

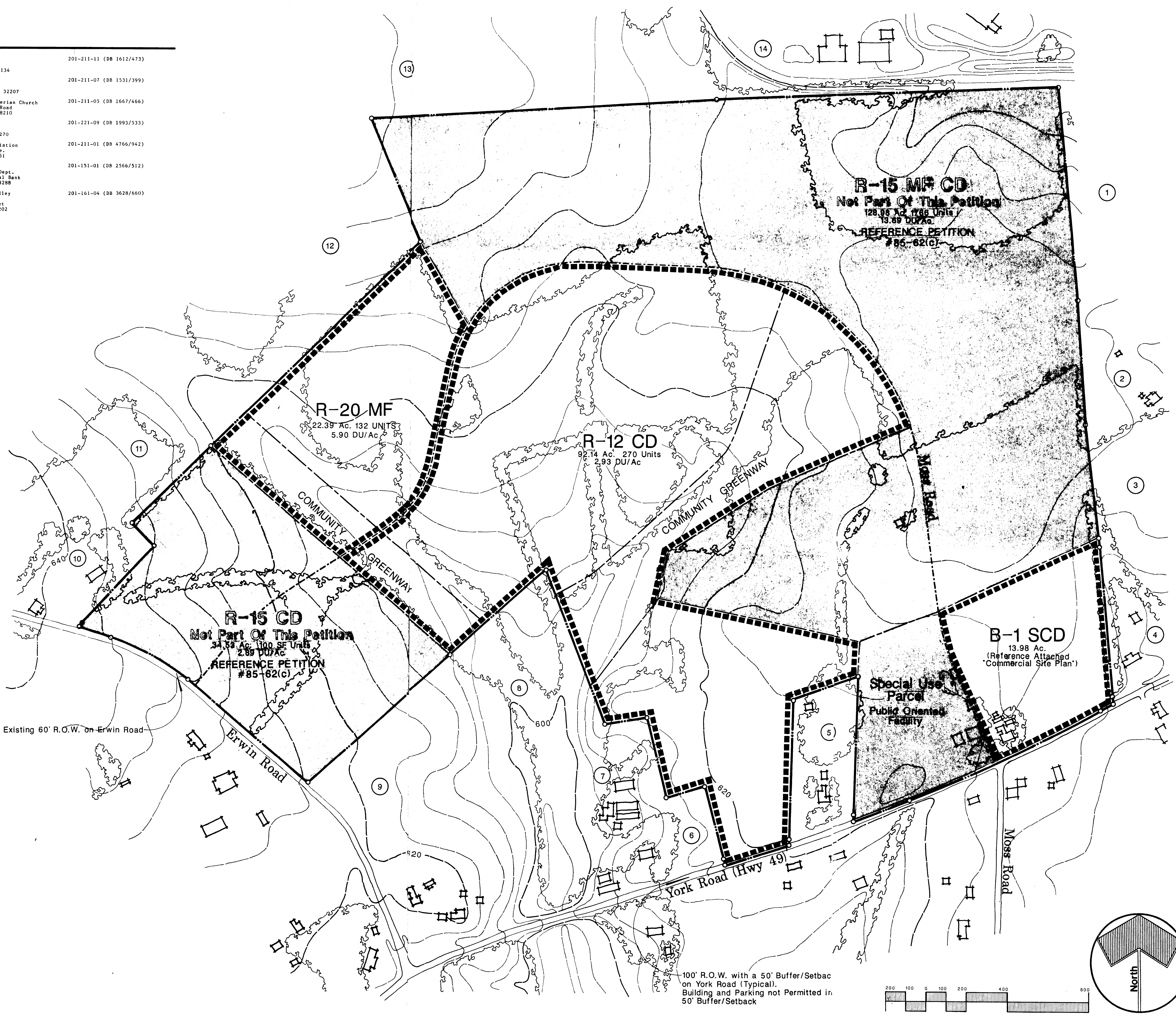
Adjacent Property Owners

1. Glen M. Linder 200-201-10 (CR 3105/289) 200-201-17 (CR 3105/292) Charlotte, N.C. 28210	2. John D. Davis 472 J. Davis Trenton, N.C. 28134	200-211-11 (CR 3412/473)
3. Hal L. Price 10810 John Price Road Charlotte, N.C. 28210	3. Frank A. Erwin 4300 Gates Ln. Aiken, S.C. 29801	200-211-07 (CR 1531/399)
4. Steve R. Hopkins 3900 Fairview Road One Fairview Place Charlotte, N.C. 28210	4. McCluskey Presbyterian Church P.O. 2, 1400 Erwin Road Charlotte, N.C. 28210	200-211-05 (CR 1667/466)
5. Thomas W. Wells 870 S. Box 190 Fayetteville, N.C. 28134	5. St. Andrew's Episcopal 842 Wesley Place Charlotte, N.C. 28270	200-227-09 (CR 1993/533)
6. John Boyd 200-201-02 (CR 1221/418) Fayetteville, N.C. 28134	6. Steele Creek Association 111 S. Haddon Ave. Mintland, N.C. 28275	200-211-01 (CR 4766/542)
7. John Preston 2200 North Street Charlotte, N.C. 28208	7. Robert Cooper 200-195-01 (CR 2566/512)	200-195-01 (CR 2566/512)
8. James C. Price 870 S. Fayetteville, N.C. 28134	8. Hinson Realty & Co. 221 S. Cherry Street Charlotte, N.C. 28202	200-161-04 (CR 3628/660)

Conditional Requirements

- Multi-family density in the first two phases of development shall not exceed 10 units per acre. Single density in subsequent phases is permitted but shall not exceed a maximum of 200 units, including single-family.
- No more than 40% of the multi-family rental units shall be used before the development with proper setbacks and landscaping. No individual units shall have direct parking lot access to "Main Road Extension".
- Variety of architectural design between phases of the development is to be provided. Form and use of exterior materials, building color, and landscaping shall be consistent between phases. The development shall include such factors as heights, scale, road lines, materials and colors.
- Innovative design and site integration of buildings and parking as it relates to existing topography and vegetation is a major objective for each development phase.
- The site plan shall allow for separate entrances for each phase of the development with proper setbacks and landscaping. No individual units shall have direct parking lot access to "Main Road Extension".
- Land and owner will be required to be available for review after the first phase of multi-family and prior to the development of the second phase of multi-family. The development shall be completed by the Planning Commission.
- Final accessions must be provided between the proposed commercial development and existing single-family homes. Landscaping screening shall be provided between all developments.
- Primary access to the commercial sections will not be from York Road. A minor, necessary road will be provided directly from York Road to the commercial section for service. Service road shall be adequately screened from the public right-of-way and shall not be a through road.
- The proposed single-family area shall be zoned as follows and developed accordingly:

a. Parcel A	R-15 CD
b. Parcel B	R-12 CD
c. Parcel C	Cluster Option Not Permitted
d. Parcel D	R-20 MF
- The commercial parcel shall be developed as shown on the attached plan labeled "Commercial Site Plan".
- Development of all parcels shall comply with all applicable zoning ordinances at the time of development.
- All signage will conform to City/County Zoning Ordinance requirements.
- Permitted uses in the areas designated as "Community Greenway" will be limited to park and recreational facilities and usage. Commercial, "Community Greenway" shall be developed and available for park and recreational purposes.
- The roadway through the development ("Main Road Extension") will have a minimum right-of-way of 100' at the York Road entry. The remainder of the roadway will have a minimum 50' right-of-way. The roadway shall include a landscaped median, a landscaped shoulder, and a landscaped edge (generally 12' +/- wide), curb and gutter, and sidewalks on both sides of the street. A minimum 5' planting area between streets and curb is required.
- The sections allowing building access coverage for the R-15 CD parcel shall be as shown on the attached plan labeled "Commercial Site Plan".
- A 50' buffer/setback for land along York Road to be measured from the existing 100' right-of-way shall be provided by the developer(s) at the time of development.
- Parking areas in the multi-family projects should include a residential area and should have landscaped areas equal to 10% of the paved area.
- The development of this site shall adhere to the City's storm water management ordinance.
- Parcels with R-20 (MF) zoning shall be developed as single-family detached with land, and will require the innovative housing provisions allowed in this Ordinance, and further, each lot shall contain no less than 1000 s.f.c.
- Some land (approximately one-half acre) in the southeast corner of the R-12 CD parcel may be provided for check-out at some future time.
- Roadway connection thru the Community Greenway shall be permitted, but not required. Exact location of the roadway shall be determined at the time of development of the subject parcels.
- Primary access locations are shown on the land use plan for conceptual purposes. Secondary access points may be provided, with locations to be determined at the time the applicable parcel is developed.



PETITION #88-5(C) *Belt Investments*

WMH Project Manager GCR Design By WMH Date: 12/28/87 Project Number: 87081	#88-5(C)-REV. NOTES 8, 10 & 21. ADD PETITION REFERENCE NOS; LABEL GREENWAYS, DEFINED LIMITS OF PETITION	DPR ASSOCIATES Landscape Architects Design • Planning • Research 2036 East Seventh Street Charlotte, NC 28204 704/332-1204	Proposed Zoning Plan York Road Development Charlotte, North Carolina APPROVED BY COUNTY COMMISSION DATE 3/21/88	Scale: 1" = 200' Sheet Number: 1 of Two Total: 2
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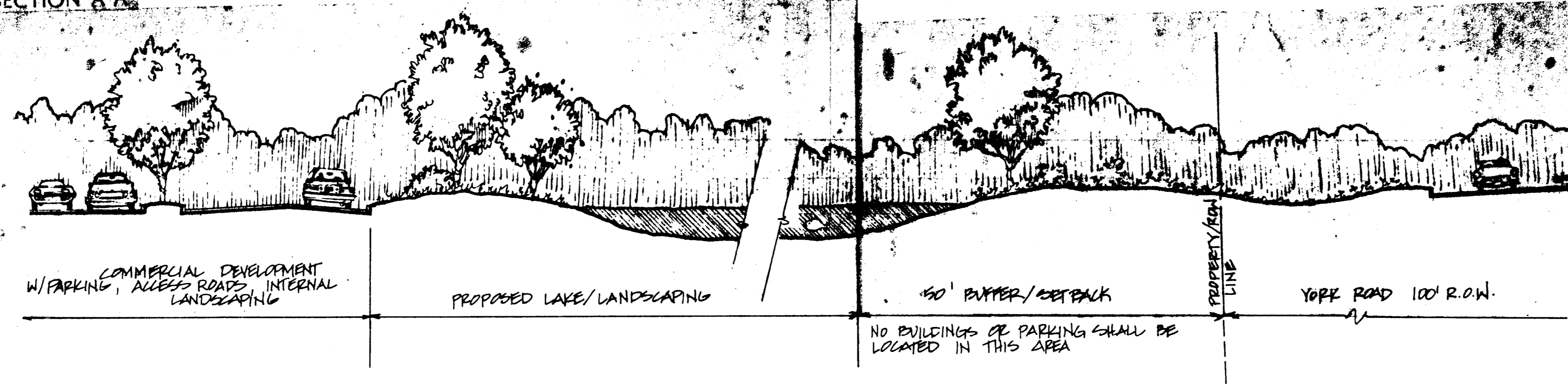
PETITION #88-5(C)

WMH Project Manager GCR Design By WMH Date: 12/28/87 Project Number: 87081	#88-5(C)-REV. NOTES 8, 10 & 21. ADD PETITION REFERENCE NOS; LABEL TRACTS, ADD PETITION NO.	DPR ASSOCIATES Landscape Architects Design • Planning • Research 2036 East Seventh Street Charlotte, NC 28204 704/332-1204	Proposed Land Use Plan York Road Development Charlotte, North Carolina	Scale: 1" = 200' Sheet Number: 2 of Two Total: 2
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SITE DATA

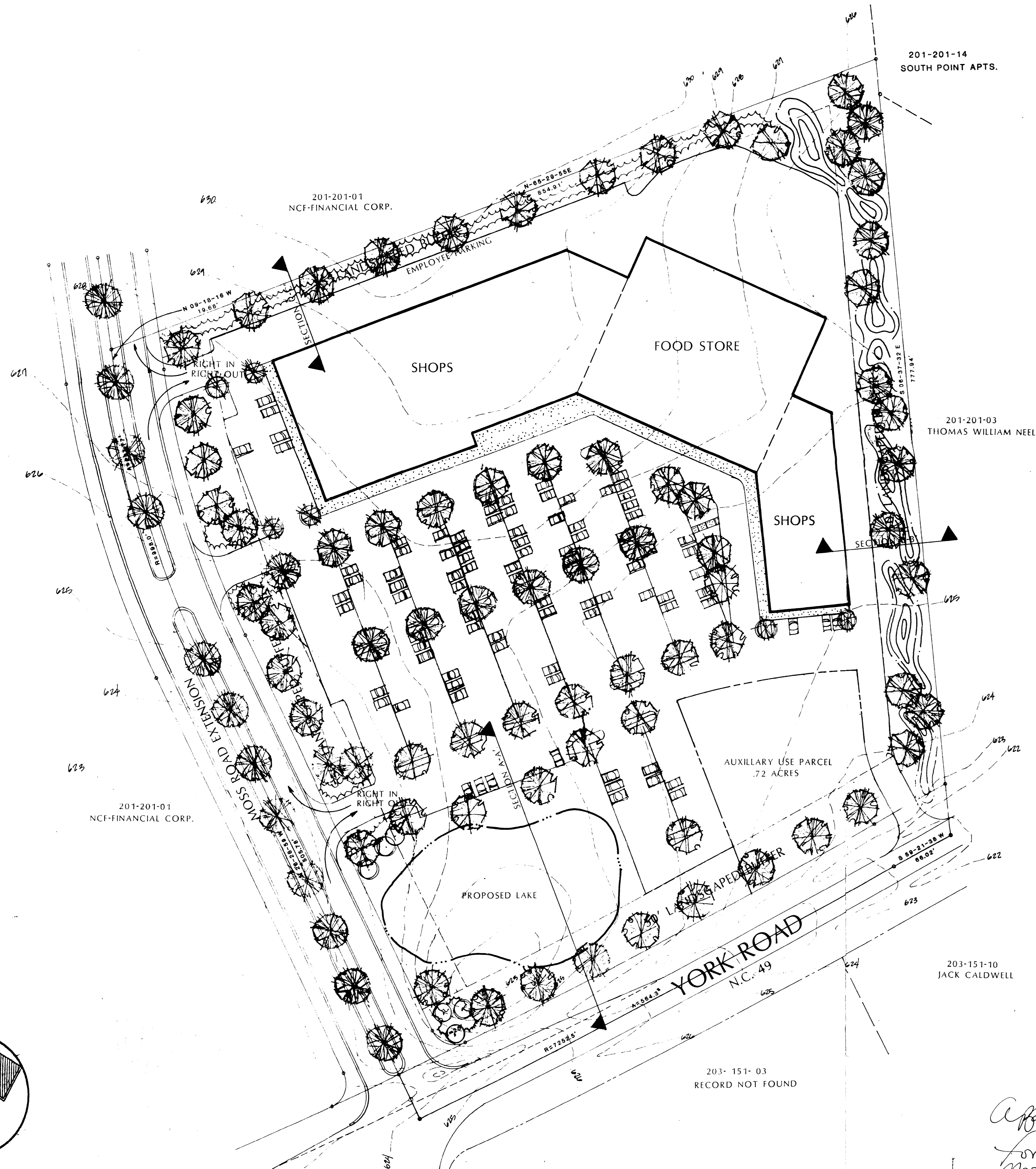
TOTAL SITE ACREAGE ——— 13.89 ACRES
 EXISTING ZONING ——— B-1 SCD
 PROPOSED ZONING ——— B-1 SCD
 120,000 S.F. COMMERCIAL ALLOWED
 90,000 S.F. COMMERCIAL PROPOSED
 500 PARKING SPACES PROPOSED

SECTION A-A

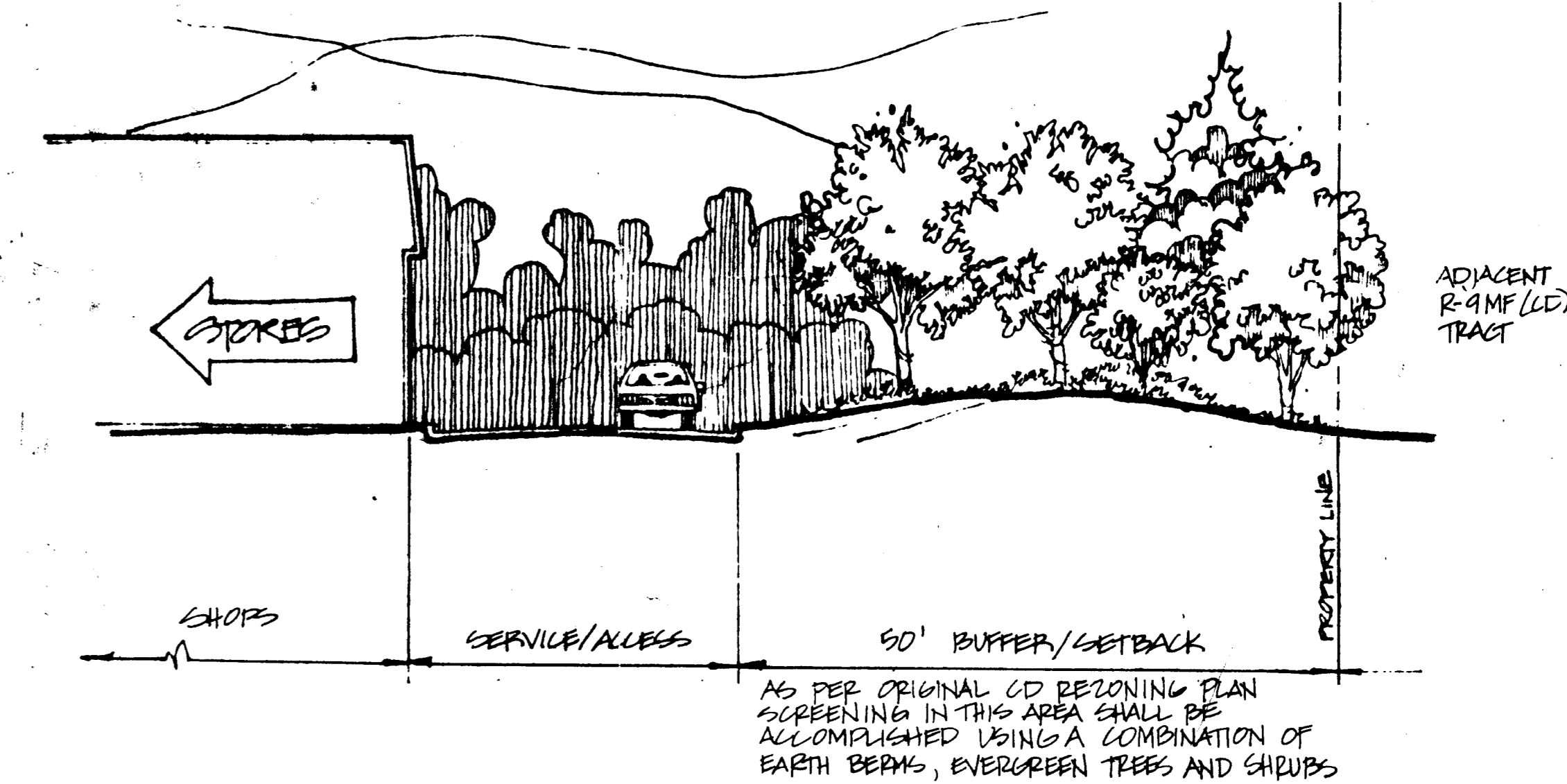


GENERAL CONDITIONS :

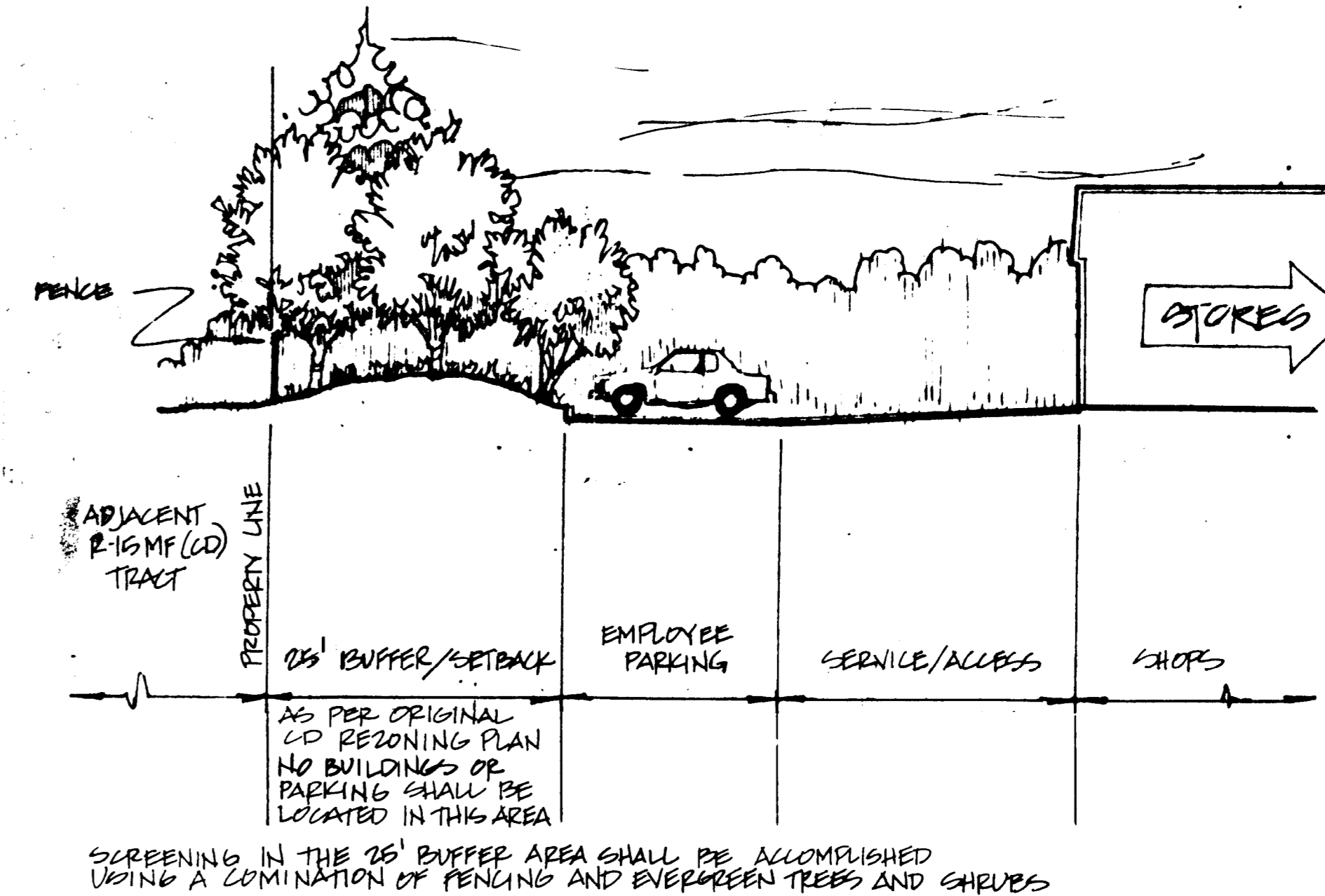
1. THIS SITE PLAN GRAPHICALLY DEPICTS THE REVENUE LAYOUT AND CHARACTER OF THE PROPOSED SHOPPING CENTER STRUCTURE, PARKING AREAS, VEHICULAR CIRCULATION AND ACCESS. THE FINAL BUILDING FOOTPRINT, AND THE ASSOCIATED PARKING AND VEHICULAR CIRCULATION PATTERNS WILL BE SUBJECT TO MINOR MODIFICATIONS, BASED UPON MORE DETAILED AND ACCURATE FIELD INFORMATION AND TENANT REQUIREMENTS.
2. A 50 FOOT BUFFER/SETBACK IS PROPOSED ADJACENT TO BOTH YORK ROAD AND MOSS ROAD EXTENSION. THIS BUFFER SHALL BE MEASURED FROM THE EXISTING 100 FOOT PUBLIC R.O.W. - NO DEVELOPMENT OR PARKING SHALL OCCUR WITHIN THIS 50 FOOT BUFFER AREA. THIS AREA SHALL BE LANDSCAPED USING A COMBINATION OF EARTH BERMS, DECIDUOUS STREET TREES AND EVERGREEN SHRUBS.
3. A 50 FOOT LANDSCAPED BUFFER IS PROPOSED ADJACENT TO THE EXISTING R-9MF PARCEL ON THE EAST SIDE OF THE REZONING TRACT. NO DEVELOPMENT OR PARKING SHALL OCCUR WITHIN THIS BUFFER AREA. THIS BUFFER SHALL BE LANDSCAPED USING A COMBINATION OF EARTH BERMS AND EVERGREEN TREES AND SHRUBS IN ORDER TO OFFER SCREENING TO THE ADJACENT PARCEL.
4. A 25 FOOT LANDSCAPED BUFFER IS PROPOSED ALONG THE NORTH PROPERTY LINE ADJACENT TO THE 16.2 ACRE WATERS OF STEELE CREEK MULTI-FAMILY PARCEL. NO DEVELOPMENT OR PARKING SHALL OCCUR WITHIN BUFFER AREA. THIS BUFFER SHALL BE LANDSCAPED USING A COMBINATION OF EARTH BERMS AND EVERGREEN TREES AND SHRUBS IN ORDER TO OFFER SCREENING TO THE MULTI-FAMILY PARCEL.
5. SIGNAGE FOR THIS PROJECT WILL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 2100. OF THE MECKLENBURG COUNTY ZONING ORDINANCE.
6. ALL VEHICULAR (DRIVEWAY) ACCESS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY MECKLENBURG COUNTY ENGINEERING DEPARTMENT AND N.C.D.O.T. THROUGH THE ESTABLISHED DRIVEWAY PERMIT PROCESS.
7. ANY REQUIREMENTS FOR SCREENING SHALL BE IN ACCORDANCE WITH SECTION 1600. OF THE MECKLENBURG COUNTY ZONING ORDINANCE.
8. THE DEVELOPMENT OF THIS PARCEL SHALL ADHERE TO THE CITY OF CHARLOTTE STORM WATER DETENTION REQUIREMENTS.
9. BOUNDARY INFORMATION FOR THE REZONING PARCEL WAS TAKEN FROM A CERTIFIED BOUNDARY BY ROBERT E. REMBERT, N.C.R.L.S. # L1055 AND DATED DEC. 28, 1987.
10. TOPOGRAPHICAL INFORMATION FOR THE REZONING PARCEL WAS TAKEN FROM FIELD GENERATED DATA BY GIFFORD NIELSON WILLIAMS, PROJECT # 20185 DATED 3/5/86.
11. THE AUXILIARY USE PARCEL WILL HAVE ACCESS ONLY FROM THE SHOPPING CENTER PARKING LOT OR INTERIOR DRIVE. THERE WILL BE NO DIRECT ACCESS TO THIS PARCEL FROM YORK ROAD AND A MINIMUM DISTANCE OF 150 FEET WILL BE MAINTAINED FROM THE YORK ROAD INTERSECTION TO ALLOW FOR ADEQUATE STORAGE.
12. THE DEVELOPER WILL CONSTRUCT A LEFT HAND TURN LANE FROM NORTH BOUND YORK ROAD.



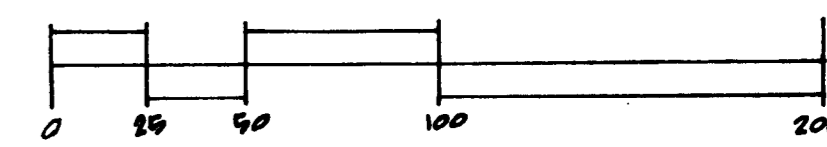
SECTION B-B'



SECTION C-C'



SCALE : 1"=50'



*Approved Site Plan
 for B-1 SCD component of
 Moss Rd Ext Hwy 49 development
 Approved 2/19/88*

GNA GIFFORD NIELSON ASSOCIATES
 ARCHITECTURE - ENGINEERING - LAND PLANNING - INTERIOR DESIGN
 1718 CHARLOTTE PLAZA CHARLOTTE, N.C. 28244
 (704) 373-1907

WATERS OF STEELE CREEK - COMMERCIAL TRACT
 C.D. REZONING SITE PLAN
 NCF FINANCIAL/BELK INVESTMENTS CHARLOTTE, NORTH CAROLINA

PROJECT	23136
DATE	12/23/87
DESIGN	TSa/TLH
DRAWN	TLH
CHECKED	
REVISIONS	
1/28/88 STAT PRJ	
HEARING COMMENTS	
SHEET	3 OF 3