURED 6 INCHES ABOVE GROUND ON ALL TREES SHALL BE 2.0 INCHES AND THE MINIMUM HEIGHT SHALL BE 8 FEET. ALL MULTI-STEM PLANTS MUST BE TREE FORM (MAXIMUM 3 TO 5 TRUNKS) AND MINIMUM 6" TALL. MAX. 5 REQUIRED.

SHRUBS USED FOR SCREENING TO BE EVERGREEN FROM THE APPROVED LIST IN APPENDIX 1 OF THE CITY OF CHARLOTTE ZONING ORDINANCE. SHRUBS TO BE USED 2" TALL WHEN PLANTED AND NO FURTHER AWAY THAN 25". THEY MUST BE OF A VARIETY AND ADEQUATELY ADAPTED TO THE CLIMATE AND SOIL OF THE AREA. THE AVERAGE OF 0.5 FEET COULD BE EXPECTED AS NORMAL GROWTH WITHIN 4 YEARS OF PLANTING.

APPROVAL

APPROVED BY: MARTIN R. CRAMTON, JIC
DATE: December 15, 1998
BY: MARTIN R. CRAMTON, JIC
88-5(c)

APPROVED BY: [Signature]
DATE: 9/25/98

NO.	BY	DATE	REVISION
1	BTU	8/15/97	REV LAYOUT
2	BTU	9/18/97	REV LAYOUT
3	BTU	11/17/97	REV LAYOUT
4	BTU	12/22/97	REV LAYOUT
5	BTU	1/19/98	REV DIMENSIONS & LABELS
6	BTU	3/4/98	SHOW BUFFER PLANTINGS
7	WES	3/19/98	AS PER CDDI
8	WES	4/7/98	AS PER CDDI
9	BTU	5/4/98	ADD HOLLYWOOD VIDEO
10	BTU	5/12/98	REV BUILDINGS
11	BTU	7/7/98	REV DRIVES & BUFFER TREES
12	BTU	7/30/98	REV DRIVES
13	BTU	8/6/98	REV LANDSCAPING
14	BTU	9/22/98	REV R/W & FRONT BUFFER
15	BTU	11/20/98	REV FRONT BUFFER & NOTES

GRAPHIC SCALE
1" = 40 FEET

MOSS ROAD WINN-DIXIE
1109 SOUTH TRYON STREET
CHARLOTTE, NORTH CAROLINA

SITE PLAN

File # 880106 Date 7/7/96 Project Egr. CN
Design By: CN
Drawn By: BTU
Date: 1/4/0
CIVIL ENGINEERING DESIGN AND CONSULTING, INC.
8702-C RED OAK BOULEVARD
CHARLOTTE, N.C. 28217
PHONE (704) 527-3440 FAX (704) 527-8355

CHARLOTTE - MECKLENBURG
PLANNING COMMISSION
INTER - OFFICE COMMUNICATION

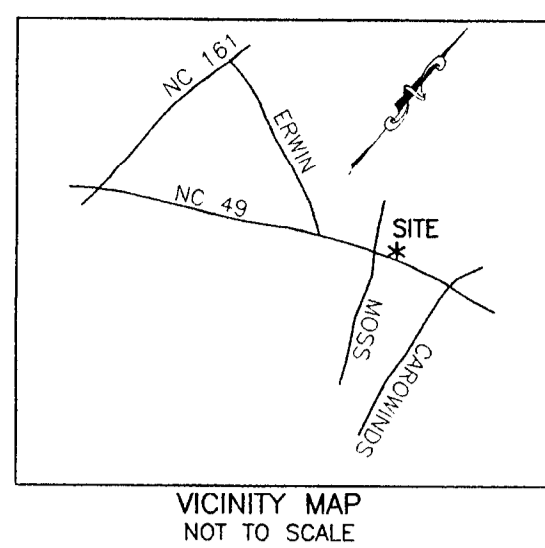
DATE: December 15, 1998

TO: Robert Brandon
Zoning Administrator

FROM: Martin R. Cramton, Jr.
Planning Director

SUBJECT: Administrative Approval for Petition No. 88-5(c) Belk Investments. Tax parcel 201-401-04.

Attached is a site plan showing a reduction of the 50 foot setback along South Tryon Street. The new setback will vary since the right-of-way required by the NCDOT was greater than anticipated. The plan also indicates that the plantings in this setback will be phased to occur after the widening of Highway 49, but screening will be installed before a certificate of occupancy is issued. Since this request is comparable with the presently approved plan I am administratively approving this plan. Please use this revised plan when evaluating requests for building permits and certificates of occupancy.

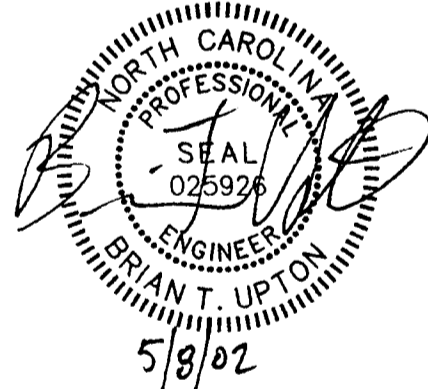


PAVING SPECIFICATIONS
 LIGHT DUTY PAVEMENT (LDP)
 6" COMPACTED AGGREGATE BASE COURSE (CAB)
 2" BINDER COURSE, TYPE H
 1" SURFACE COURSE, 1-2
 HEAVY DUTY PAVEMENT (HDP)
 8" COMPACTED AGGREGATE BASE COURSE (CAB)
 2" BINDER COURSE, TYPE H
 1" SURFACE COURSE, 1-2

NOTES:
 1. ALL FILL USED FOR RAISING SITE GRADE OR FOR REPLACEMENT OF MATERIAL THAT IS UNDERCUT SHOULD BE UNIFORMLY COMPACTED IN THIN LIFTS TO AT LEAST 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698). IN ADDITION, AT LEAST THE UPPER 18 INCHES OF SUBGRADE FILL BENEATH PAVEMENTS AND FLOOR SLABS AND 24 INCHES BELOW PAVEMENTS SUBJECT TO TRUCK TRAFFIC SHOULD BE COMPACTED TO 95 PERCENT OF THE SAME SPECIFICATION. SPECIFIC PAVEMENT OR FLOOR SLAB DESIGNS MAY REQUIRE FURTHER COMPACTON.
 2. PAVEMENT SPECIFICATIONS ARE RECOMMENDATIONS ONLY AND ARE SUBJECT TO CHANGE BASED UPON PROJECT CONDITIONS OR RECOMMENDATIONS FROM SOLS REPORT.

SIGN SCHEDULE
 (A) RESERVED PARKING—MAX PENALTY \$250 (MUTCD R7-8 & R7-80)
 (B) VAN ACCESSIBLE HANDICAPPED PARKING SIGN (MUTCD R7-8, R7-8A, & R7-8D)
 (C) STOP SIGN (30"x30") (MUTCD R1-1)

NOTES:
 1. THIS MAP IS NOT A CERTIFIED SURVEY. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY THE ISAACS GROUP, PC.
 2. THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
 3. PROVIDE MINIMUM OF 48 HOUR NOTICE TO OWNER OR REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY EXISTING UTILITY, IF BEING UTILIZED.
 4. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION.
 5. THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES.
 6. HANDICAP SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH A.D.A STANDARDS AT H/C PARKING SPACES SHOWN.
 7. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
 8. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, DEMOLITION, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION, SPECIAL USE, SEWER AND WATER.



YORK RIDGE APARTMENT ASSOC. DEED:
 7843-0106 ; PLAT: M22-665 PIN:
 201-401-05

ZONING CODE SUMMARY
 PROJECT NAME: MOSS ROAD SHOPS TAX PARCEL #: 201-401-04
 PLANS PREPARED BY: THE ISAACS GROUP, PC PHONE #: 704-527-3440
 ZONING: S-10520 PETITION #: 88-5(c) JURISDICTION: CITY OF CHARLOTTE
 PROPOSED USE: COMMERCIAL
 YARD REQUIREMENTS:
 SETBACK (FRONT): 50' FT. FROM R/W SIDE YARD: 50' FT.
 REQUIRED BUFFERS:
 FRONT: NO BUFFERS 50' CLASS B SIDE: NO BUFFERS 50' CLASS B
 BUILDING COVERAGE: 4,800 SQ. FEET GROSS FLOOR AREA: 4,800 SQ. FEET
 BUILDINGS, PARKING LOTS, AND WALKWAYS COVERAGE: 31,040 SQ. FEET
 INTERIOR LANDSCAPING:
 TREES REQUIRED IN LANDSCAPED AREAS: 31,040 SF x 1 TREE PER 10,000 SF = 3.1 TREES
 TREE PROVIDED IN LANDSCAPED AREAS: 2 LMT & 2 SMT
 PARKING DATA: (SPECIFIC REQUIREMENT, ZONING ORDINANCE AND SECTION NUMBER)
 REFERENCE ZONING CODE: 12.202
 GROSS FLOOR AREA (RETAIL) = 4,800 SF / 250 = 19.20 SPACES
 REQUIRED: 20 PROVIDED: 18 HANDICAP: 2
 ALL SIGNAGE WILL BE APPROVED AND PERMITTED SEPARATELY.
 L.M.T. REPRESENTS LARGE MATURING TREES FROM AN APPROVED LIST IN APPENDIX 1 OF THE CITY OF CHARLOTTE ZONING ORDINANCE FOR SCREENING AND BUFFER TREES AND FROM THE URBAN FORESTRY APPROVED LIST FOR STREET TREES AND INTERNAL PLANTINGS REQUIRED BY THE TREE ORDINANCE. MINIMUM TREE CALIPER MEASURED 8 INCHES ABOVE GROUND ON ALL TREES SHALL BE 2.0 INCHES AND THE MINIMUM HEIGHT SHALL BE 8 FEET. ALL MULTI-STEM PLANTS MUST BE TREE FORM (MAXIMUM 3 TO 5 TRUNKS) AND MINIMUM 8" TALL MATCHES REQUIRED.
 SHRUBS USED FOR SCREENING TO BE EVERGREEN FROM THE APPROVED LIST IN APPENDIX 1 OF THE CHARLOTTE ZONING ORDINANCE. SHRUBS TO BE AT LEAST 2' TALL WHEN PLANTED AND NO FOLIAGE LOSS. THEY MUST BE OF A VARIETY AND ADEQUATELY MAINTAINED SO THAT AN AVERAGE OF 5 TO 6 FEET COULD BE EXPECTED AS NORMAL GROWTH WITHIN 4 YEARS OF PLANTING.

LANDSCAPING NOTES:
 1. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED IN ACCORDANCE WITH THE PLAN BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS (IF APPLICABLE).
 2. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE, CONSTRUCTION DEBRIS AND COMPACTED SOIL PRIOR TO PLANTING.
 3. REMOVE COMPACTED SOIL AND ADD 2" NEW TOPSOIL/PLANTING MIX OR UNCOMPACT AND AMEND TOP 24" OF EXISTING SOIL TO MEET TOP SOIL STANDARDS FOR PLANTING TREES.
 4. PLEASE CALL VARIOUS PERMITS # 336-4255 FOR INSPECTION OF TREES AND/OR TREE PLANTING AREAS, 7 TO 10 DAYS BEFORE THE TEMPORARY OR FINAL CERTIFICATE OF OCCUPANCY IS NEEDED.
 5. ALL STRIPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
 6. MINIMUM TREE SIZE AT PLANTING IS 2-INCH CALIPER (FOR SINGLE STEM TREES) AND MINIMUM 8 FEET TALL.
 7. ALL EVERGREEN SHRUBS SHALL BE A MINIMUM OF 3 FEET IN HEIGHT AND PLANTED NO GREATER THAN 7" O.C. MAX.
 8. ADJUST TREE PLANTING TO AVOID UNDERGROUND UTILITIES, 10.0' OFF WATER, ELECT. AND GAS - 15.0' OFF SANITARY SEWER AND STORM DRAINAGE.
 9. REFERENCE C.M.D. STANDARDS 40.01, 40.02, 40.03, 40.04, AND 40.09 FOR TREE PLANTING AND PROTECTION DETAILS.
 10. ATTENTION LANDSCAPER: NOTIFY URBAN FORESTER OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES. CALL 336-4330.
 11. ORDINANCE REQUIRED TREES MUST BE MAINTAINED IN TREE FORM & ALLOWED TO GROW TO THEIR NATURAL HEIGHT/FORM, WITH A MAXIMUM OF THREE STEMS OR TRUNKS (NO TOPPING OR ROUNDING).
 12. ALL AUTOMOBILE PARKING SPACES MUST BE WITHIN SIXTY (60) FEET OF A TREE.
 13. LARGE MATURING TREES MAY NOT BE PLANTED UNDER THE OVERHEAD DISTRIBUTION POWER LINES. IF TREES CONFLICT WITH POWER LINES, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
 14. IF EXISTING LANDSCAPING IS NOT SUFFICIENT TO MEET SCREENING REQUIREMENTS, SUPPLEMENTAL PLANTINGS MAY BE REQUIRED BY ZONING INSPECTOR.
 15. ANY EXISTING TREES ALONG BUFFER THAT ARE DAMAGED DURING CONSTRUCTION MUST BE REPLACED.

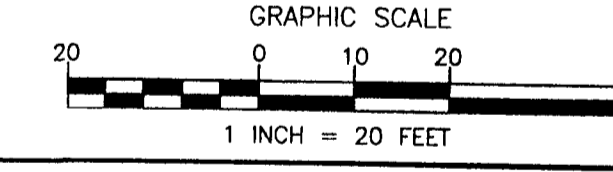
ATTACHED TO ADMINISTRATIVE APPROVAL
 DATED: June 6, 2002 88-5(c)

GENERAL CONDITIONS: BY: MARTIN R. CRAMTON, JR.

- THIS SITE PLAN GRAPHICALLY EXPRESSES THE GENERAL LAYOUT AND CHARACTER OF THE PROPOSED SHOPPING CENTER STRUCTURE, PARKING AREAS, VEHICULAR CIRCULATION AND ACCESS. THE FINAL BUILDING FOOTPRINT, AND THE ASSOCIATED PARKING AND VEHICULAR CIRCULATION PATTERNS WILL BE SUBJECT TO MINOR MODIFICATIONS, BASED UPON MORE DETAILED AND ACCURATE FIELD INFORMATION AND TENANT REQUIREMENTS.
- A 50 FOOT BUFFER/SETBACK IS PROPOSED ADJACENT TO BOTH YORK ROAD AND MOSS ROAD EXTENSION. THIS BUFFER AREA SHALL BE MEASURED FROM THE EXISTING 100 FOOT PUBLIC R.O.W.. NO DEVELOPMENT OR PARKING SHALL OCCUR WITHIN THIS 50 FOOT BUFFER AREA. THIS AREA SHALL BE LANDSCAPED USING A COMBINATION OF EARTH BERMS, DECIDUOUS STREET TREES AND EVERGREENS.
- A 50 FOOT LANDSCAPED BUFFER IS PROPOSED ADJACENT TO THE EXISTING R-9M² PARCEL WITHIN THIS BUFFER AREA. THIS BUFFER SHALL BE LANDSCAPED USING A COMBINATION OF EARTH BERMS AND SHRUBS IN ORDER TO OFFER SCREENING TO THE ADJACENT PARCEL.
- A 25 FOOT LANDSCAPED BUFFER IS PROPOSED ALONG THE NORTH PROPERTY LINE ADJACENT TO THE 16.2 ACRE WAREHOUSES OF STEELE CREEK MULTI-FAMILY PARCEL. NO DEVELOPMENT OR PARKING SHALL OCCUR WITHIN THIS BUFFER AREA. THIS BUFFER SHALL BE LANDSCAPED USING A COMBINATION OF EARTH BERMS AND EVERGREEN TREES AND SHRUBS IN ORDER TO OFFER SCREENING TO THE MULTI-FAMILY PARCEL.
- SIGNAGE FOR THIS PROJECT WILL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 13.101 OF THE CITY OF CHARLOTTE ZONING ORDINANCE.
- ALL VEHICULAR (DRIVEWAY) ACCESS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE CHARLOTTE DEPARTMENT OF TRANSPORTATION AND N.C.D.O.T. THROUGH THE ESTABLISHED DRIVEWAY PERMIT PROCESS.
- ANY REQUIREMENTS FOR SCREENING SHALL BE IN ACCORDANCE WITH SECTION 12.303 OF THE CITY OF CHARLOTTE ZONING ORDINANCE.
- THE DEVELOPMENT OF THIS PARCEL SHALL ADHERE TO THE CITY OF CHARLOTTE STORM WATER DETENTION REQUIREMENTS. NO DETENTION ALLOWED IN BUFFERS.
- BOUNDARY INFORMATION FOR THE REZONING PARCEL WAS TAKEN FROM A CERTIFIED BOUNDARY BY ROBERT E. REMBERT, N.C.R.L.S. #1055 AND DATED DEC. 28, 1987.
- TOPOGRAPHICAL INFORMATION FOR THE REZONING PARCEL WAS TAKEN FROM FIELD GENERATED DATA BY GIFFORD NELSON WILLIAMS, PROJECT #201085, DATED 3/5/88.
- THE OUTPARCEL WILL HAVE ACCESS ONLY FROM THE SHOPPING CENTER PARKING LOT OR INTERIOR DRIVE. THERE WILL BE NO DIRECT ACCESS TO THIS PARCEL FROM YORK ROAD.
- THE OUTPARCEL MUST BE ARCHITECTURALLY COMPATIBLE WITH THE REST OF THE SHOPPING CENTER.

LEGEND
 (HDP) PROPOSED HEAVY DUTY PAVEMENT (HDP)
 (LDP) PROPOSED LIGHT DUTY PAVEMENT (LDP)
 (CONC) PROPOSED CONCRETE
 (LMT) LARGE MATURING TREES - WHITE OAK
 (SMT) SMALL MATURING TREE - YOSHINO CHERRY

SPECIFIC SPECIES OF SMALL & LARGE MATURING TREES AND SHRUBS LISTED ABOVE ARE RECOMMENDATIONS ONLY. ACTUAL SPECIES TO BE FROM THE APPROVED LIST IN APPENDIX 1 OF THE CHARLOTTE ZONING ORDINANCE IF FOR BUFFERS OR SCREENING AND THE URBAN FORESTRY ACCEPTABLE TREE LIST IF FOR STREET TREES OR INTERNAL PLANTINGS.



NO.	BY	DATE	REVISION

MOSS ROAD SHOPS
 SOUTH TRYON STREET
 CHARLOTTE, NORTH CAROLINA

SITE PLAN

File #: 02085.DWG Date: 05/07/02 Project Egr: BTU
 Desgn By: BTU
 Drawn By: WOP
 Scale: 1"=20'

8720 RED OAK BOULEVARD, SUITE 420
 CHARLOTTE, N.C. 28217
 PHONE (704) 527-3440 FAX (704) 527-8335

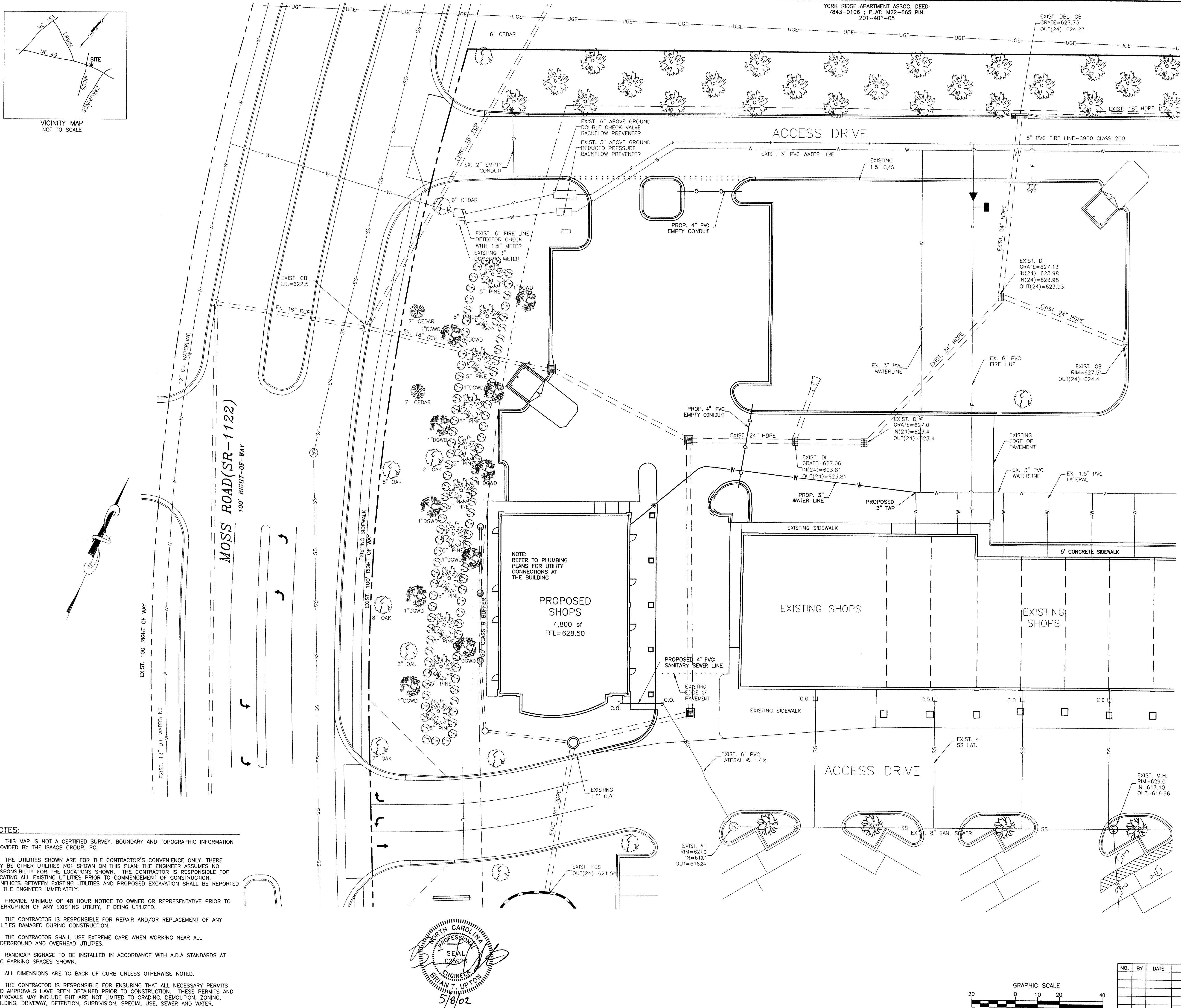
ISAACS
 CIVIL ENGINEERING DESIGN AND LAND SURVEYING

C1.0

CHARLOTTE - MECKLENBURG PLANNING COMMISSION
INTER - OFFICE COMMUNICATION

DATE: June 6, 2002
TO: Robert Brandon, Zoning Administrator
FROM: Martin R. Cramton, Jr., Planning Director
SUBJECT: Administrative Approval for Petition No. 88-5(c) by Belk Investments.

Attached is a revised technical data and elevations for the referenced petition. The plan has been revised to show the location of retail shops with elevations. Since these plans are in compliance with the development guidelines, I am administratively approving these plans. Please use these plans when evaluating requests for building permits and certificates of occupancy.



UTILITY NOTES:

1. EXACT LOCATIONS OF WATER SERVICE CONNECTIONS ARE REQUIRED FOR AS BUILT RECORDS.
2. MINIMUM COVER OF 36" FOR WATER AND SEWER LINES.
3. D.I.P. REQUIRED FOR WATER AND SEWER LINES IF FOLLOWING CONDITIONS ARE NOT MET:
 - 12" CLEARANCE FROM STORM DRAINS, GAS MAINS, TELEPHONE DUCT BANKS AND UNDERGROUND CABLES.
 - 18" VERTICAL CLEARANCE FOR WATER LINE INSTALLED ABOVE SEWER LINE.
 - WATER LINE CROSSING UNDER SEWER LINE.
 - 10' HORIZONTAL SEPARATION FOR WATER PARALLEL TO SEWER LINE.
4. SIZE AND LOCATION OF EXISTING WATER AND SEWER LINES TO BE VERIFIED BY THE CONTRACTOR.
5. CONTRACTOR SHALL COORDINATE THE PROPOSED WATER AND SEWER LINE WORK WITH THE CHARLOTTE MECKLENBURG UTILITY DEPARTMENT (CMUD).
6. MATERIAL AND WORKMANSHIP REQUIREMENTS TO BE IN ACCORDANCE WITH THE CHARLOTTE MECKLENBURG UTILITY DEPARTMENT WATER AND SEWER POLICIES, PROCEDURES, STANDARDS AND SPECIFICATIONS FOR PUBLIC AND PRIVATE WATER AND SEWER LINES.
7. ALL 6" SANITARY SEWER LATERALS SHALL HAVE MIN. 1.0% SLOPE.
8. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ISACCS GROUP A MINIMUM OF 48 HOURS IN ADVANCE PRIOR TO THE CONSTRUCTION OF WATER AND SEWER LINES TO ALLOW A REPRESENTATIVE FROM THE ISACCS GROUP TO PERIODICALLY BE ON-SITE DURING INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AN AS-BUILT SURVEY OF THE WATER AND SEWER LINES TO THE ISACCS GROUP UPON COMPLETION OF INSTALLATION.
9. PROVIDE MINIMUM OF 48 HOUR NOTICE TO OWNER OR REPRESENTATIVE.
10. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITY DAMAGED DURING CONSTRUCTION.
11. THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES.
12. PROP. EMPTY CONDUITS AND LATERALS TO BE CAPPED AND MARKED AT EACH END WITH 1/2" REPAIR DRIVEN 3" INTO THE GROUND AND FLAGGED (TYP).
13. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR OTHER WATER-USE APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CMUD-REQUIRED BACKFLOW PREVENTER.
14. EACH CMUD-REQUIRED BACKFLOW PREVENTION ASSEMBLY IS REQUIRED TO BE TESTED BY A CMUD-APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE.

LEGEND

- G - EXISTING GAS LINE
- SS - EXISTING SANITARY SEWER LINE
- W - EXISTING WATER LINE
- SD - EXISTING STORM DRAINAGE PIPE
- CB - EXISTING CATCH BASIN
- SM - EXISTING SAN. SEWER MH
- UL - EXISTING UTILITY POLE
- EV - EXISTING VALVE
- SB - PROPOSED SANITARY SEWER LINE
- SW - PROPOSED WATER LINE
- EC - PROPOSED EMPTY CONDUIT
- SD - PROPOSED STORM DRAINAGE PIPE
- C.O. - PROPOSED CLEAN OUT (75' O.C.)

NOTES:

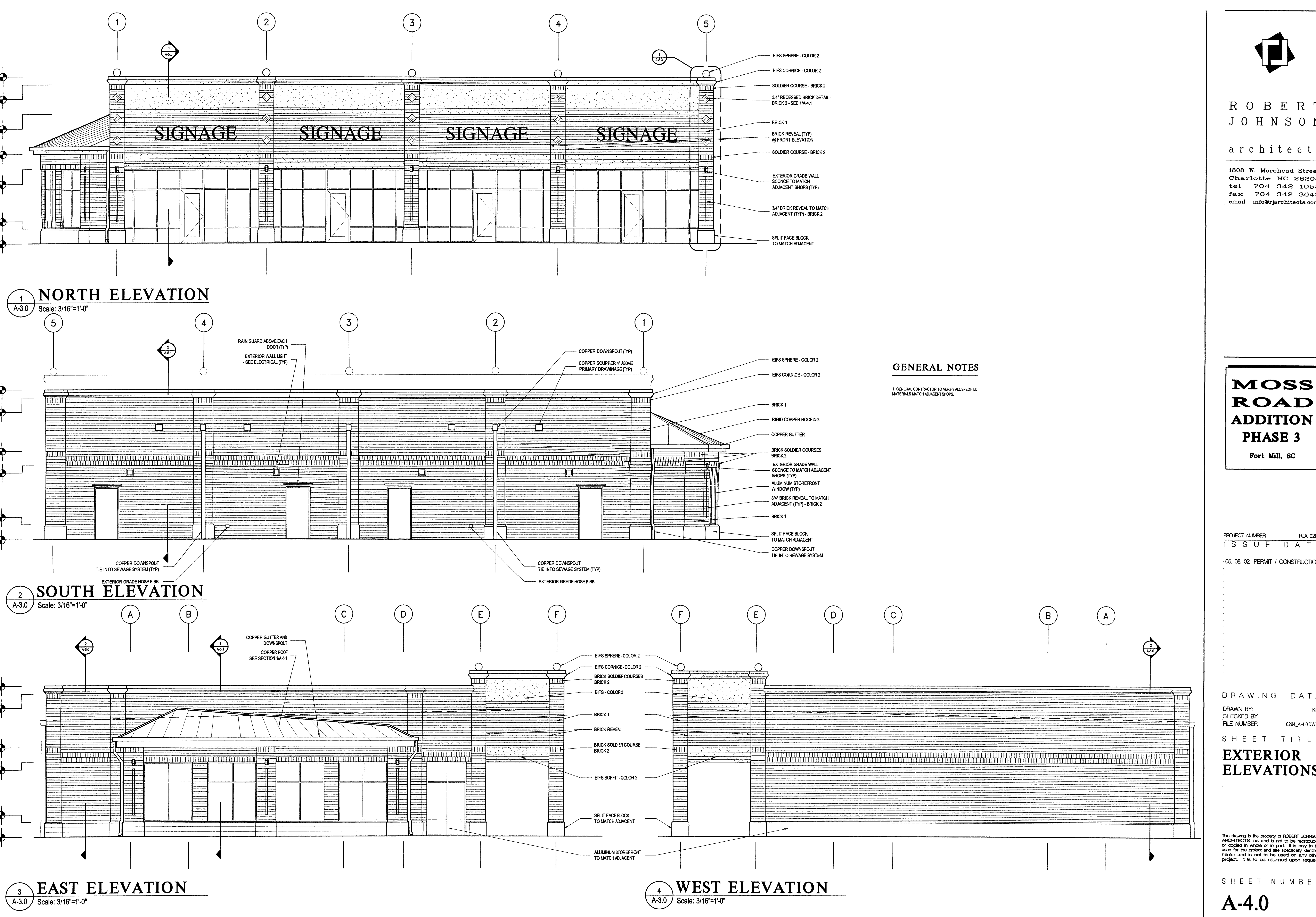
1. THIS MAP IS NOT A CERTIFIED SURVEY. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY THE ISACCS GROUP, PC.
2. THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
3. PROVIDE MINIMUM OF 48 HOUR NOTICE TO OWNER OR REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY EXISTING UTILITY, IF BEING UTILIZED.
4. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES.
6. HANDICAP SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH A.D.A. STANDARDS AT H/C PARKING SPACES SHOWN.
7. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, DEMOLITION, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION, SPECIAL USE, SEWER AND WATER.

PROJECT: MOSS ROAD SHOPS
 SOUTH TRYON STREET
 CHARLOTTE, NORTH CAROLINA

UTILITY PLAN

ISAACS GROUP, INC.
 8730 RED OAK BOULEVARD, SUITE 420
 CHARLOTTE, N.C. 28217
 PHONE (704) 527-3440 FAX (704) 527-8355

Scale: 1" = 20'



ROBERT JOHNSON architects

1808 W. Morehead Street
 Charlotte, NC 28208
 tel: 704 342 1058
 fax: 704 342 3043
 email: info@architects.com

MOSS ROAD ADDITION PHASE 3
 Fort Mill, SC

PROJECT NUMBER: RJA 0204
 ISSUE DATE: 05.08.02 PERMIT / CONSTRUCTION

DRAWING DATA
 DRAWN BY: KP
 CHECKED BY: FILE NUMBER: 0204_A4-010
 SHEET TITLE: EXTERIOR ELEVATIONS

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SHEET NUMBER
A-4.0