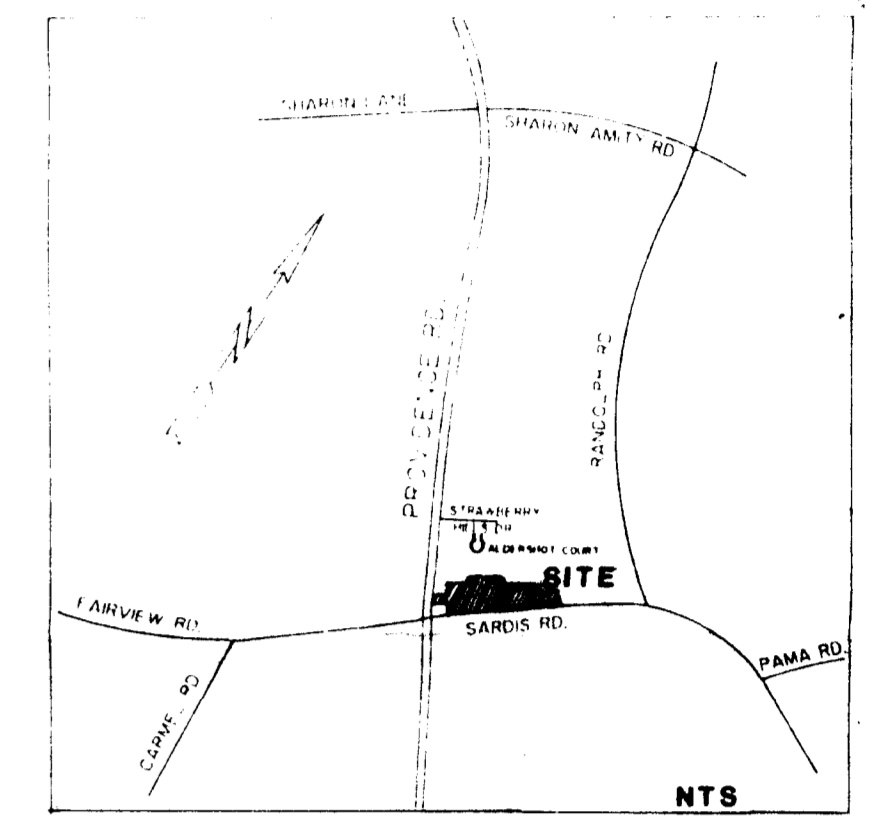


DEVELOPMENT NOTES

- This site plan reflects a firm concept of development with regard to arrangement of entrances, parking, circulation, and building arrangement. However, minor variations are allowed based on final design layouts.
- All permitted uses in the R-1 district shall be allowed. It is anticipated that the shopping village will include a fresh market type grocery, a drug store, restaurant and cafe, a bank and other retail shops.
- The architectural treatment and detail of the facade will include a mixture of both brick and stucco and such features as awnings, cornices, and a variety of window and door treatments. The facade design will be designed to complement and fit with the surrounding neighborhood. The facade treatment of the bank will be designed to complement and fit with the center's facade treatment.
- Pursuant to City Department of Transportation Standards, the developer agrees to reconfigure the existing Providence Road section at the proposed shopping village entrance in order to create a left turn lane.
- Where possible existing trees will be retained as part of the parking lot design and open space design. In any event, parking lots will be heavily landscaped and screened as indicated on the plan. A buffer area of existing trees will be maintained at the Sardis Road entrance.
- Vehicle and pedestrian connections will be provided to the adjacent Strawberry Hill Development.
- The service area will be screened from public view by way of such treatment as, walls, heavy landscaping, etc.
- The project will adhere to applicable screening requirements.
- The project will comply with applicable signage requirements. Furthermore, project identification signage will be incorporated into the brick entrance walls.
- The project will conform to the City of Charlotte Tree Ordinance. The project will comply with applicable parking standards.
- A brick wall will be constructed along the Sardis Road side of the project to provide for screening and to complement the existing brick wall now associated with the Strawberry Hill Apartments. The brick wall will complement the existing one in terms of height, design, color, etc.
- Developer agrees to designate within the Village at Strawberry Hill 62 parking spaces for park and ride. The developer will install appropriate signage or other means to designate park and ride spaces.
- The driveway entrance at Sardis road would be designed to allow right in and right out turning movements only.
- The developer agrees not to begin construction of the Shopping Village prior to January 1, 1990.
- The developer agrees to dedicate an additional 10' right-of-way along Sardis Road and an additional 20' of right-of-way along Providence Road prior to the issuance of building permits.

ADJACENT PROPERTY OWNERS

Parcel ID	Property Address	Owner
1 185-121-18	4236 Providence Road	Hertz Oil, Inc. 1030 Rockledge Avenue Charlotte, N. C. 28201
2 187-016-01	4300 Providence Road	R. J. Edwards Assoc. United Carolina Bank 4300 Providence Road Charlotte, N. C. 28211
3 183-121-14	4236 Providence Road	United Carolina Bank and Erwin G. Munnis 1500 Frank W. Burr Blvd. Tampa, Florida 33601
4 187-017	4300 Sardis Road	The Esco 4300 Sardis Road Charlotte, N. C. 28226
5 183-121-11	4026 Providence Road	Investment Services, Trustee 10000 Park Road Charlotte, N. C. 28226
6 187-011-04	5002 Sardis Road	1022 Sardis Road Charlotte, N. C. 28226
7 185-121-13	4100 Sardis Road	Lee March and wife, Ditta M. P. O. Box 1027 Charlotte, N. C. 28215



SITE DEVELOPMENT

CURRENT ZONING	R15-MF
PROPOSED ZONING	B1-CD
TOTAL ACRES	6.195 AC.
BUILDING SQ.FT.	36,800 SF
LANDSCAPE AREA ACREAGE	2.13 AC.

as attached to ADMINISTRATIVE APPROVAL
Dated 5/18/90 by MARTIN E. CRANTON, JR.

THE VILLAGE AT STRAWBERRY HILL MASTER PLAN

A REZONE PETITION FOR MARSH ASSOCIATES INC.

Paul Downer
DATE: MARCH 30, 1988

PROJECT NO.	87-154-1
REVISIONS	6-15-88 Plan Com Comments
	7-1-88
	8-15-88
	9-15-88
	10-15-88
	11-15-88
	12-15-88
	1-15-89
	2-15-89
	3-15-89
	4-15-89
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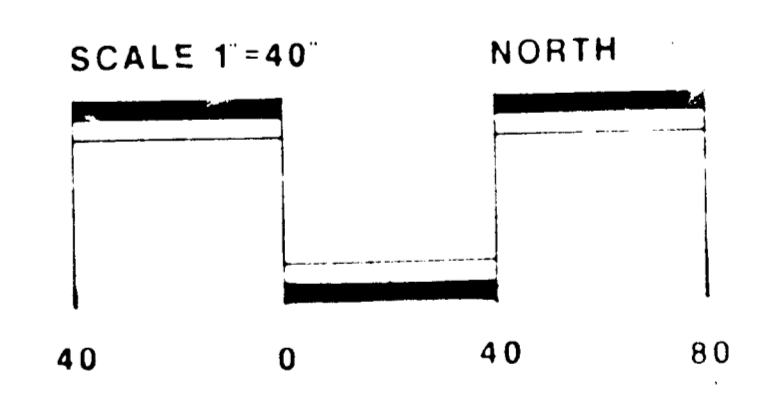
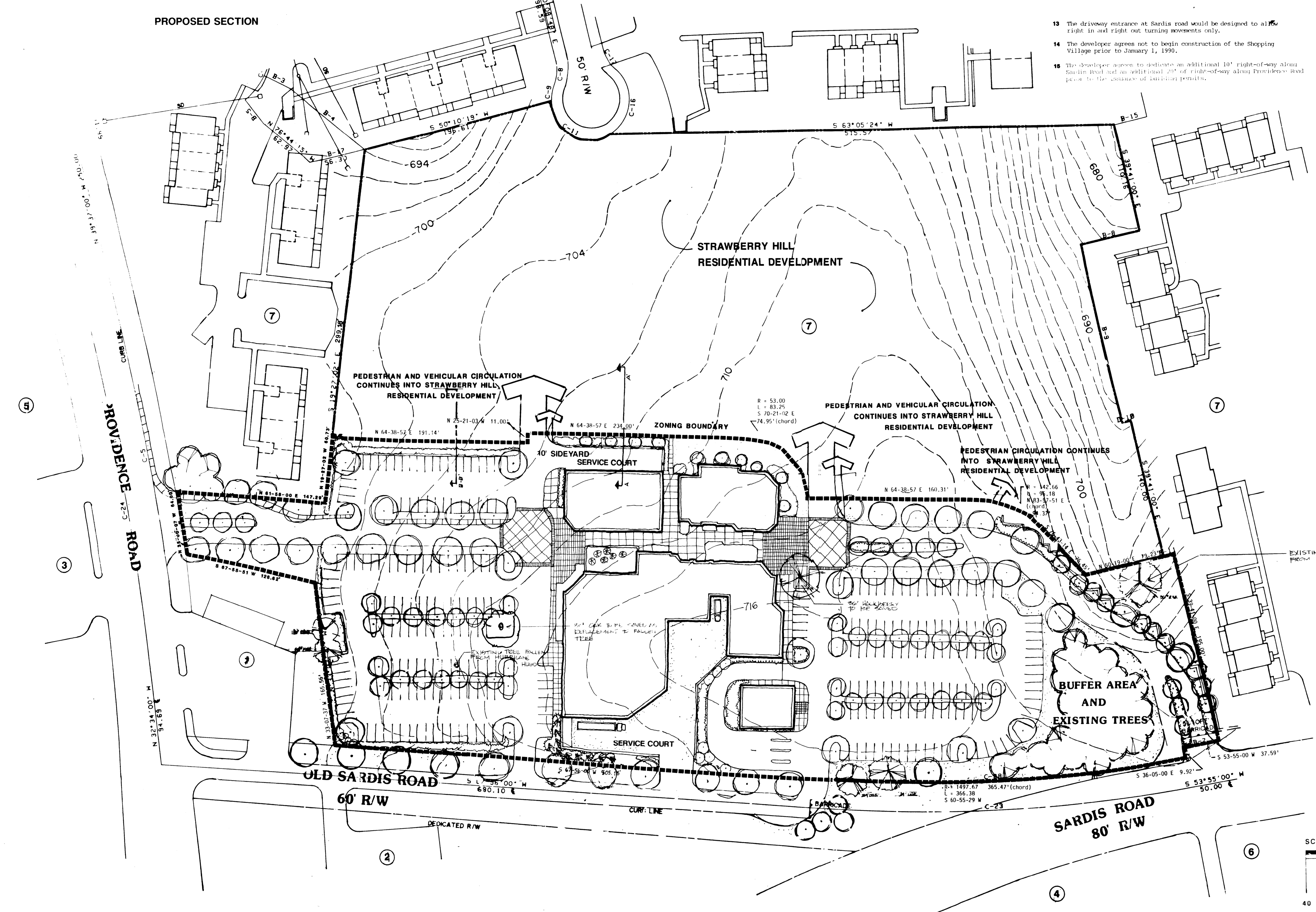
Land Design
Landscape Architecture • Land Planning
Urban Design • Civil Engineering

SHEET NO. 1 OF 3

C-C CROSS SECTION AT STRAWBERRY HILL VILLAGE SHOPS AND RESIDENTIAL UNITS 1" = 10'

B-B CROSS SECTION AT STRAWBERRY HILL VILLAGE PARKING 1" = 10'

PROPOSED SECTION



CHARLOTTE-MECKLENBURG PLANNING COMMISSION INTER-OFFICE COMMUNICATION

DATE: May 31, 1990
 TO: Robert Brandon, Zoning Administrator
 FROM: Martin E. Cranton, Jr., Planning Director
 SUBJECT: Administrative Approval Petition #88-34 by Strawberry Hill Associates Tax Parcel #185-121-29, 17

Attached is a revised plan for the above mentioned rezoning petition. The plan has been changed to reflect damage done to the site during Hurricane Hugo. Several trees that were to be saved were blown down during the hurricane. One of the trees that was blown down is being replaced by another large existing tree in the same area. The other tree that was blown down will be replaced with a new tree along the entrance drive.

It is very important that the trees that are shown on the plan as existing trees to be saved, be saved. The zoning inspector for the area should be encouraged to make periodic site visits during construction to assure that proper steps are being taken to assure the long term health of these trees. The City Engineering tree ordinance staff is aware of these trees and has made some very specific recommendations to assure their health. Please contact Joe Cochran at City Engineering to get copies of these recommendations, and to help coordinate site visits and inspections. One of the trees on the site that is to be saved is the second largest tree of its type in Mecklenburg County (i.e. 36" Hackberry). A tree of this type should be given special attention and consideration.

Pursuant to my authority as outlined in the zoning ordinance, I am administratively approving this plan. Please use it when evaluating requests for building permits.

HRC/200:sls
 Attachment
 See Administrative approval dated 5/18/90 by Martin E. Cranton, Jr. for Rezoning plan for Village at Strawberry Hill North.

STRAWBERRY HILL CENTER BUFFER REPLANTING

CONDITIONAL NOTES:

- Existing Trees (Hackberry & Large White Oak)
- A watering program was initiated Monday, July 1, 1990, at 8:00 AM. The watering program will continue throughout the duration of construction.
- The undisturbed area for the existing trees will be increased by restoring the road and parking layout as indicated on proposed layout plan.
- When the 0-10 inch plan will be completed, a tree barrier shall be installed around the trees to be protected. Other than the barrier, no construction equipment, other than that needed to install the barrier, shall be allowed within this area. The barrier shall be constructed within 10 days of the completion of the barrier. The tree protection barrier shall be installed and constructed as described in detail. During construction of the barrier, the barrier shall be maintained at all times. The barrier shall be maintained at all times. The barrier shall be maintained at all times.
- Private arborist services will be obtained as soon as possible to provide a tree fertilization and maintenance program. The arborist services shall include the fertilization and maintenance program by July 15th. The program is to continue at a minimum of 12 months after construction completion.
- Maintenance and fertilization program will be initiated with the administrative approval of the barrier replanting plan.
- Graded/Retained Area of Garden Bed

PROPOSED PLANT SCHEDULE

NO.	QTY.	SYMBOL	SIZE	HT.	FR.
1.	1	White Hackberry	1 1/2" x 4"	6'	60%
1a.	2	Hackberry	4 1/2" x 5"	6'	60%
2.	1	Large Oak	1 1/2" x 4"	6'	60%
2a.	2	Hackberry	4 1/2" x 5"	6'	60%
3.	2	White Oak	1 1/2" x 4"	6'	60%
3a.	2	Hackberry	4 1/2" x 5"	6'	60%
4.	1	White Oak	1 1/2" x 4"	6'	60%
4a.	1	White Oak	4 1/2" x 5"	6'	60%
5.	27	Myrica carolinensis Red Myrtle	6"	6"	60%
6.	11	Caryocarpus Eastern Redcedar	1 1/2" x 4"	6'	60%
7.	6	Pyrus virginiana Virginia Pear	6"	6"	60%

- Buffer area to be replanted with 4" of (1) in the middle.

CONSTRUCTION SEQUENCE CONTACT SCHEDULE

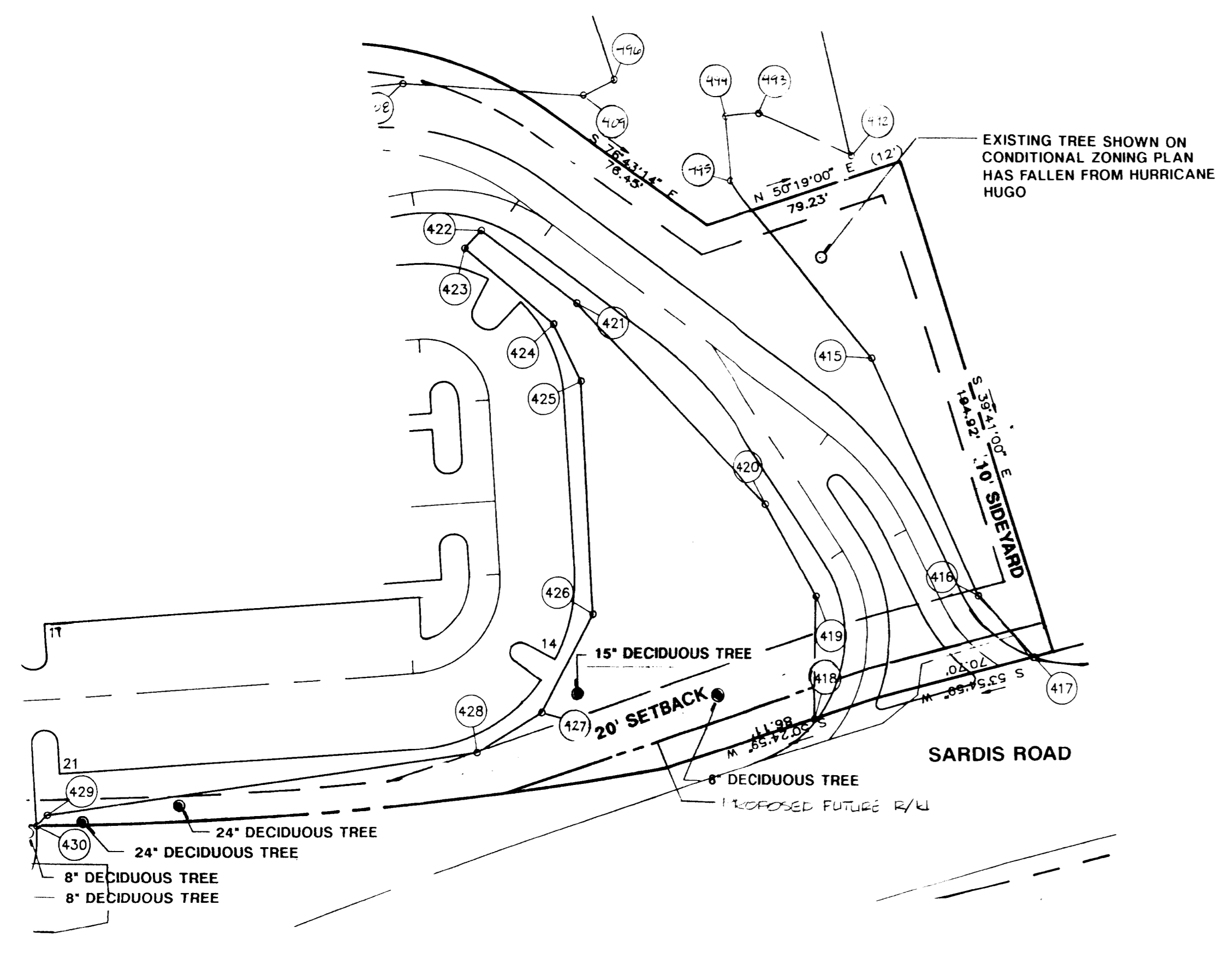
- The Planning Commission staff, the Urban Forestry staff, and the Planning Administrator shall be contacted before and during the following construction events.
- Before trenching begins at 10' of Hackberry and post oak. Areas beyond trench to be clearly marked and tree protection devices installed before and during this operation.
- Before and during retaining wall construction.
- Before arborist begins work on tree work is completed. It should be understood that heavy protection is to occur for either root loss mitigation or aesthetic reasons. Only structural protection should occur.
- After topsoil redistribution.
- Before, during, and after new trees are planted.
- Please contact Keith Rucinski, Planning 11-2200, Joe Cushman, Urban Forestry 11-2200, and Cheryl Williamson, Zoning 11-2200.

ATTACHED TO MEMO DATED 9/10/90 BY MARTIN R. CRAMTON, JR.
See Administrative Approval DATE 11/10/90 FOR FURTHER INFORMATION

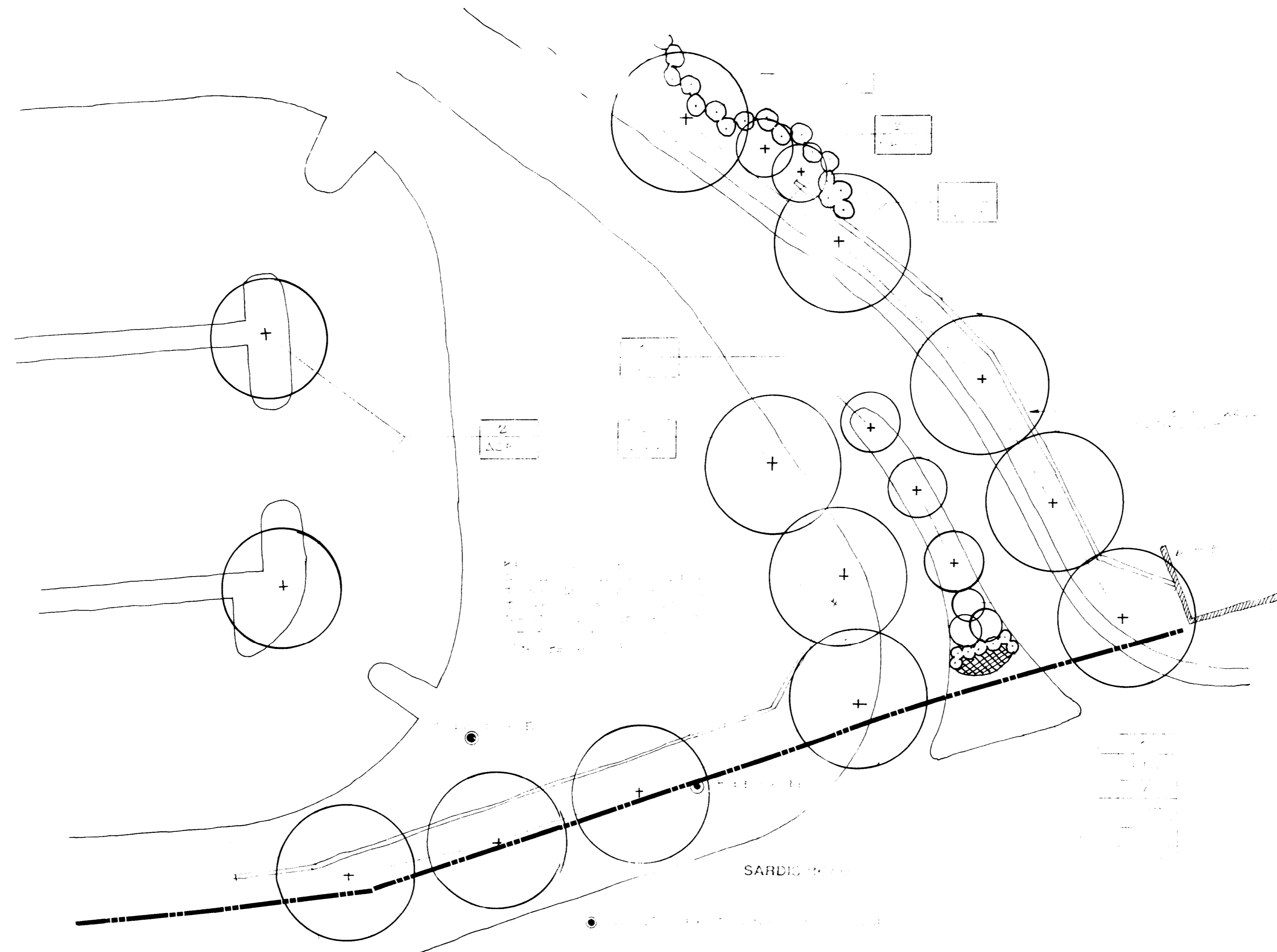
DATE	REVISIONS
JUL 10, 1990	0551-2

Lan Design
Landscape Architecture Land Planning
Urban Design Civil Engineering

SHEET NO. OF



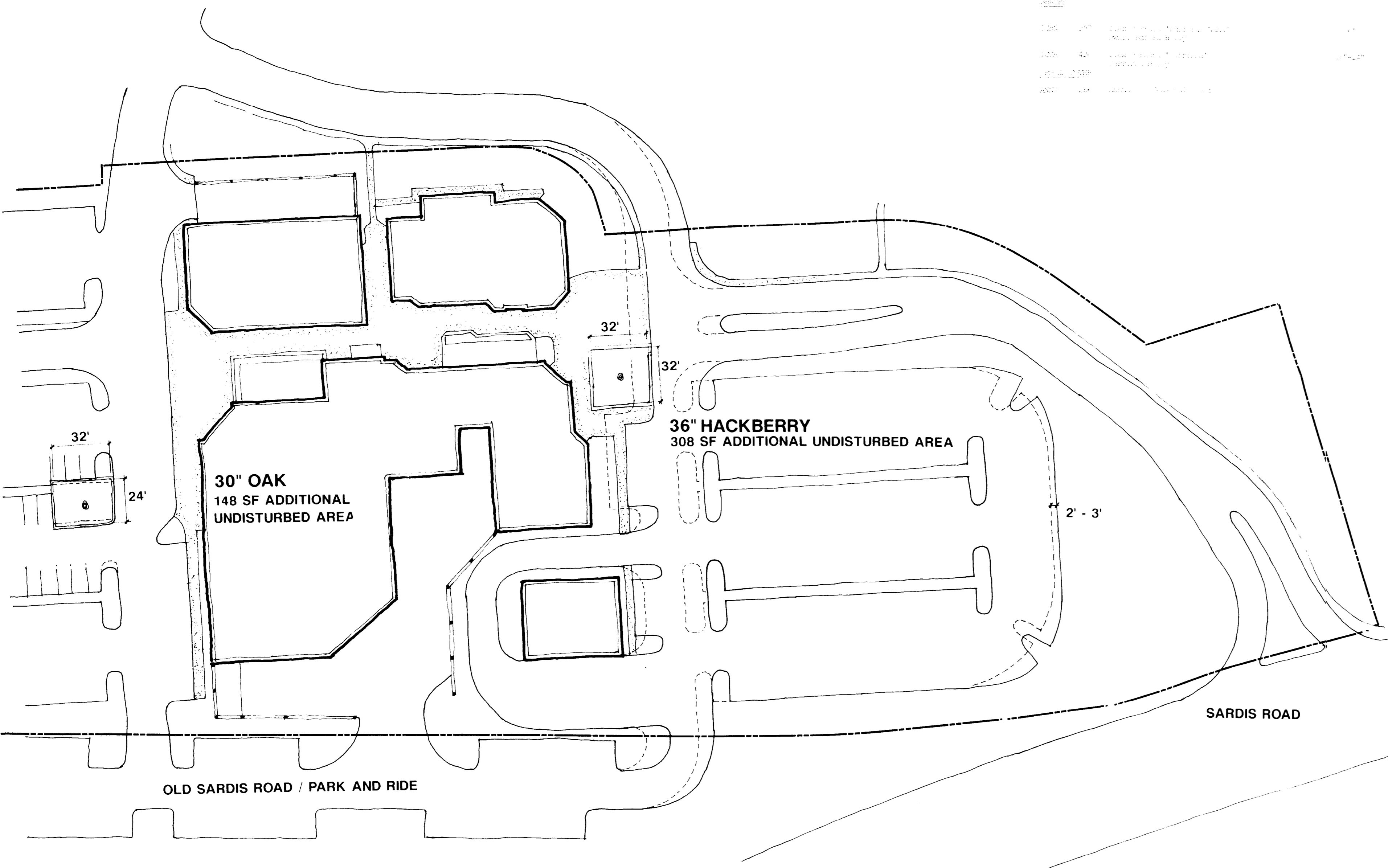
CLEARING PLAN AS SUBMITTED FOR GRADING PERMIT
SCALE: 1" = 40' SHADED REPRESENTS AREA TO BE SAVED



PLANTING PLAN AS SUBMITTED FOR BUILDING PERMIT PRIOR TO CLEARING
SCALE: 1" = 20'

PLANT SCHEDULE

NO.	QTY.	SYMBOL	SIZE	HT.	FR.
1.	1	White Hackberry	1 1/2" x 4"	6'	60%
1a.	2	Hackberry	4 1/2" x 5"	6'	60%
2.	1	Large Oak	1 1/2" x 4"	6'	60%
2a.	2	Hackberry	4 1/2" x 5"	6'	60%
3.	2	White Oak	1 1/2" x 4"	6'	60%
3a.	2	Hackberry	4 1/2" x 5"	6'	60%
4.	1	White Oak	1 1/2" x 4"	6'	60%
4a.	1	White Oak	4 1/2" x 5"	6'	60%
5.	27	Myrica carolinensis Red Myrtle	6"	6"	60%
6.	11	Caryocarpus Eastern Redcedar	1 1/2" x 4"	6'	60%
7.	6	Pyrus virginiana Virginia Pear	6"	6"	60%



PROPOSED LAYOUT REVISIONS FOR ADDITIONAL UNDISTURBED AREA AROUND EXISTING OAK AND HACKBERRY
SCALE: 1" = 40' DASHED LINE REPRESENTS ORIGINAL LAYOUT



PROPOSED BUFFER REPLANTING PLAN
SCALE: 1" = 20'

CHARLOTTE-MECKLENBURG PLANNING COMMISSION INTER-OFFICE COMMUNICATION

DATE: September 10, 1990

TO: Robert Brandon
Zoning Administrator

FROM: Martin R. Cramton, Jr.
Planning Director

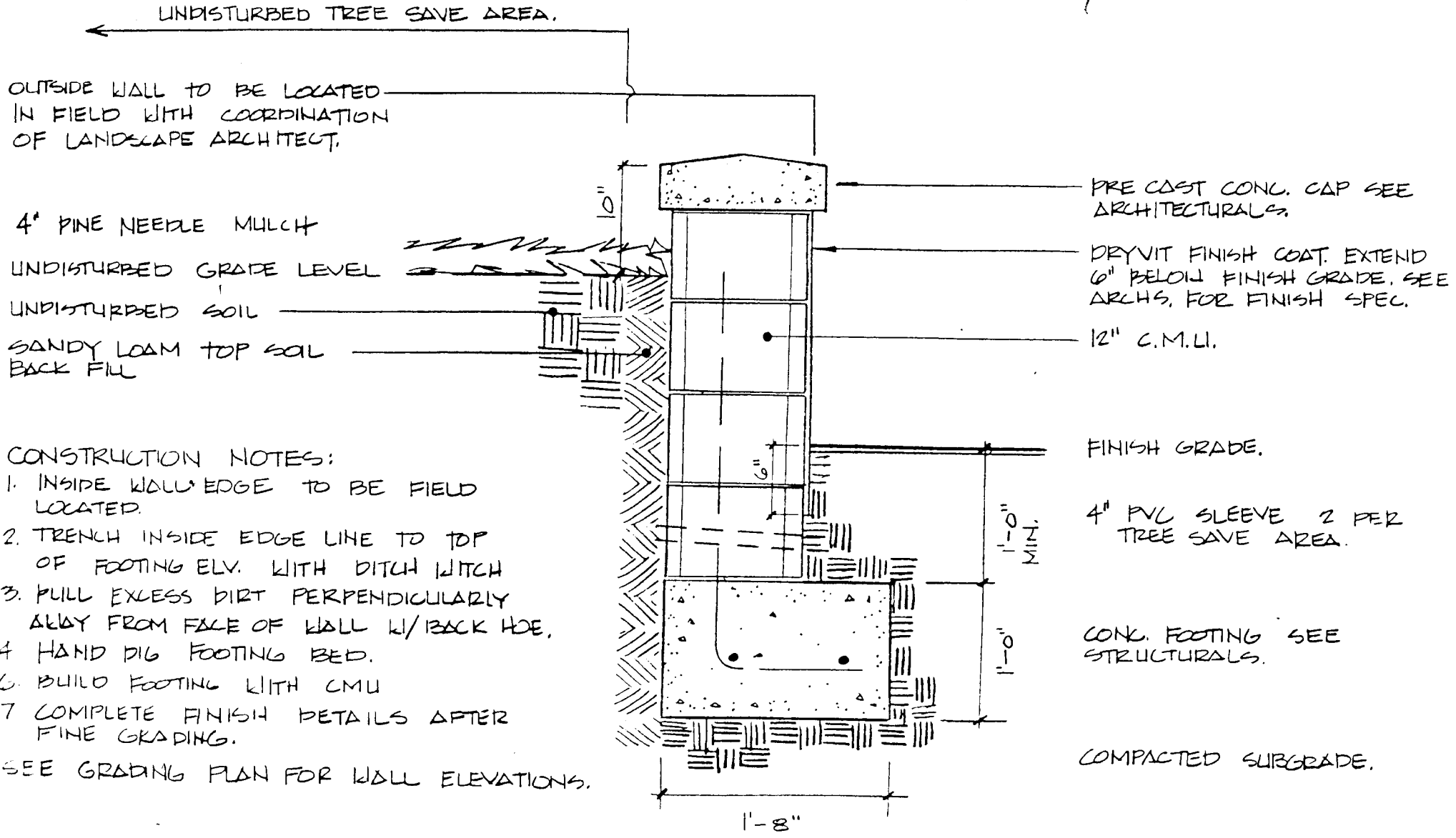
SUBJECT: Administrative approval for Petition #88-34 by Strawberry Hill Assoc. Tax Parcel #185-121-29, 17 replanting of buffer along Sardis Road

On July 23rd the Zoning Committee of the Planning Commission met and heard an appeal of a administrative denial for the above mentioned rezoning petition. The Zoning Committee after hearing from the staff and the contractor determined that a mistake had been made and the buffer had not been cleared meticulously. The Zoning Committee then instructed the staff to work with the developer on a replanting plan. Attached are the new conditions and an approved replanting plan that have been worked out with the developer.

Pursuant to my authority as outlined in the zoning ordinance, I am administratively approving this plan. Please use it when evaluating request for building permits.

MRC/r/200:sls
Attachment

0 ATTACHED to memo DATED
7/10/70 by [unclear]



- CONSTRUCTION NOTES:
1. INSIDE WALL EDGE TO BE FIELD LOCATED.
 2. TRENCH INSIDE EDGE LINE TO TOP OF FOOTING ELV. WITH DITCH WITCH
 3. PULL EXCESS DIRT PERPENDICULARLY AWAY FROM FACE OF WALL W/BACK HOE.
 4. HAND DIG FOOTING BED.
 5. BUILD FOOTING WITH CMU
 6. COMPLETE FINISH DETAILS AFTER FINE GRADING.
- SEE GRADING PLAN FOR WALL ELEVATIONS.

3
11

TREE PROTECTION / RETAINING WALL

SCALE: 1" = 1' - 0"

STRAWBERRY HILL CENTER

MARSH REALTY COMPANY

P.O. BOX 35329 CHARLOTTE, N.C. 28217

REZONED AS THE VILLAGE AT STRAWBERRY HILL
ZONING PETITION # 88-34

SITE TABULATIONS

TOTAL SITE AREA: 6.2 ACRES
CURRENT ZONING: B1-CD
BUILDING SQ. FT.: 38,800

PARKING TABULATION

Occupancy
Grocery, Drug Store, Shops Mercantile 23,447SF/200 = 117
Restaurant 150 Persons/3 = 50
Bank Business 2481SF/100 = 25

Employees
Grocery 15
Restaurant 10
Shops 20
Total 45/2 = 23

Park & Ride = 62

Total Parking Required = 277

Total parking Provided (6 Handicap Spaces) 277

LANDSCAPE AREA ACREAGE: 18,900 S.F.
(PER TREE ORDINANCE REQUIREMENTS)

SCHEDULE OF DRAWINGS

- L 1. TITLE SHEET
- L 2. EXISTING CONDITIONS
- L 3. SITE PLAN
- L 3A. DRAINAGE AREA MAP
- L 4. CLEARING & TREE PROTECTION PLAN
- L 5. STAKING PLAN
- L 6. SEDIMENTATION & EROSION CONTROL PLAN
- L 7. PROVIDENCE ROAD IMPROVEMENTS
- L 8. SITE DETAILS
- L 9. SITE DETAILS
- L 10. SITE DETAILS
- L 11. SITE DETAILS
- L 12. PLANTING PLAN
- L 13. PLANTING PLAN
- L 14. PLANTING SCHEDULE & DETAILS

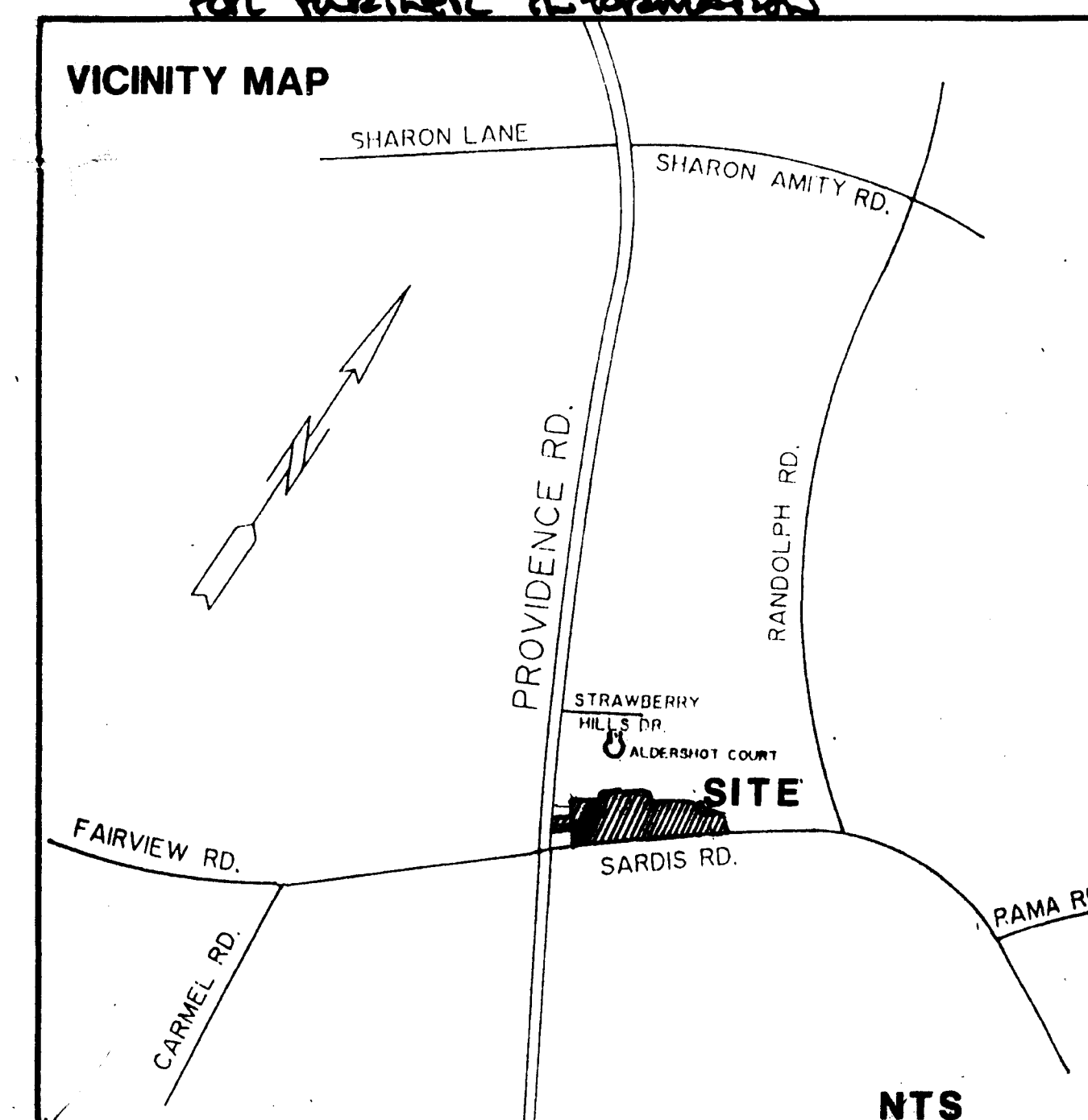
STORM DRAINAGE DESIGN DATA

PROJECT Strawberry Hill Center		COMPUTED BY USA		DATE 4/3, 1990	
LOCATION Charlotte		CHECKED BY JMS		SHEET 1 OF 1	
STATION	AREA	C	INTENSITY	Q = CIA	REMARKS
TO	SUB TOTAL		H I L I	GFS	N Slope Lot Size Level
DI 1	01.2	0.13	.81	6.8	.72 .01 .005 106' 8" - 8" Schedule 40 PVC
DI 2	CB 5	.05	0.18 .95	6.8	1.04 .012 .008 48' 15" 3.2
DI 3	DI 4	.02	0.02 .95	6.8	0.13 .012 .008 42' 15" 3.0
DI 4	CB 5	.62	0.64 .95	6.8	4.13 .012 .026 36' 15" 5.6
CB 5	CB 6	.29	1.11 .77	6.8	6.68 .012 .01 204' 15" 5.4
CB 6	CB 7	.58	1.69 .86	6.8	10.07 .012 .028 114' 15" 8.2
CB 7	CB 8	.52	2.21 .86	6.8	13.18 .012 .018 36' 18" 7.7
CB 8	CB 9	.79	3.0 .52	6.8	15.97 .012 .024 20' 18" 9.2
CB 9	FES 14	.29	3.29 .95	6.8	17.84 .012 .01 20' 24" 7.0
Det. Outlet				6.46	.021 .01 50' 10" 7.0
DI 11	CB 13	.44	.95	6.8	2.84 .012 .005 220' 8" - 8" Schedule 40 PVC
CB 12	CB 13	.91	.88	6.8	5.45 .012 .008 70' 15" 4.8
CB 13	FES 14	.22	1.57 .90	6.8	9.64 .012 .024 12' 15" 8.2
DET.	CB 15			6.8	2.94 .021 .0195 182' 15" 5.6 DETENTION CISTERN
CB 15	PH 16	.92		6.8	4.85 .021 .0195 182' 15" 5.5
PH 16	EXIST 17			6.8	4.85 .021 .0195 182' 15" 5.5

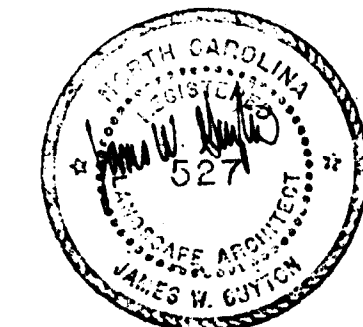
STORM DRAINAGE SCHEDULE

STRUCTURE	RIM	INV. IN	INV. OUT	LENGTH	SIZE	SLOPE
DI 1	708.51	708.51	706.71	106'	8" PVC	0.5%
DI 2	711.80	706.18	705.98	48'	15" RCP	0.8%
DI 3	711.90	706.63	706.63	42'	15" RCP	0.8%
DI 4	711.80	708.31	708.11	36'	15" RCP	2.6%
CB 5	710.45	(DI 2) 705.60	705.40	204'	15" RCP	1.0%
CB 6	709.90	703.36	703.16	114'	15" RCP	2.8%
CB 7	707.24	700.82	700.92	40'	18" RCP	1.6%
CB 8	706.27	699.60	699.40	24'	18" RCP	2.4%
CB 9	706.27	698.82	698.62	24'	24" RCP	1.0%
FES 14	694.00	698.58	698.58	50'	15" CMP	6.0% MIN.
Detention Outlet				4'		
DI 11	712.18	709.51	709.51	220'	8" PVC	5.9%
CB 12	699.80	696.51	696.51	70'	15" RCP	0.8%
CB 13	699.20	(DI 11) 696.55	696.55	12'	15" RCP	2.4%
FES 14	693.00	695.95	695.95	152'	15" CMP	1.5%
Detention Outlet NEW						
CB 15	693.82	690.47	690.47	120'	15" RCP	1.1%
PH 16	692.20	688.15	688.15	18'	15" RCP	1.2%
EX CB	691.70	688.15	688.15			

ALL STORM DRAINAGE PIPE TO BE CLASS III RCP EXCEPT AS NOTED
ALL CMP TO BE FULLY ASPHALT COATED WITH PAVED INVERT



CHARLOTTE 1990 COMMISSION
SITE/LANDSCAPE PLAN APPROVED
REVIEWER: Joe Cochran
DATE: 9/26/90



ATTACHED to ADMINISTRATIVE
APPROVAL DATED 11/13/90 BY
MARTIN R. CRAMER, J.E.P.
* Also see ADMINISTRATIVE
APPROVAL DATE 9/10/90
for further information

COVER SHEET

DATE: APRIL 30, 1990
PROJECT NO. 90551
REVISIONS:
1. 5/2/90 REVISOR PER CITY
2. 5/17/90 SASH PARKING TAB.
3. 6/1/90 PER CITY REVIEW
4. 6/1/90 PER CITY REVIEW
5. 7/10/90 PER CITY REVIEW

1701 East Boulevard, Charlotte, NC 28203 (704) 333-0325
1216 Prince Street, Annapolis, VA 22311 (703) 549-7784
225 Hibernia Street, Raleigh, NC (919) 834-8127

Land Design
Landscape Architecture Land Planning
Urban Design Civil Engineering

SHEET NO. L 1 OF

CHARLOTTE-MECKLENBURG PLANNING COMMISSION

INTER-OFFICE COMMUNICATION

DATE: November 13, 1990

TO: Robert Brandon
Zoning Administrator

FROM: Martin R. Cramer, Jr.
Planning Director

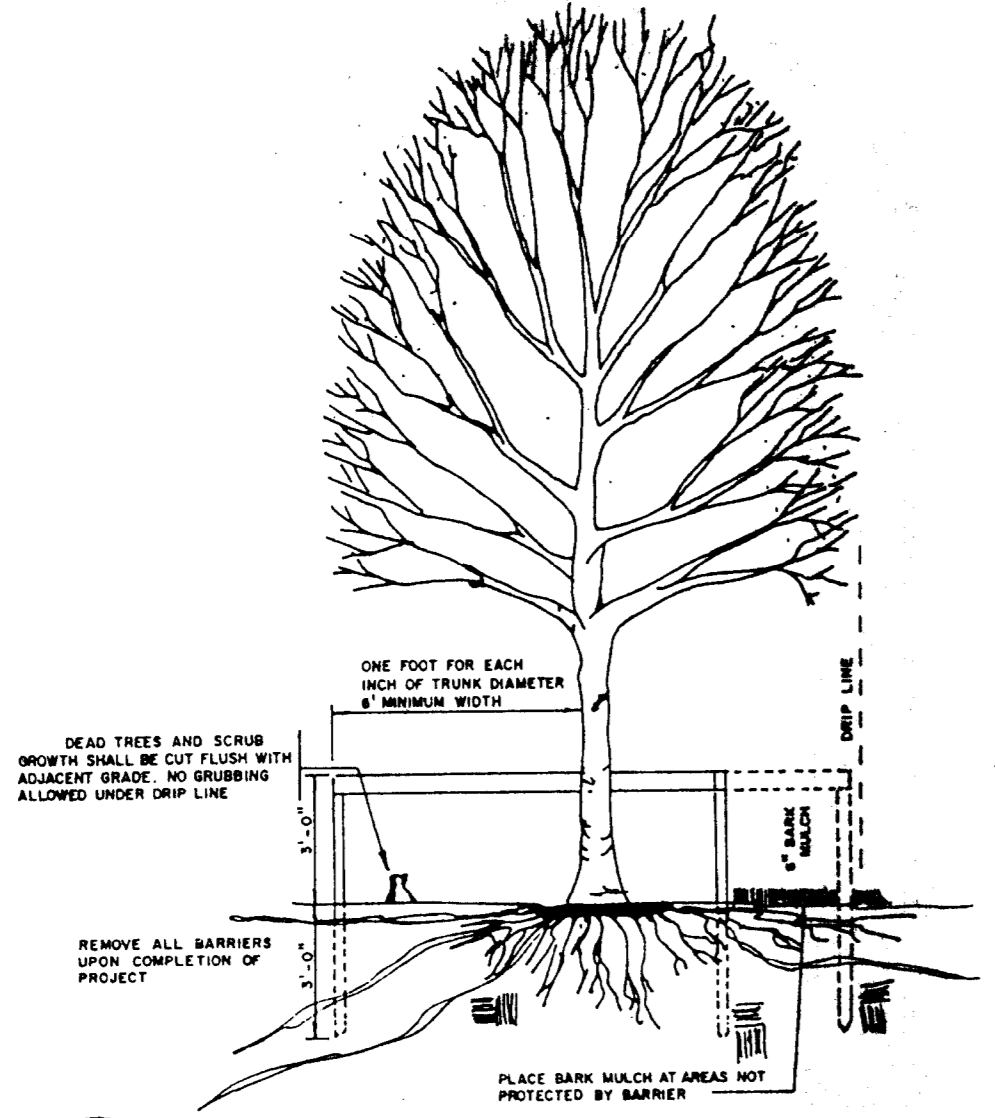
SUBJECT: Approved Landscape Plan for Petition No. 88-34 by Strawberry Hill Associates, Tax Parcel No. 185-121-29, 17

Attached is the construction documentation for the Strawberry Hill Shopping Center landscape plan. This plan provides further detail of how administrative approval dated 9/10/90 is to be implemented.

Joe Cochran and Keith MacVean will be working with the contractor during construction to work out any unexpected problems and/or revisions to the approved plan. Pursuant to the authority granted to me by the Zoning Ordinance I am administratively approving this plan. Please use this plan when evaluating requests for building permits.

MRCjr/KHM/cln

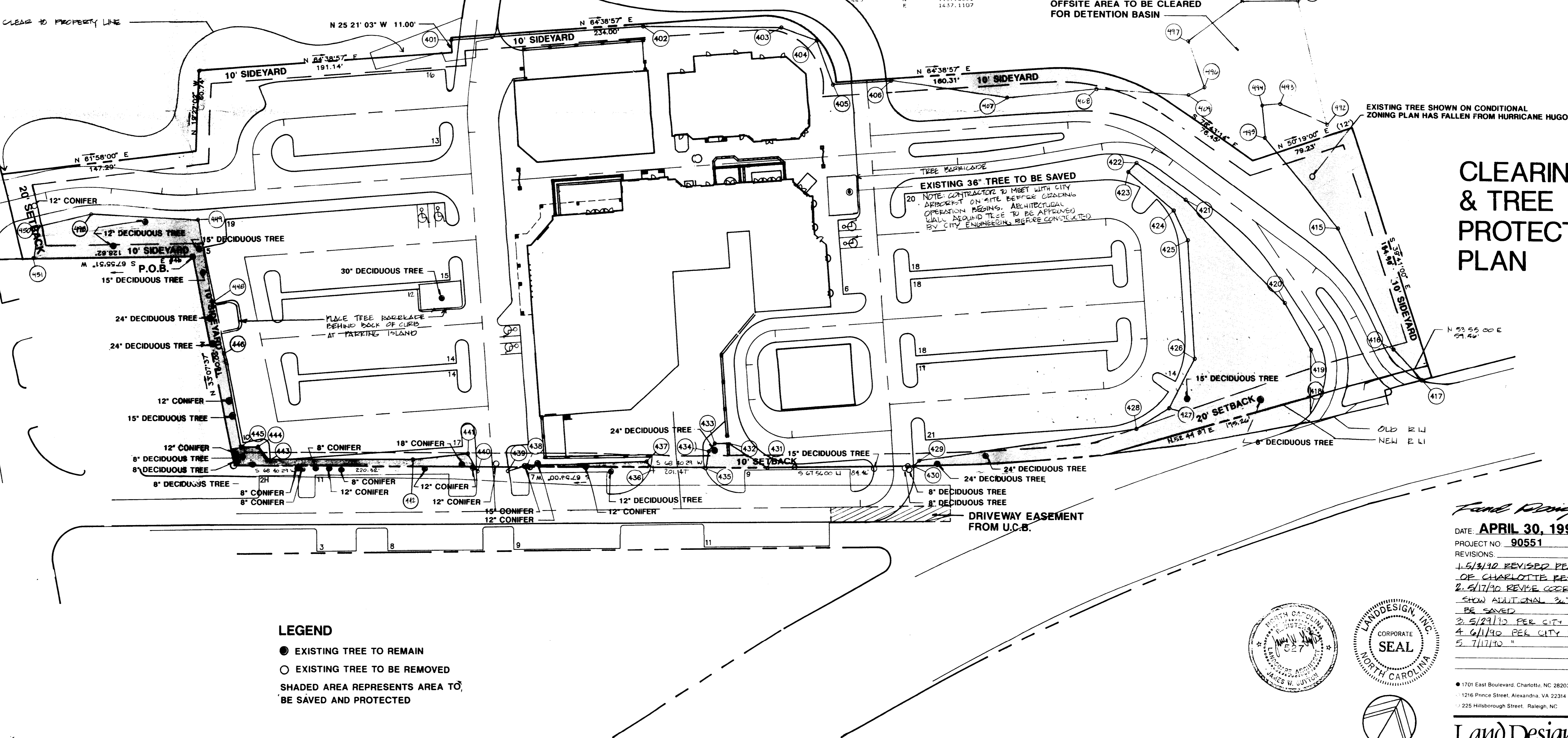
Attachment



TREE PROTECTION BARRIER
CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STD. 40.16

- CLEARING COORDINATES**
POB N 1275.4465 E 1350.8457
- ALL COORDINATE DATA IS REFERENCED TO A NORTH/SOUTH, EAST/WEST GRID WITH COORDINATE #000 BEING LOCATED AT THE SITE'S SOUTH-WEST PROPERTY CORNER.
 - SURVEYOR SHALL REPORT ANY ENCROACHMENTS OR DISCREPANCIES GENERATED BY THIS CLEARING PLAN IMMEDIATELY TO LANDDESIGN, INC. FOR DECISION.
 - SURVEYOR SHALL CONTACT LANDDESIGN, INC. UPON COMPLETION OF FIELD STAKING OF CLEARING LINES PRIOR TO ACTUAL CLEARING.
 - CLEARING LIMITS SHALL BE ADJUSTED AS DIRECTED BY THE OWNER'S REPRESENTATIVES IN THE FIELD TO SAVE ADDITIONAL TREES WHEN FEASIBLE.
 - SHADED AREA REPRESENTS AREA TO BE SAVED.
 - SURVEYOR SHALL CONTACT LANDDESIGN, INC. UPON COMPLETION OF FIELD CLEARING PRIOR TO STAKING.
 - INDIVIDUAL TREES 12" DBH OR GREATER NEAR EDGE OF CLEARING LIMITS TO HAVE TREE PROTECTION BARRIER. (SEE DETAILS).
 - SELECTIVE THINNING OF PINES AND DEAD WOOD IN "PRESERVE" AREA TO BE PERFORMED UNDER THE GUIDANCE OF LANDDESIGN, INC. NO TREES OVER 8" DBH TO BE CLEARED. TREES OF 8" DBH WITHIN SETBACK THAT ARE TO BE REMOVED REQUIRE A PERMIT FROM CITY ENGINEERING DEPARTMENT. (TREE ORDINANCE STAFF). ALL SETBACKS SHALL BE MAINTAINED BY TREE PROTECTION BARRIER SHALL BE CONSTRUCTED OF 2X4X4 ALUMINUM SAFETY FENCE OR BOLL, DUALY SUSPENDED BETWEEN STEEL POSTS.
 - STEEL POSTS SHALL BE 6" IN HEIGHT SURVEYED 3' DEEP AND BE OF THE SELF-FASTENING ANGLE SLAT TYPE SPACED ON 8' CENTERS.
 - ALL 8" DBH TREES IN SETBACK AS SHOWN ON PLANS SHALL BE STAKED AND IDENTIFIED FOR REMOVAL OR SAVE. PERMIT TO BE OBTAINED FROM CITY ENGINEERING DEPARTMENT (TREE ORDINANCE STAFF) FOR TREES TO BE REMOVED.
 - UTILITY COMPANIES AND CONTRACTORS ARE TO COORDINATE UTILITY CONDITIONS WITH LANDDESIGN, INC. BEFORE INSTALLATION.
 - NO UTILITY COMPANIES SHALL CUT THROUGH TREE PROTECTION BARRIER. ALL UTILITY PERMITS TO BE OBTAINED FROM CITY ENGINEERING DEPARTMENT (TREE ORDINANCE STAFF) FOR TREE PROTECTION BARRIER TO BE MAINTAINED AT ALL TIMES EXCEPT FOR EMERGENCY LOCATIONS.

POINT	N	E	POINT	N	E
1	1577.4422	2006.8822	46	1246.8815	1398.0419
2	1561.3116	2044.0786	47	1254.0674	1392.1257
3	1481.2829	2081.4663	48	1262.2501	1385.1007
4	1439.9274	2077.2897	49	1270.4245	1374.8245
5	1481.8893	2060.1068	50	1278.6005	1364.5495
6	1515.8628	1947.1950	51	1286.7765	1354.2745
7	1577.4422	1834.2832	52	1294.9525	1344.0000
8	1649.0211	1721.3714	53	1303.1285	1333.7250
9	1720.6000	1608.4596	54	1311.3045	1323.4500
10	1792.1789	1495.5478	55	1319.4805	1313.1750
11	1863.7578	1382.6360	56	1327.6565	1302.9000
12	1935.3367	1269.7242	57	1335.8325	1292.6250
13	2006.9156	1156.8124	58	1344.0085	1282.3500
14	2078.4945	1043.9006	59	1352.1845	1272.0750
15	2150.0734	930.9888	60	1360.3605	1261.8000
16	2221.6523	818.0770	61	1368.5365	1251.5250
17	2293.2312	705.1652	62	1376.7125	1241.2500
18	2364.8101	592.2534	63	1384.8885	1230.9750
19	2436.3890	479.3416	64	1393.0645	1220.7000
20	2507.9679	366.4298	65	1401.2405	1210.4250
21	2579.5468	253.5180	66	1409.4165	1200.1500
22	2651.1257	140.6062	67	1417.5925	1189.8750
23	2722.7046	27.6944	68	1425.7685	1179.6000
24	2794.2835	-85.2174	69	1433.9445	1169.3250
25	2865.8624	-198.3296	70	1442.1205	1159.0500
26	2937.4413	-311.4418	71	1450.2965	1148.7750
27	3009.0202	-424.5540	72	1458.4725	1138.5000
28	3080.5991	-537.6662	73	1466.6485	1128.2250
29	3152.1780	-650.7784	74	1474.8245	1117.9500
30	3223.7569	-763.8906	75	1482.9999	1107.6750
31	3295.3358	-877.0028	76	1491.1759	1097.4000
32	3366.9147	-990.1150	77	1499.3519	1087.1250
33	3438.4936	-1103.2272	78	1507.5279	1076.8500
34	3510.0725	-1216.3394	79	1515.7039	1066.5750
35	3581.6514	-1329.4516	80	1523.8799	1056.3000
36	3653.2303	-1442.5638	81	1532.0559	1046.0250
37	3724.8092	-1555.6760	82	1540.2319	1035.7500
38	3796.3881	-1668.7882	83	1548.4079	1025.4750
39	3867.9670	-1781.9004	84	1556.5839	1015.2000
40	3939.5459	-1895.0126	85	1564.7599	1004.9250
41	4011.1248	-2008.1248	86	1572.9359	994.6500
42	4082.7037	-2121.2370	87	1581.1119	984.3750
43	4154.2826	-2234.3492	88	1589.2879	974.1000
44	4225.8615	-2347.4614	89	1597.4639	963.8250
45	4297.4404	-2460.5736	90	1605.6399	953.5500
46	4369.0193	-2573.6858	91	1613.8159	943.2750
47	4440.5982	-2686.7980	92	1621.9919	933.0000
48	4512.1771	-2799.9102	93	1630.1679	922.7250
49	4583.7560	-2913.0224	94	1638.3439	912.4500
50	4655.3349	-3026.1346	95	1646.5199	902.1750
51	4726.9138	-3139.2468	96	1654.6959	891.9000
52	4798.4927	-3252.3590	97	1662.8719	881.6250
53	4870.0716	-3365.4712	98	1671.0479	871.3500
54	4941.6505	-3478.5834	99	1679.2239	861.0750
55	5013.2294	-3591.6956	100	1687.3999	850.8000
56	5084.8083	-3704.8078			



- LEGEND**
- EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED
 - SHADED AREA REPRESENTS AREA TO BE SAVED AND PROTECTED

CLEARING & TREE PROTECTION PLAN

Final Design
DATE: APRIL 30, 1990
PROJECT NO: 90551
REVISIONS:
1.5/1/90 REVISED PER CITY OF CHARLOTTE REVIEW
2.5/1/90 REVISED PER CITY OF CHARLOTTE REVIEW
3.5/23/90 PER CITY REVIEW
4.6/1/90 PER CITY REVIEW
5.7/1/90

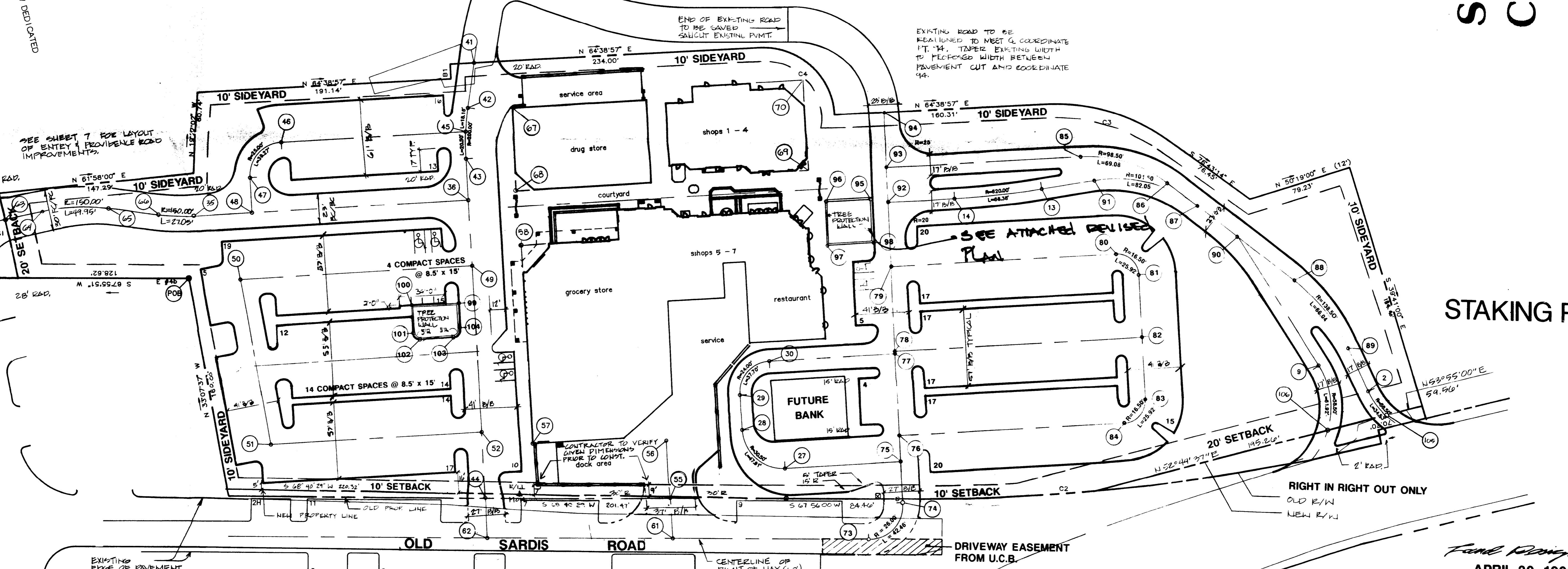
SCALE: 1" = 40'
NORTH

STAKING NOTES

All coordinate data is referenced to a North/South, East/West grid with coordinate #000 being located at the sites south-west property corner. Surveyor shall verify all closure and curve data prior to commencement of actual field staking. Surveyor shall report any encroachments or discrepancies generated by this staking plan to Landdesign inc. for decision. See architectural drawings for exact building dimensions. STRWHL6.DWG 4/2/90

COORDINATE LIST

POINT	N	E	POINT	N	E
1	1271.4465	1318.8491	35	1485.8930	1503.0391
2	1272.9648	1336.5835	36	1494.0690	1512.7641
3	1274.4831	1354.3179	37	1502.2450	1522.4891
4	1276.0014	1372.0523	38	1510.4210	1532.2141
5	1277.5197	1389.7867	39	1518.5970	1541.9391
6	1279.0380	1407.5211	40	1526.7730	1551.6641
7	1280.5563	1425.2555	41	1534.9490	1561.3891
8	1282.0746	1442.9899	42	1543.1250	1571.1141
9	1283.5929	1460.7243	43	1551.3010	1580.8391
10	1285.1112	1478.4587	44	1559.4770	1590.5641
11	1286.6295	1496.1931	45	1567.6530	1600.2891
12	1288.1478	1513.9275	46	1575.8290	1610.0141
13	1289.6661	1531.6619	47	1584.0050	1619.7391
14	1291.1844	1549.3963	48	1592.1810	1629.4641
15	1292.7027	1567.1307	49	1600.3570	1639.1891
16	1294.2210	1584.8651	50	1608.5330	1648.9141
17	1295.7393	1602.5995	51	1616.7090	1658.6391
18	1297.2576	1620.3339	52	1624.8850	1668.3641
19	1298.7759	1638.0683	53	1633.0610	1678.0891
20	1299.2942	1655.8027	54	1641.2370	1687.8141
21	1300.8125	1673.5371	55	1649.4130	1697.5391
22	1302.3308	1691.2715	56	1657.5890	1707.2641
23	1303.8491	1709.0059	57	1665.7650	1716.9891
24	1305.3674	1726.7403	58	1673.9410	1726.7141
25	1306.8857	1744.4747	59	1682.1170	1736.4391
26	1308.4040	1762.2091	60	1690.2930	1746.1641
27	1309.9223	1779.9435	61	1698.4690	1755.8891
28	1311.4406	1797.6779	62	1706.6450	1765.6141
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30	1314.4772	1833.1467	64	1722.9970	1785.0641
31	1315.9955	1850.8811	65	1731.1730	1794.7891
32	1317.5138	1868.6155	66	1739.3490	1804.5141
33	1319.0321	1886.3499	67	1747.5250	1814.2391
34	1320.5504	1904.0843	68	1755.7010	1823.9641
35	1322.0687	1921.8187	69	1763.8770	1833.6891
36	1323.5870	1939.5531	70	1772.0530	1843.4141
37	1325.1053	1957.2875	71	1780.2290	1853.1391
38	1326.6236	1975.0219	72	1788.4050	1862.8641
39	1328.1419	1992.7563	73	1796.5810	1872.5891
40	1329.6602	2010.4907	74	1804.7570	1882.3141
41	1331.1785	2028.2251	75	1812.9330	1892.0391
42	1332.6968	2045.9595	76	1821.1090	1901.7641
43	1334.2151	2063.6939	77	1829.2850	1911.4891
44	1335.7334	2081.4283	78	1837.4610	1921.2141
45	1337.2517	2099.1627	79	1845.6370	1930.9391
46	1338.7700	2116.8971	80	1853.8130	1940.6641
47	1340.2883	2134.6315	81	1861.9890	1950.3891
48	1341.8066	2152.3659	82	1870.1650	1960.1141
49	1343.3249	2170.1003	83	1878.3410	1969.8391
50	1344.8432	2187.8347	84	1886.5170	1979.5641
51	1346.3615	2205.5691	85	1894.6930	1989.2891
52	1347.8798	2223.3035	86	1902.8690	1999.0141
53	1349.3981	2241.0379	87	1911.0450	2008.7391
54	1350.9164	2258.7723	88	1919.2210	2018.4641
55	1352.4347	2276.5067	89	1927.3970	2028.1891
56	1353.9530	2294.2411	90	1935.5730	2037.9141
57	1355.4713	2311.9755	91	1943.7490	2047.6391
58	1356.9896	2329.7099	92	1951.9250	2057.3641
59	1358.5079	2347.4443	93	1960.1010	2067.0891
60	1360.0262	2365.1787	94	1968.2770	2076.8141
61	1361.5445	2382.9131	95	1976.4530	2086.5391
62	1363.0628	2400.6475	96	1984.6290	2096.2641
63	1364.5811	2418.3819	97	1992.8050	2105.9891
64	1366.0994	2436.1163	98	2000.9810	2115.7141
65	1367.6177	2453.8507	99	2009.1570	2125.4391
66	1369.1360	2471.5851	100	2017.3330	2135.1641
67	1370.6543	2489.3195			



BEARINGS & DISTANCES FOR EASEMENT

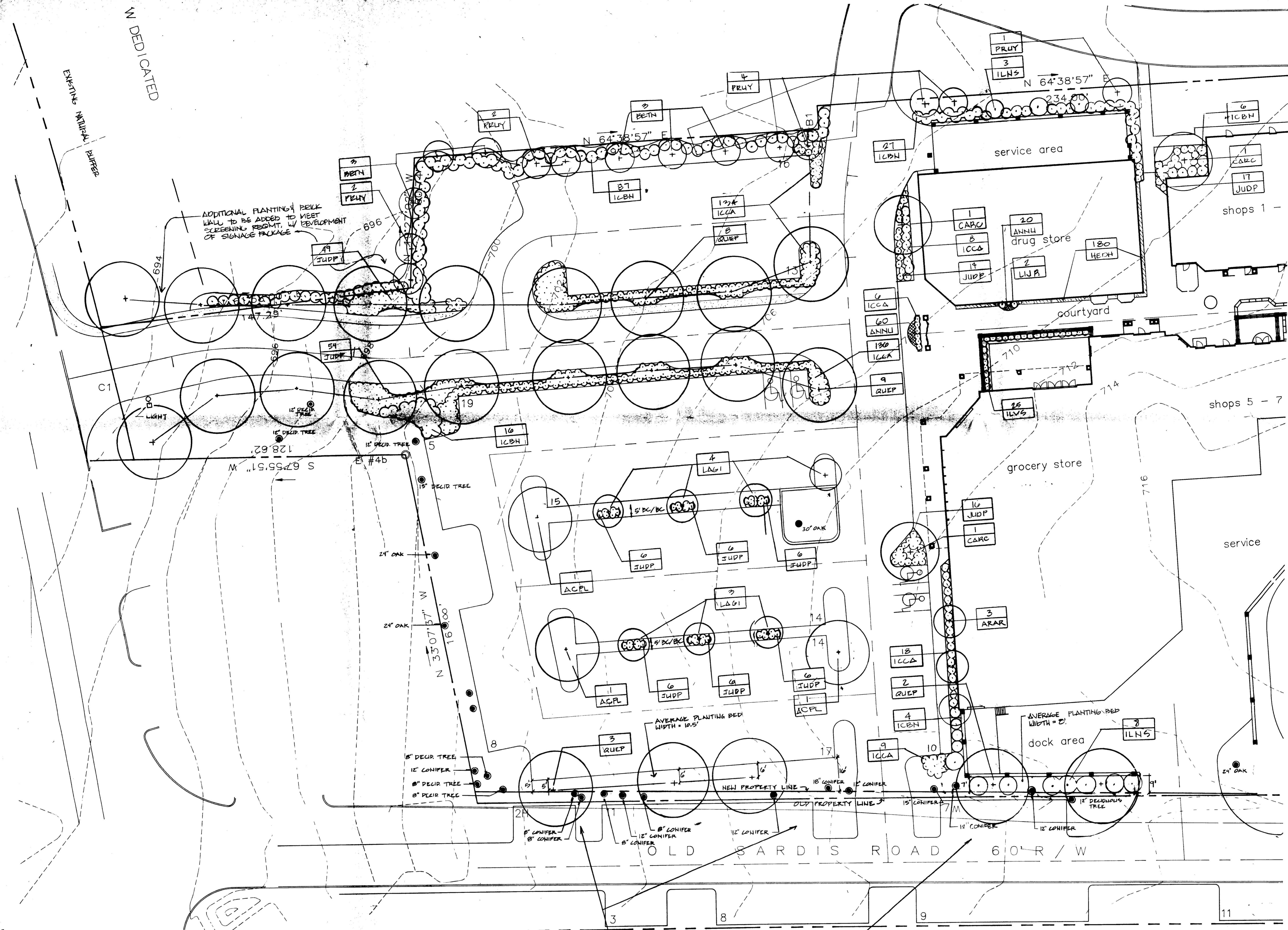
LINE	BEARING	DISTANCE
A TO B	N 67°56'00" E	89.69'
B TO C	S 22°21'14" E	11.05'
C TO D	S 68°16'45" W	89.75'
D TO A	N 22°04'00" W	11.15'

BOUNDARY DESCRIPTIONS

LINE	DESCRIPTION	LENGTH	BEARING
1	TO B	89.69'	N 67°56'00" E
2	B TO C	11.05'	S 22°21'14" E
3	C TO D	89.75'	S 68°16'45" W
4	D TO 1	11.15'	N 22°04'00" W

Final Design
DATE: APRIL 30, 1990
PROJECT NO: 90551
REVISIONS:
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3.5/23/90 PER CITY REVIEW
4.6/1/90 PER CITY REVIEW
5.7/1/90

SCALE: 1" = 40'
NORTH



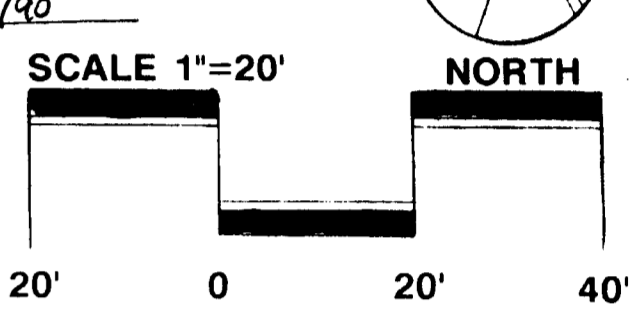
**STRAWBERRY HILL
CENTER**

MARSH REALTY COMPANY
P.O. BOX 35255 CHARLOTTE, NC 28217



**PLANTING
PLAN**

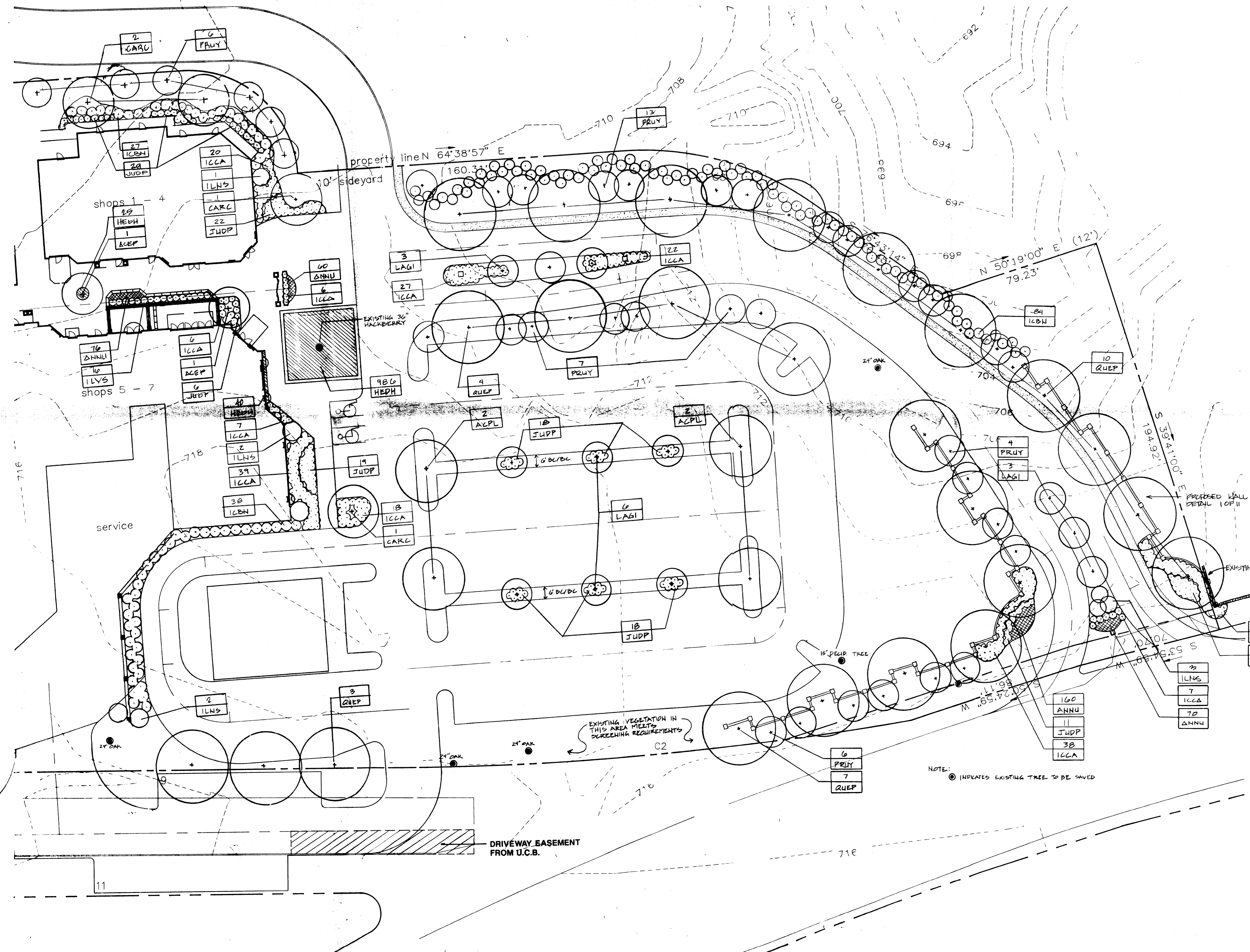
DATE: APRIL 30, 1990
PROJECT NO: 90551
REVISIONS:
1. 5/13/90 REVISED PER CITY OF CHARLOTTE REVIEW
2. 5/18/90 REVISIONS
3. 5/18/90 PLANT COURTYARD
4. 5/23/90 PER CITY REVIEW
5. 5/11/90 PER CITY REVIEW
6. 7/11/90
7. 7/11/90 PER CITY REVIEW



Land Design
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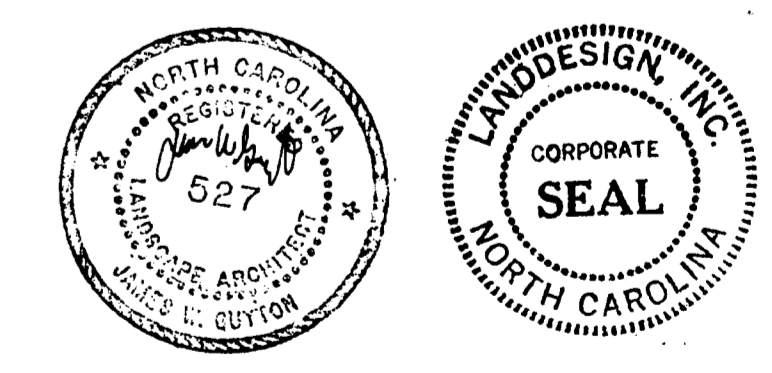
1700 East Boulevard, Charlotte, NC 28203 704-333-0325
1700 Peach Street, Alexandria, VA 22304 703-539-2786
225 Midway Road, Raleigh, NC 27608 919-834-9177

SHEET NO: **L12**
OF



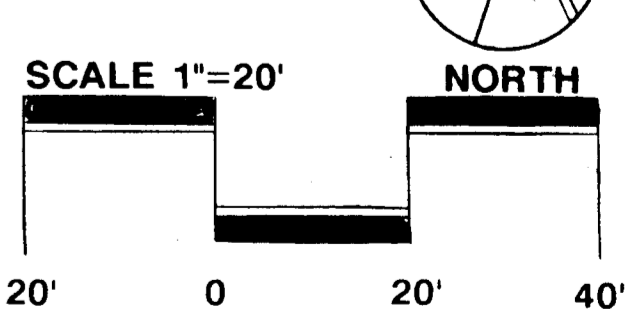
**STRAWBERRY HILL
CENTER**

MARSH REALTY COMPANY
P.O. BOX 35255 CHARLOTTE, NC 28217



**PLANTING
PLAN**

DATE: APRIL 30, 1990
PROJECT NO: 90551
REVISIONS:
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2. 5/18/90 REVISIONS
3. 5/18/90 PLANT COURTYARD
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5. 5/11/90 PER CITY REVIEW
6. 7/11/90
7. 7/11/90 PER CITY REVIEW



Land Design
Landscape Architecture Land Planning
Urban Design Civil Engineering

1700 East Boulevard, Charlotte, NC 28203 704-333-0325
1700 Peach Street, Alexandria, VA 22304 703-539-2786
225 Midway Road, Raleigh, NC 27608 919-834-9177

SHEET NO: **L13**
OF



**CONSTRUCTION SEQUENCE
CONTACT SCHEDULE**

- The Planning Commission staff, the Urban Forestry staff, and the Zoning Administrators office must be contacted before and during the following construction events.
- Before trenching begins at base of Hackberry and post oak. Areas beyond trench to be clearly marked and tree protection devices installed. Before and during this operation.
- Before and during retaining wall construction.
- Before arborist begins work and once work is completed. It should be understood that no canopy reduction is to occur for either root loss mitigation or aesthetic reasons. Only structural pruning should occur.
- After topsoil is redistributed.
- Before, during, and after new trees are planted.
- Please contact Keith MacVean, Planning 336-2205; Joe Cochran, Urban Forestry 336-4254; and Sherry Williamson, Zoning 336-3571.

PLANT SCHEDULE

SYMBOL	QTY.	SCIENTIFIC NAME COMMON NAME	CAL.	HGT.	SPD.	COND.	NOTES
TREES							
ACEP	2	Acer palmatum 'Bloodgood'		6'-8'		B&B	Specimen Tree
ACPL	7	Acer platanoides Norway Maple	2"-2 1/2"			B&B	
ARAR	3	Acer rubrum 'Armstrong' Armstrong Red Maple	1 1/2"-2"			B&B	Columnar Specimen
BETN	6	Betula nigra River Birch	1 1/4"-1 1/2"	6'-8'		B&B	
CARC	7	Carpinus caroliniana American Hornbeam		10'-12'		B&B	Specimen Tree
ELNS	19	Ilex x 'Nellie Stevens' Nellie Stevens Holly	1 1/4" Min.	9'-11'		B&B	Tree Form
LAGI	19	Lagerstroemia indica Crape Myrtle		6'-7'		B&B	Multi-Stem, Lavendar Flowering, Tree Form
PRUY	45	Prunus yedoensis Yoshino Cherry	1 1/2"-2"			B&B	
QUEP	46	Quercus phellos Willow Oak	2 1/2"-3"			B&B	
SHRUBS							
ICUN	289	Ilex cornuta 'Barfordi Nana' Dwarf Barford Holly		36"	30"-36"	5 Gal.	5' o.c.
IOCA	542	Ilex cornuta 'Carrissa' Carrissa Holly		18"-24"	18"-24"	2 Gal.	3' o.c.
ITNS	41	Ilex vomitoria 'Shillings' Dwarf Yaupon Holly			15"-18"	2 Gal.	
JUDP	324	Juniperus devarica 'Parsonii' Parson's Juniper			18"-24"	2 Gal.	3' o.c.
LIJR	2	Ligustrum japonicum 'Rotundifolium' Curlyleaf Ligustrum		18"-24"		3 Gal.	
GROUND COVER							
ANNU	446	Annuals - Seasonal Color				4" Pot	8" o.c.
HEDH	1231	Hedera helix English Ivy				4" Pot	8-12" o.c.

GENERAL NOTES

- Contractor is responsible for verifying all quantities.
- Mulch all plant beds with 4" of Pine Needle mulch.
- Apply pre-emergent herbicide to planting beds prior to mulching.
- Seed all disturbed areas on project site except planting beds with Paspalum mix.
- Plant material may not be substituted without approval of Landscape Architect or Architect.

PLANT SCHEDULE

SYMBOL	QTY.	SCIENTIFIC NAME COMMON NAME	CAL.	HGT.	COND.	NOTES
1.	3	Celtis occidentalis Hackberry	3 1/2"-4"		B&B	
1a.	2	Hackberry	4 1/2"-5"			
2.	1	Carya spp. Hickory	3 1/2"-4"		B&B	
2a.	2	Hickory	4 1/2"-5"			
3.	2	Quercus rubra Red Oak	3 1/2"-4"		B&B	
3a.	2	Red Oak	4 1/2"-5"			
4.	1	Quercus alba White Oak	3 1/2"-4"		B&B	
4a.	1	White Oak	4 1/2"-5"			
27		Myrica cerifera Wax Myrtle		6-7'	B&B	
11		Cupressaceae Eastern Redcedar		16'-10'	B&B	Field Grown Locally
6		Pinus virginiana Virginia Pine		8-10'	B&B	

General Notes:

- Buffer area to be mulched with 4" of pine needle mulch.

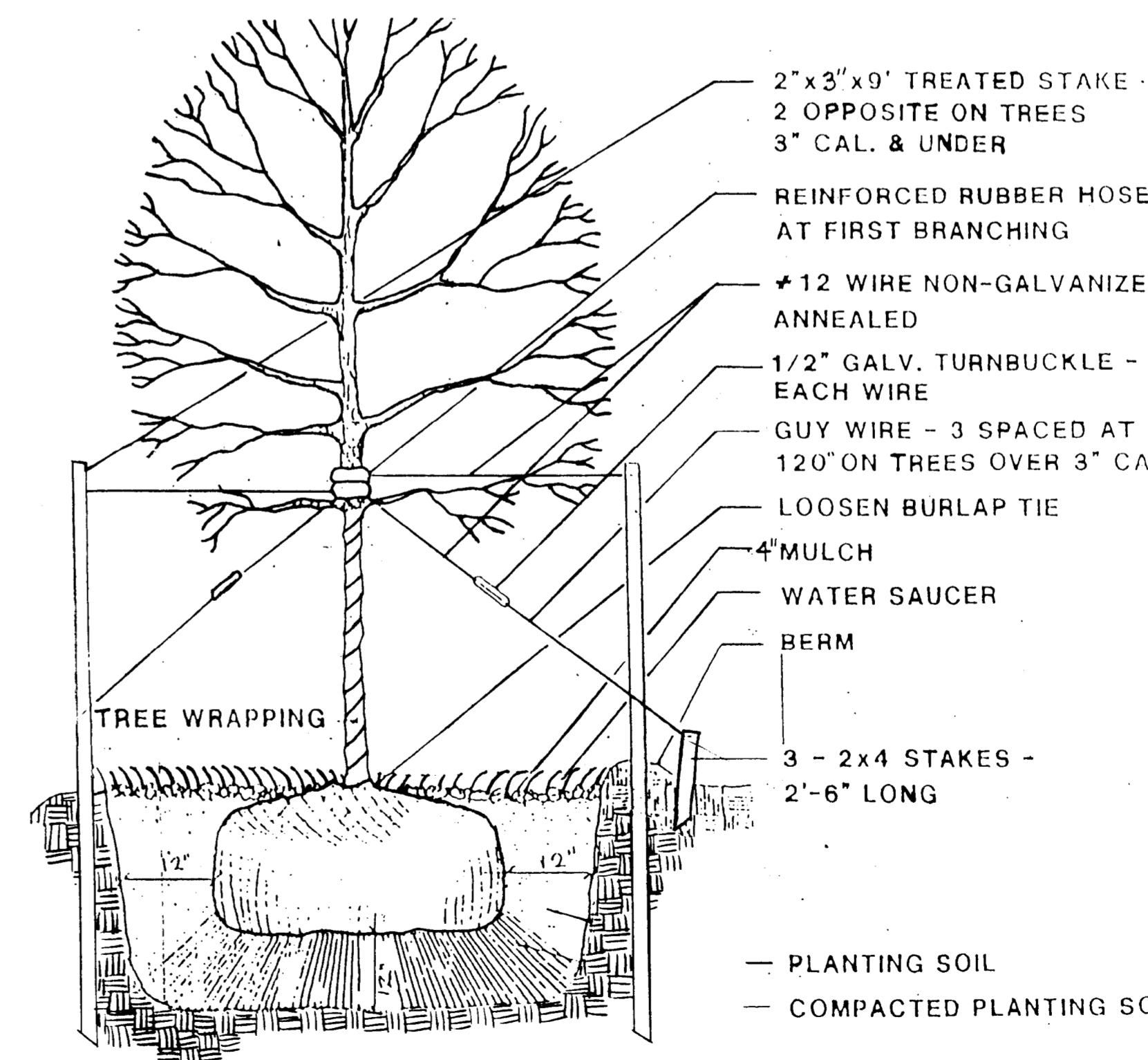
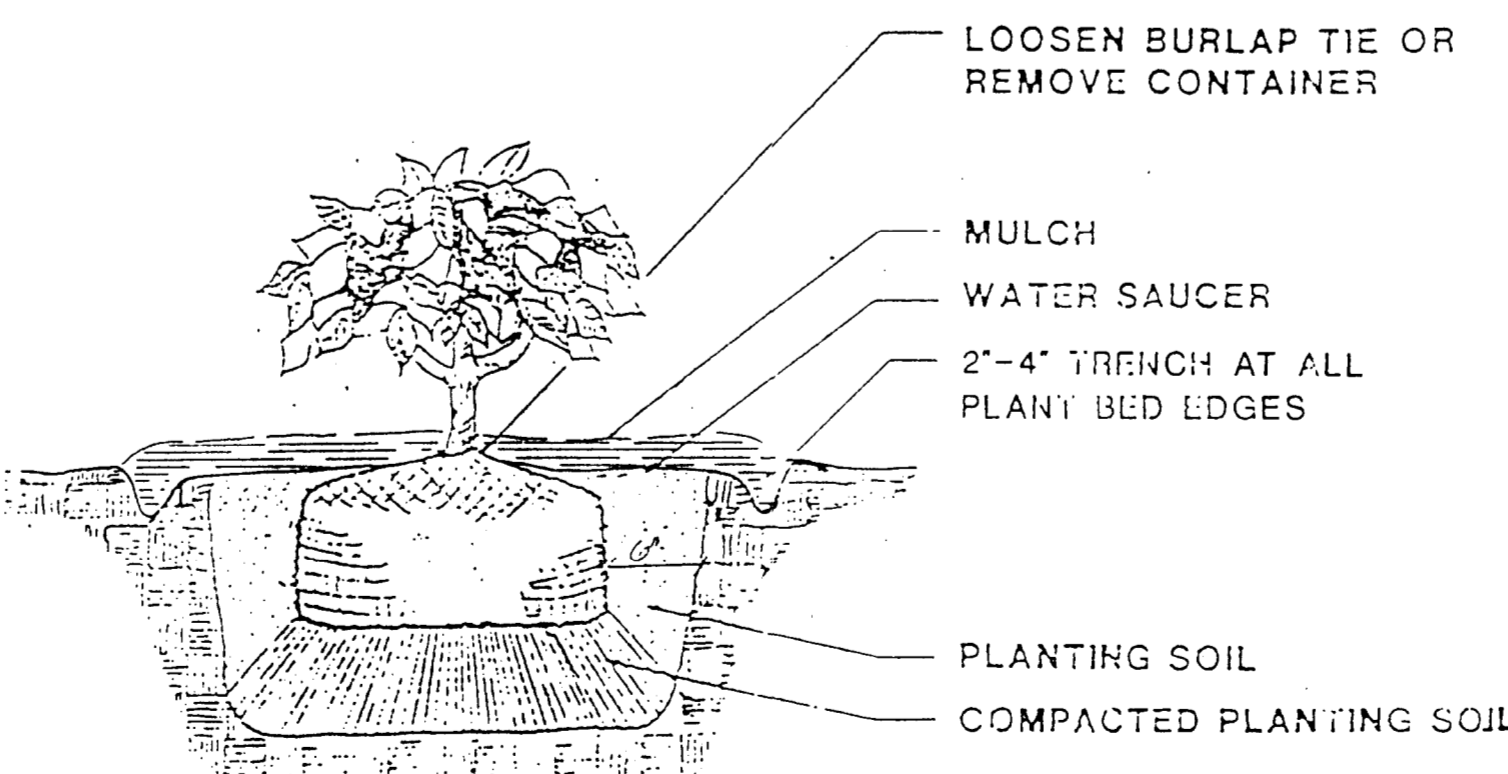
CONDITIONAL NOTES

I. Existing Trees (Hackberry & Large White Oak)

- A watering program was initiated Monday, July 1, 1990 as described in the memo from the tree ordinance dept. dated June 28, 1990. The watering program will continue throughout the duration of construction.
- The undisturbed area for the existing trees will be increased by modifying the road and parking layout as indicated on proposed layout plan.
- Prior to the restart of construction, a tree barrier equal to the drip line plus 10' will be constructed around these trees and no construction equipment, other than that needed to walls shown on the proposed layout plan and attached detail, shall be allowed within this area. Rough grading surrounding these trees, shall not be completed until the surrounding structural part of the retaining walls have been completed. The tree protection/retaining wall will be field located and constructed as described in detail. During construction of the walls PVC sleeves will be installed for future lighting and irrigation needs to prevent future disturbance of the undisturbed area.
- No utility lines other than noted will be constructed within the undisturbed area defined by tree protection/retaining walls.
- Private arborist services will be obtained as soon as possible to initiate a tree fertilization and maintenance program. The arborist service shall submit the fertilization and maintenance program by July 25th for review and approval by the city tree ordinance staff. The program is to continue at a minimum of 12 months after construction completion.
- Maintenance and fertilization program will be initiated with the administrative approval of the buffer replanting plan.

II. Graded/Cleared Area at Sardis Road

- All large stumps preventing the spreading of top soil will be removed from the cleared area. A minimum of 8" of new top soil will be evenly spread over the cleared area by a rubber tired tractor and box blade. Only rubber tired equipment will be allowed in this area to minimize compaction.



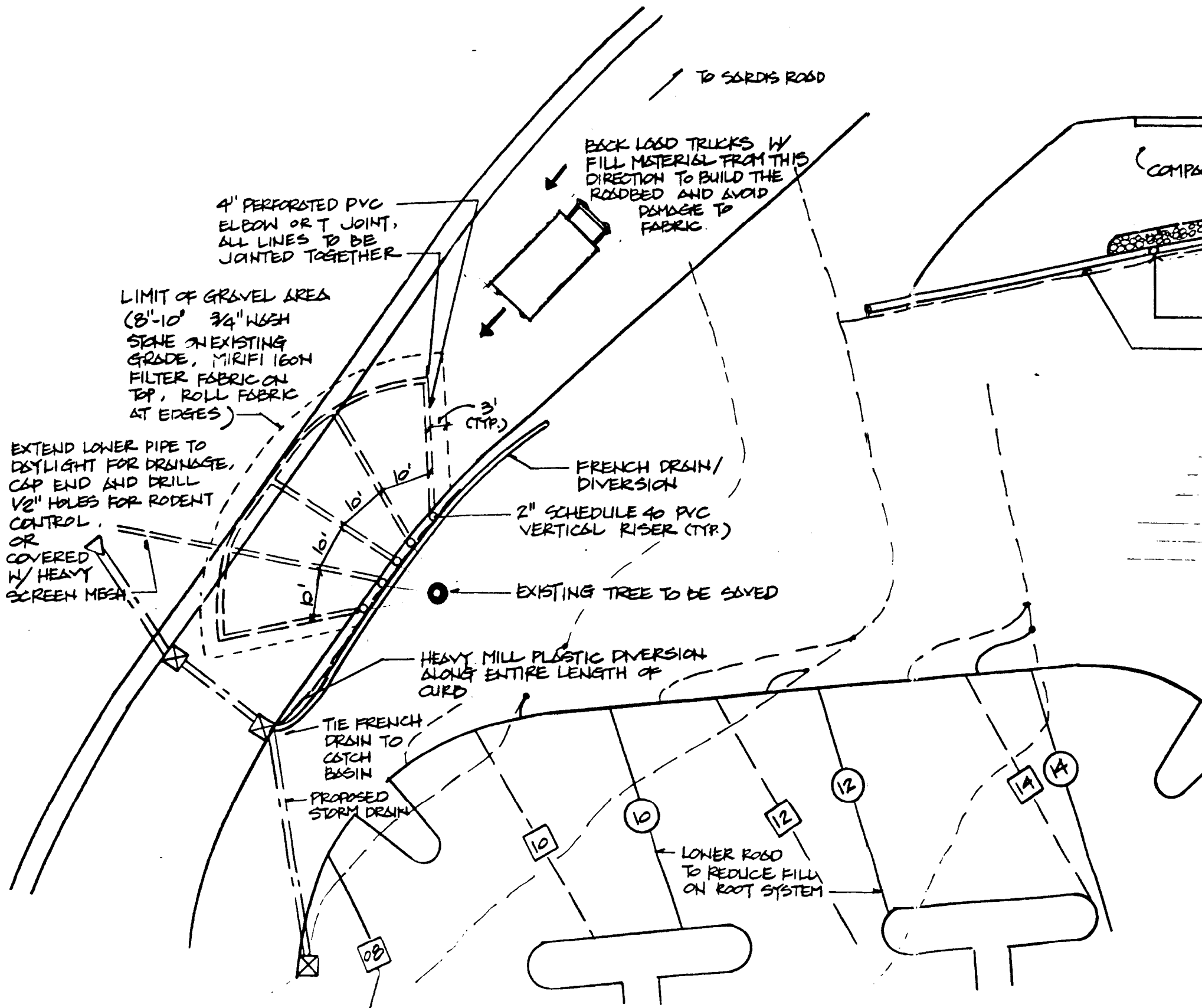
**PLANTING
SCHEDULE
& DETAILS**

Land Design
DATE: **APRIL 30, 1990**
PROJECT NO: **90551**
REVISIONS:
1.5/3/90 REVISED PER CITY OF CHARLOTTE REVIEW
2.5/10/90 REVISED PER CITY OF CHARLOTTE REVIEW
3.5/15/90 PLANT LIST
4.5/21/90 PER CITY REVIEW
5.6/1/90 PER CITY REVIEW
6.7/1/90

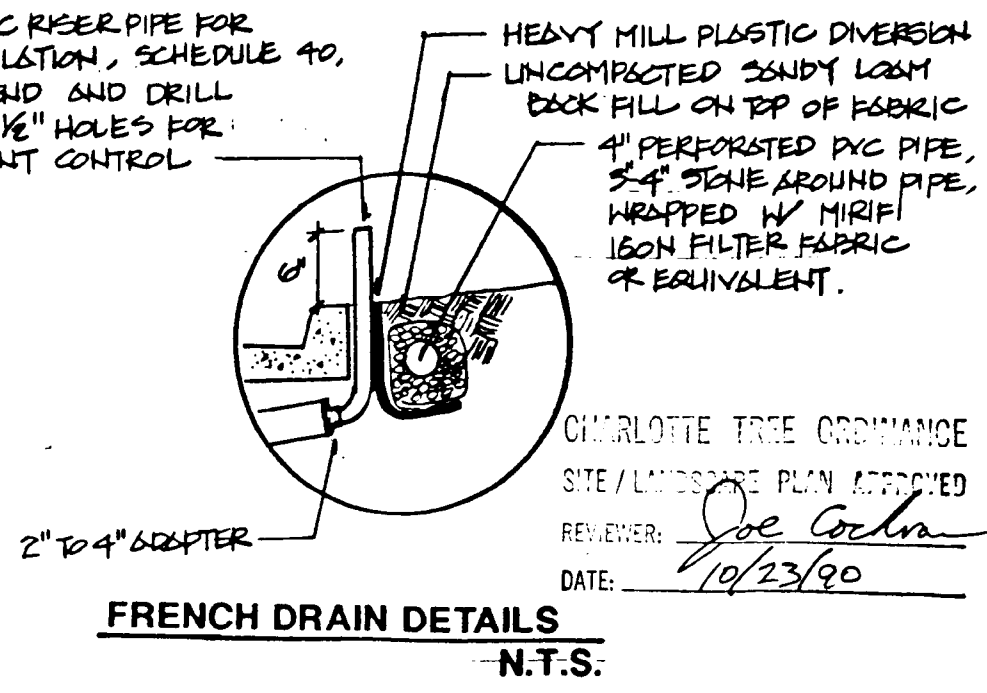
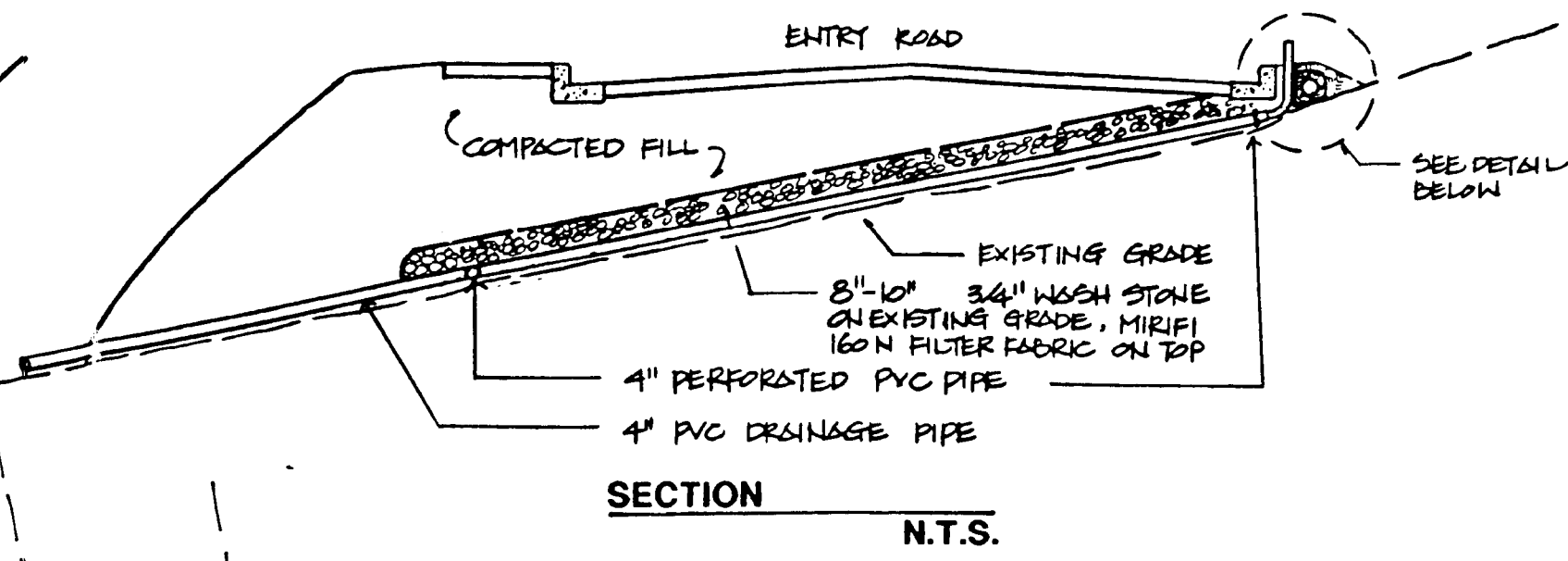
11701 East Boulevard, Charlotte, NC 28203 704/333 0325
1216 Prince Street, Alexandria, VA 22314 703/549 7784
225 Hillsborough Street, Raleigh, NC 919/834 0127

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STRAWBERRY HILL AERATION DETAIL FOR ADDITIONAL TREE TO BE SAVED



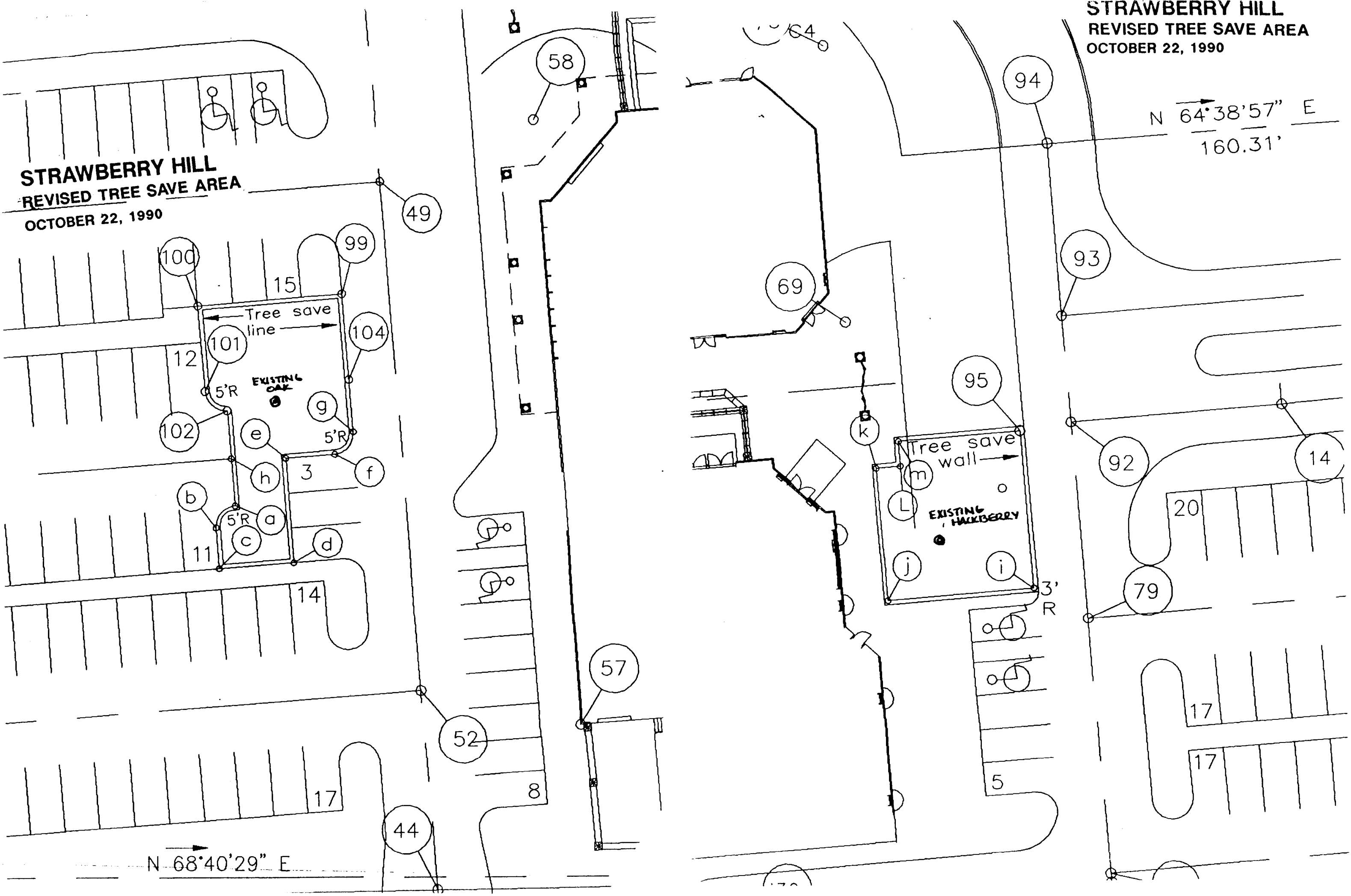
PLAN SCALE: 1"=20'



OCTOBER 23, 1990

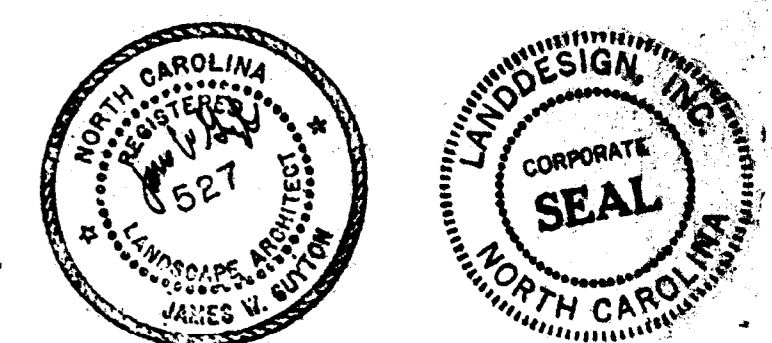
Land Design

Landscape Architecture Land Planning
Urban Design Civil Engineering



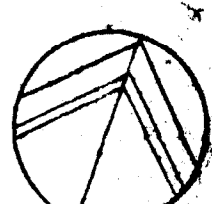
STRAWBERRY HILL CENTER

NOTE: SHADED AREAS REPRESENT AREAS TO BE IRRIGATED. IRRIGATION CONTRACTOR TO PROVIDE IRRIGATION SHOP DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT.



PLANTING PLAN

SCALE 1"=20'



attached to administrative approval dated 06/19/91 by Martin R. Combs

DATE: APRIL 30, 1990

PROJECT NO. 90551

REVISIONS:

- 1. 5/21/90 REVISED PER CITY OF CHARLOTTE REVIEW
- 2. 5/18/90 REVISIONS
- 3. 2/10/90 PLANT COURTYARD
- 4. 5/10/90 PER CITY REVIEW
- 5. 4/11/90 PER CITY REVIEW
- 6. 7/17/90
- 7. 7/10/90 PER CITY REVIEW
- 8. Increase
- 9. 11/21/90 APPROX. PROPOSED WALL LAYOUT

1701 East Boulevard, Charlotte, NC 28203 704-333-0088

1216 Pines Street, Alexandria, VA 22304 703-549-1764

225 Hibernian Street, Raleigh, NC 27601 919-854-4327

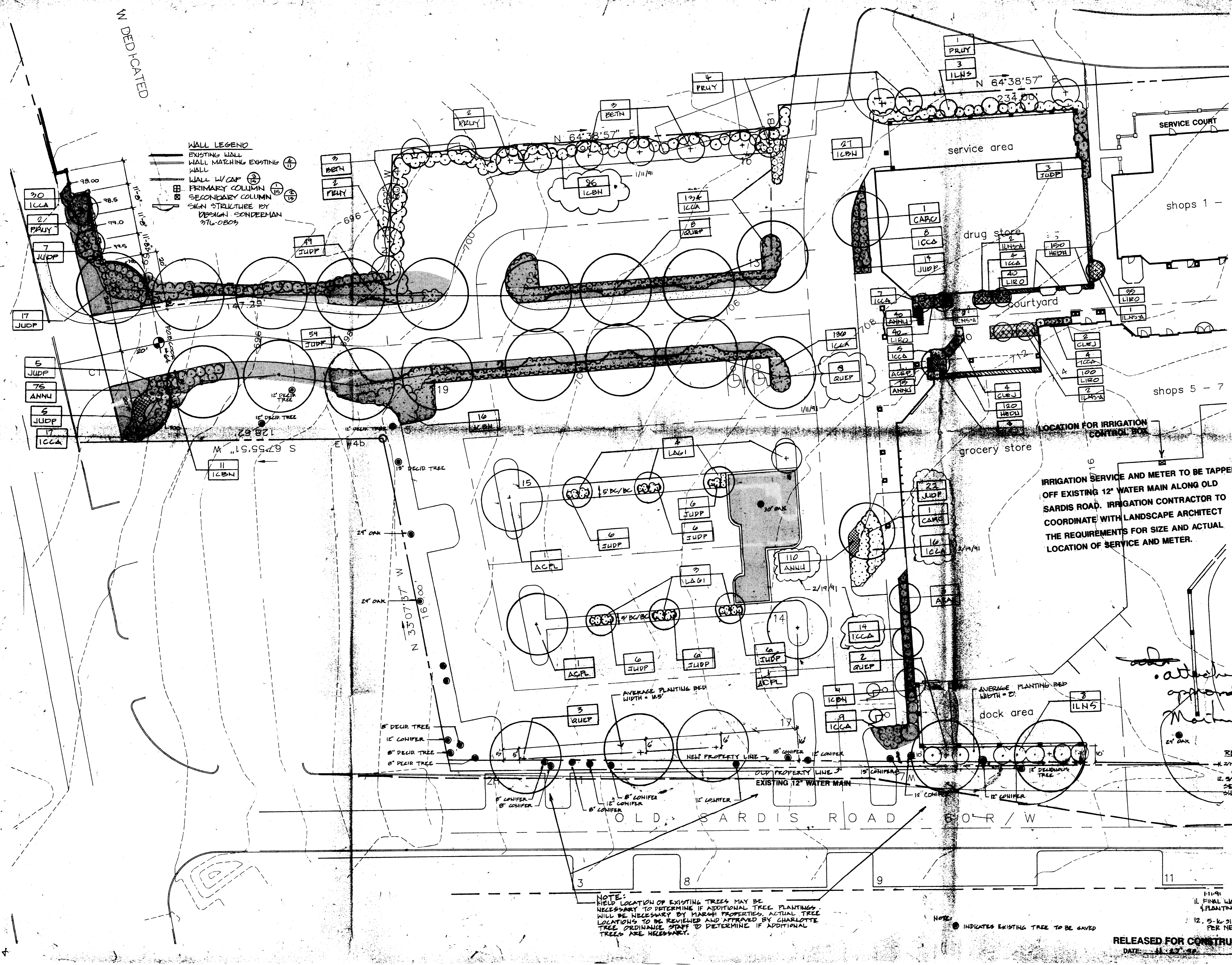
Land Design

Landscape Architecture Land Planning Urban Design Civil Engineering

SHEET NO. L12 OF

RELEASED FOR CONSTRUCTION

DATE: 11-27-90



CHARLOTTE-MECKLENBURG PLANNING COMMISSION INTER-OFFICE COMMUNICATION

DATE: June 11, 1991

TO: Robert Brandon
Zoning Administrator

FROM: Martin R. Combs
Planning Director

SUBJECT: Administrative Approval for Petition No. 88-34 by Strawberry Hill Associates - Tax Parcel No. 185-121-29, 17

Attached is a revised landscape plan for the Strawberry Hill Shopping Center. The plan has been revised to add a service area behind shops 1-4. This service area will not be accessible by vehicles. This service area will be screened from the adjoining apartments by a brick wall and landscaping as shown on the attached plan. Pursuant to the authority granted to me by the zoning ordinance I am administratively approving this plan. Please use this plan when evaluating requests for building permits.

MRCjr/KRM/cln
Attachment

STRAWBERRY HILL CENTER

MARSH REALTY COMPANY
P.O. BOX 35329 CHARLOTTE, N.C. 28217

REZONED AS THE VILLAGE AT STRAWBERRY HILL
ZONING PETITION # 88-34

SITE TABULATIONS

TOTAL SITE AREA: 6.2 ACRES
CURRENT ZONING: B1-CD
BUILDING SQ. FT.: 38,800

PARKING TABULATION

Occupancy
Grocery, Drug Store, Shops Mercantile 23,447SF/200 = 117
Restaurant Assembly 150 Persons/3 = 50
Bank Business 2481SF/100 = 25

Employees
Grocery 15
Restaurant 10
Shops 20
Total 45/2 = 23

Park & Ride = 62

Total Parking Required = 277

Total parking Provided (6 Handicap Spaces) = 277

LANDSCAPE AREA ACREAGE: 18,900 S.F.
(PER TREE ORDINANCE REQUIREMENTS)

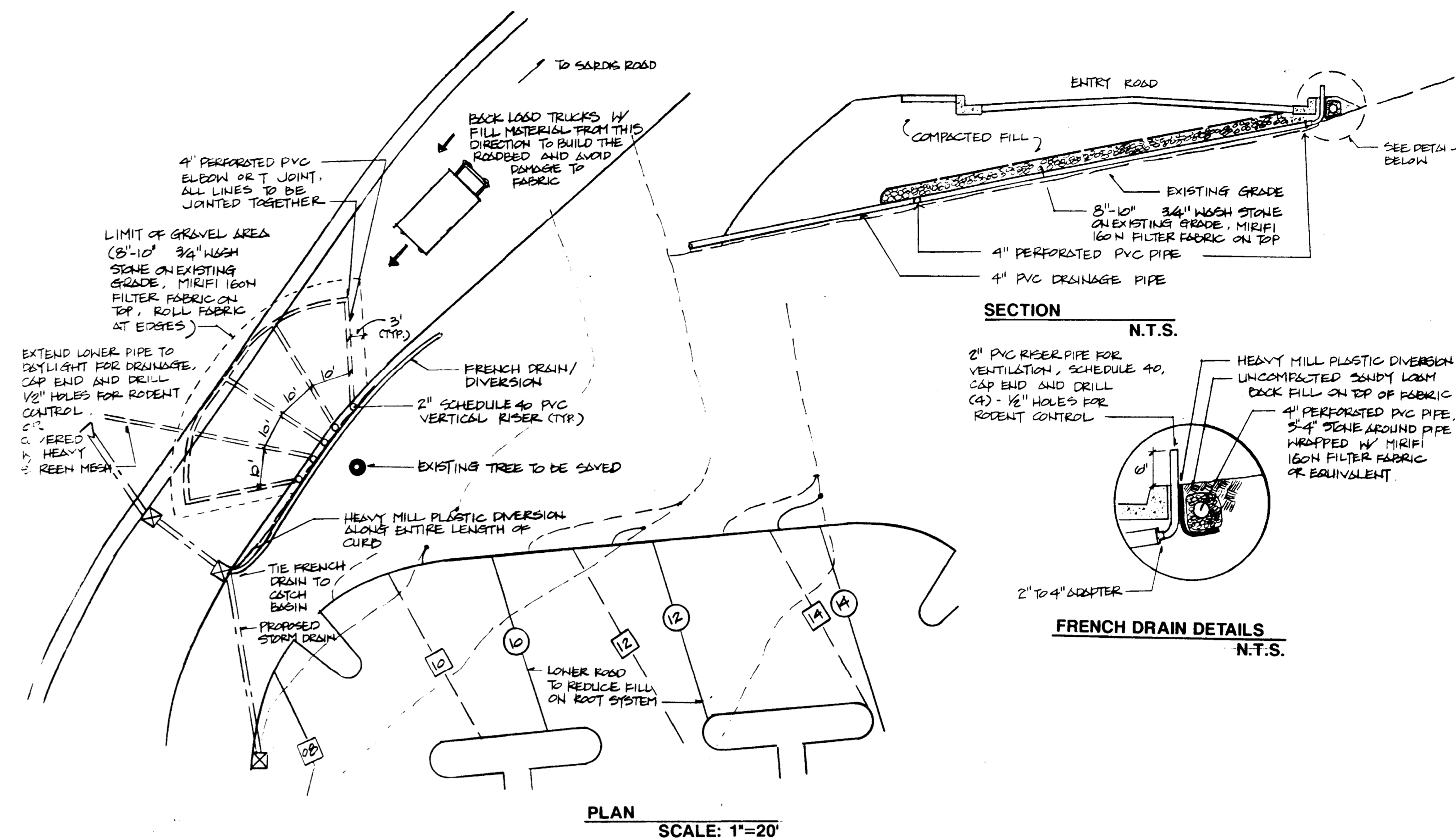
STORM DRAINAGE DESIGN DATA

STATION	AREA	C	INTENSITY	Q = CIA	PIPE	REMARKS					
NO.	TO	SUB TOTAL	H	L	I	CFS	N	SLOPE	LENGTH	SIZE	LEVEL
DI 1	DI 2	.05	0.18	.95	6.8	1.04	.012	.008	48'	18"	3.2
DI 2	DI 3	.05	0.18	.95	6.8	1.04	.012	.008	48'	18"	3.2
DI 3	DI 4	.62	0.64	.95	6.8	4.13	.012	.026	30'	24"	5.6
DI 4	DI 5	.29	1.11	.77	6.8	6.68	.012	.01	204'	15"	5.4
DI 5	DI 6	.58	1.69	.86	6.8	10.07	.012	.029	114'	18"	8.8
DI 6	DI 7	.52	2.21	.88	6.8	13.18	.012	.018	36'	18"	7.2
DI 7	DI 8	.79	3.0	.82	6.8	15.97	.012	.024	20'	18"	9.2
DI 8	DI 9	.29	3.29	.95	6.8	17.84	.012	.01	20'	24"	7.0
DI 9	DI 10				6.8	5.44	.021	.06	90'	18"	7.0
DI 10	DI 11				6.8	2.64	.012	.0059	220'	8"	8.0
DI 11	DI 12				6.8	5.45	.012	.0098	70'	15"	4.8
DI 12	DI 13				6.8	9.64	.012	.0024	12'	15"	8.2
DI 13	DI 14				6.8	2.94	.021	.0183	182'	18"	3.6
DI 14	DI 15				6.8	4.83	.012	.0110	150'	18"	5.5
DI 15	DI 16				6.8	4.83	.012	.0110	15'	18"	8.7

STORM DRAINAGE SCHEDULE

STRUCTURE	RIM	INV. IN	INV. OUT	LENGTH	SIZE	SLOPE
DI 1	708.51	706.71	706.71	106'	8" PVC	0.58
DI 2	711.80	705.98	705.98	46'	15" RCP	0.88
DI 3	711.80	708.65	708.65	42'	15" RCP	0.88
DI 4	711.80	708.11	708.11	36'	15" RCP	2.28
DI 5	710.45	705.60	705.60	120'	15" RCP	1.08
DI 6	709.90	703.36	703.36	114'	15" RCP	2.84
DI 7	707.24	700.32	700.32	40'	18" RCP	1.88
DI 8	705.27	699.40	699.40	24'	18" RCP	2.48
DI 9	706.27	698.82	698.82	24'	24" RCP	1.08
DI 10		698.38	698.38			
Detention		691.00	691.00	50'	12" CMP	6.08 MIN.
Outlet						
DI 11	712.18	709.51	709.51	120'	8" PVC	5.38
DI 12	699.80	696.51	696.51	70'	15" RCP	0.88
DI 13	699.20	696.55	696.55	12'	15" RCP	2.48
DI 14		695.95	695.95			
DI 15		695.86	695.86			
Detention		693.00	693.00	152'	15" CMP	1.93
Outlet						
DI 16	693.42	690.47	690.47	120'	15" RCP	1.14
DI 17	692.20	688.15	688.15	18'	15" RCP	1.24
DI 18	691.70	688.75	688.75			

ALL STORM DRAINAGE PIPE TO BE CLASS III RCP EXCEPT AS NOTED
ALL CMP TO BE FULLY ASPHALT COATED WITH PAVED INVERT



1 AERATION DETAIL FOR ADDITIONAL TREE TO BE SAVED

attached to administrator
approved 8/21/10 by
Mark R. Cramton, Jr.

SCHEDULE OF DRAWINGS

SITE PLANNING DRAWINGS

1. TITLE SHEET
2. EXISTING CONDITIONS
3. SITE PLAN
- 3A. DRAINAGE AREA MAP
4. CLEARING & TREE PROTECTION PLAN
5. STAKING PLAN
6. SEDIMENTATION & EROSION CONTROL PLAN
7. PROVIDENCE ROAD IMPROVEMENTS
8. SITE DETAILS
9. SITE DETAILS
10. SITE DETAILS
11. SITE DETAILS

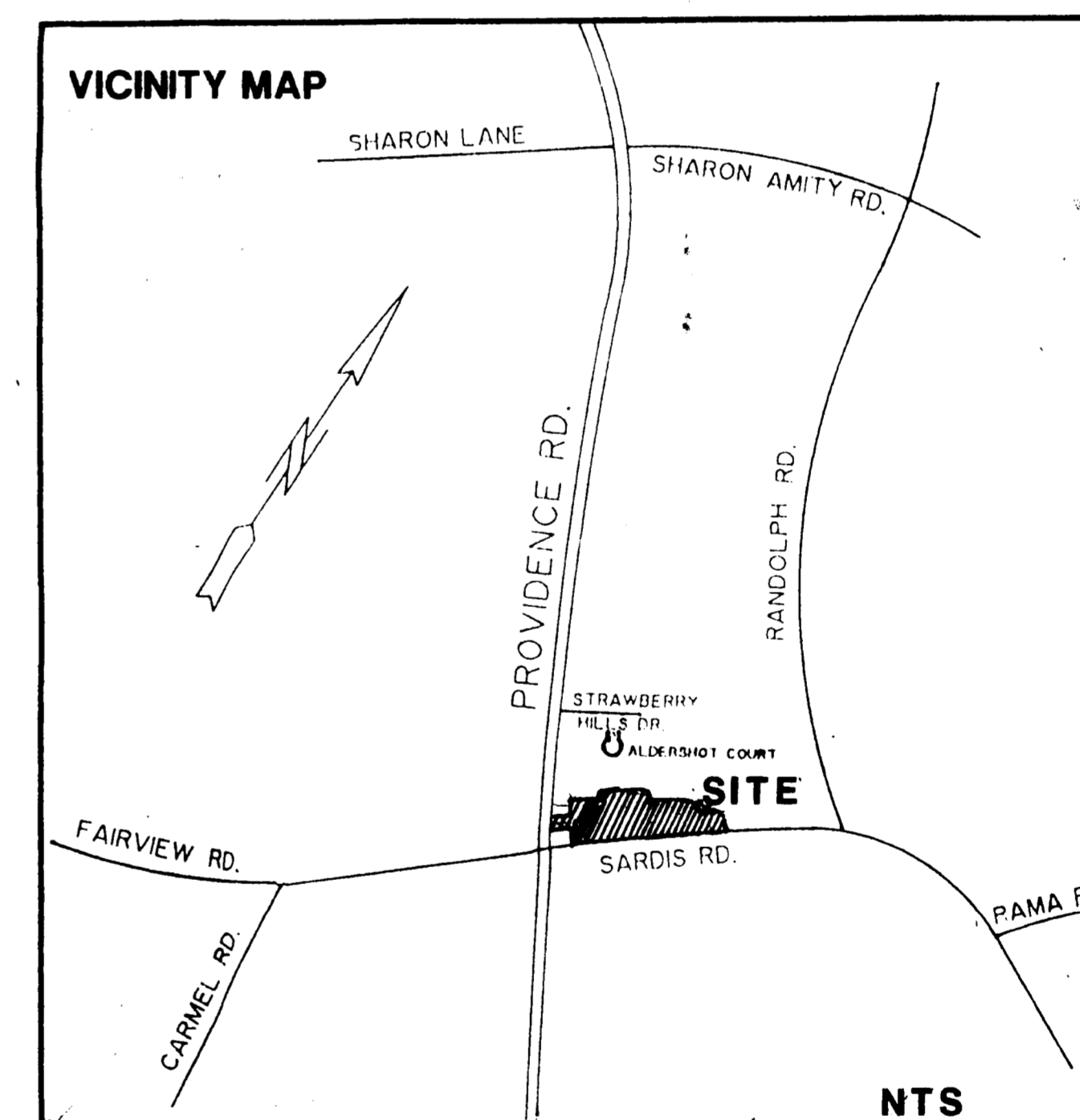
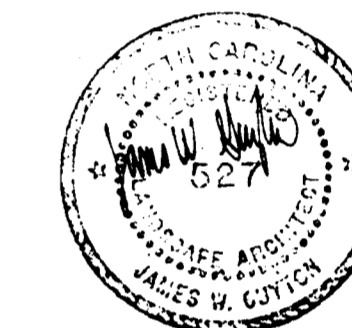
12. PLANTING PLAN
13. PLANTING PLAN
14. PLANTING SCHEDULE & DETAILS

CIVIL DRAWINGS

- 1 OF 1 WATER SYSTEM PLAN
- 2 OF 2 WATER SYSTEM DETAILS
- 1 OF 4 COVER SHEET
- 2 OF 4 8" SANITARY SEWER SITE PLAN
- 3 OF 4 8" SANITARY SEWER PROFILE
- 4 OF 4 SANITARY SEWER SYSTEM DETAILS

RELEASED FOR CONSTRUCTION

DATE: 11-27-90



COVER SHEET

DATE: APRIL 30, 1990
PROJECT NO: 90551
REVISIONS:
1. 5/1/90 REVISED PER CITY
2. 5/1/90 REVISED PER CITY
3. 6/1/90 PER CITY REVIEW
4. 6/1/90 PER CITY REVIEW
5. 10/25/90 ADD AERATION DETAIL
7. 6/24/91 CHANGE L12 L13
AS NOTED

1701 East Boulevard, Charlotte, NC 28203 704/733-0225
1216 Prince Street, A., Charlotte, VA 22313 703/549-1784
225 Hillsborough Street, Raleigh, NC 27603 919/834-8127

Land Design
Landscape Architecture Land Planning
Urban Design Civil Engineering

SHEET NO. L 1 OF

CHARLOTTE-MECKLENBURG PLANNING COMMISSION

INTER-OFFICE COMMUNICATION

DATE: July 5, 1991

FROM: Martin R. Cramton, Jr.,
Planning Director

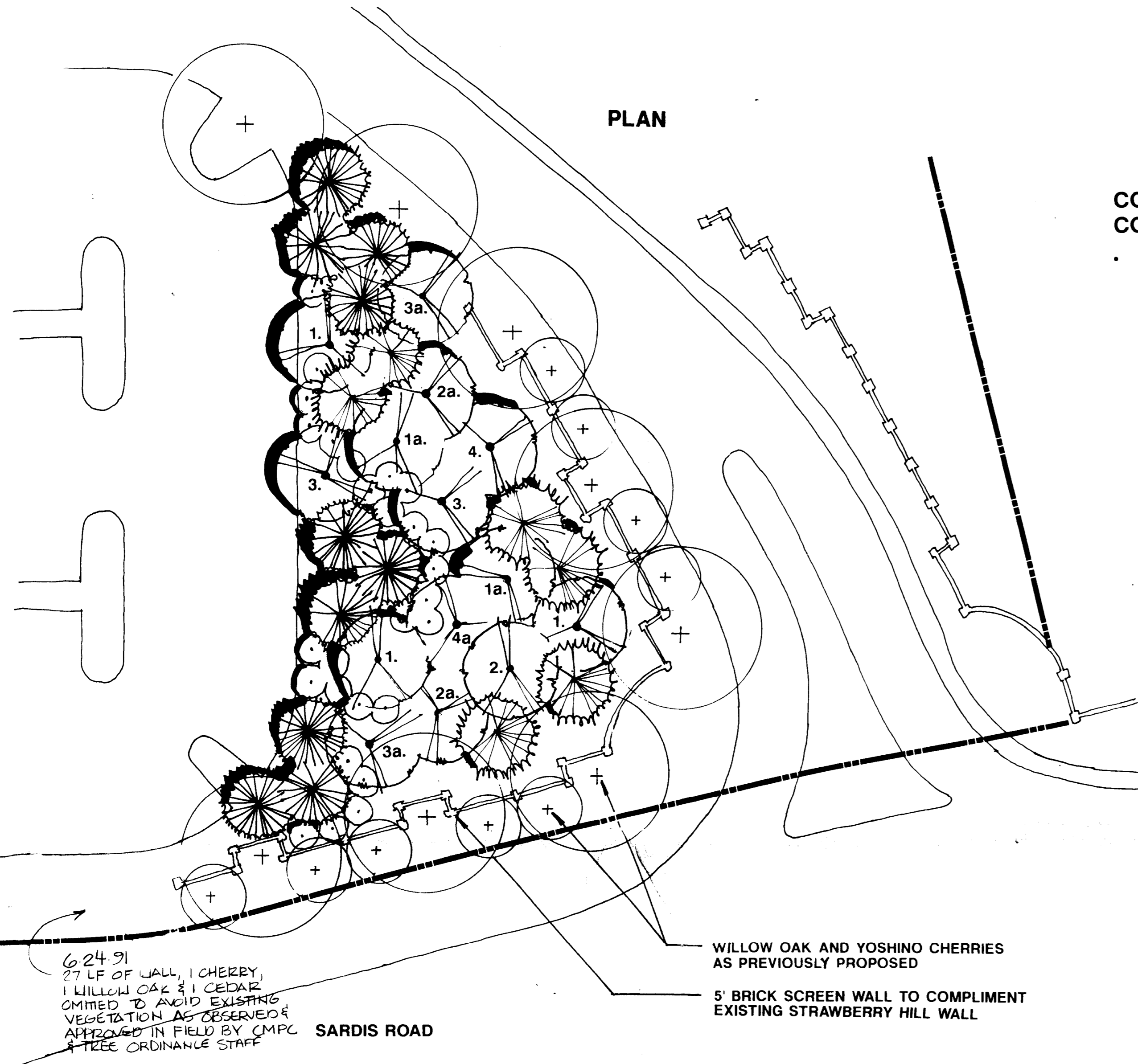
TO: Robert Brandon,
Zoning Administrator

SUBJECT: Administrative Approval for Petition No. 88-34 by Strawberry Hill Associates, Tax Parcel No. 185-121-29, 17

Attached is a revised landscape plan for the Strawberry Hill Center. The plan has been revised to show the final design and location of a brick wall along Providence Road as well as along Sardis Road North. Pursuant to the authority granted to me by the zoning ordinance, I am administratively approving this plan. Please use this plan when evaluating requests for building permits and certificates of Occupancy.

MRCjr:FRM:dmh

Attachment



CONSTRUCTION SEQUENCE CONTACT SCHEDULE

- The Planning Commission staff, the Urban Forestry staff, and the Zoning Administrators office must be contacted before and during the following construction events.
- Before trenching begins at base of Hackberry and post oak. Areas beyond trench to be clearly marked and tree protection devices installed. Before and during this operation.
- Before and during retaining wall construction.
- Before arborist begins work and once work is completed. It should be understood that no canopy reduction is to occur for either root loss mitigation or aesthetic reasons. Only structural pruning should occur.
- After topsoil is redistributed.
- Before, during, and after new trees are planted.
- Please contact Keith MacVean, Planning 336-2205; Joe Cochran, Urban Forestry 336-4254; and Sherry Williamson, Zoning 336-3571.

PLANT SCHEDULE

SYMBOL	QTY.	SCIENTIFIC NAME COMMON NAME	CAL.	HGT.	SPD.	COND.	NOTES
TREES							
ACEP	3	Acer palmatum 'Bloodgood'		6'-8'		B&B	Specimen Tree
ACPL	7	Acer platanoides Norway Maple	2"-2 1/2"			B&B	
ARAR	3	Acer rubrum 'Armstrong' Armstrong Red Maple	1 1/2"-2"			B&B	Columnar Specimen
BETN	6	Betula nigra River Birch	1 1/4"-1 1/2"	6'-8'		B&B	
CARC	7	Carpinus caroliniana American Hornbeam		10'-12'		B&B	Specimen Tree
IINS	19	Ilex x 'Nellie Stevens' Nellie Stevens Holly	1 1/4" Min.	9'-11'		B&B	Tree Form
LAGI	19	Lagerstroemia indica Crape Myrtle		6'-7'		B&B	Multi-Stem, Lavendar Flowering, Tree Form
PRUY	2	Prunus yedoensis Yoshino Cherry	1 1/2"-2"			B&B	
QUER	4	Quercus phellos Willow Oak	2 1/2"-3"			B&B	
UNDA	7	Ilex x 'Nellie Stevens' Nellie Stevens Holly		7'		B&B	Tree Form
SHRUBS							
ICBN	277	Ilex cornuta 'Burfordi Nana' Dwarf Burford Holly		36"	30"-36"	5 Gal.	5' o.c.
ICCA	600	Ilex cornuta 'Carrissa' Carrissa Holly		18"-24"	18"-24"	2 Gal.	3' o.c.
JUDP	344	Juniperus davurica 'Parsonii' Parson's Juniper			18"-24"	2 Gal.	3' o.c.
OLEJ	26	Oleaster japonicus Oleaster		18"-24"		3 Gal.	
GROUND COVER							
ANNU	555	Annuals - Seasonal Color				4" Pot	8" o.c.
HEDI	1250	Hedera helix English Ivy				4" Pot	8-12" o.c.
LIPO	345	Liriodendron muscarii Liriodendron				1 Gal	12" o.c.

- GENERAL NOTES**
- Contractor is responsible for verifying all quantities.
 - Mulch all plant beds with 4" of Pine Needle mulch.
 - Apply pre-emergent herbicide to planting beds prior to mulching.
 - Seed all disturbed areas on project site except planting beds with Rescue mix.
 - Plant material may not be substituted without approval of Landscape Architect or Architect.

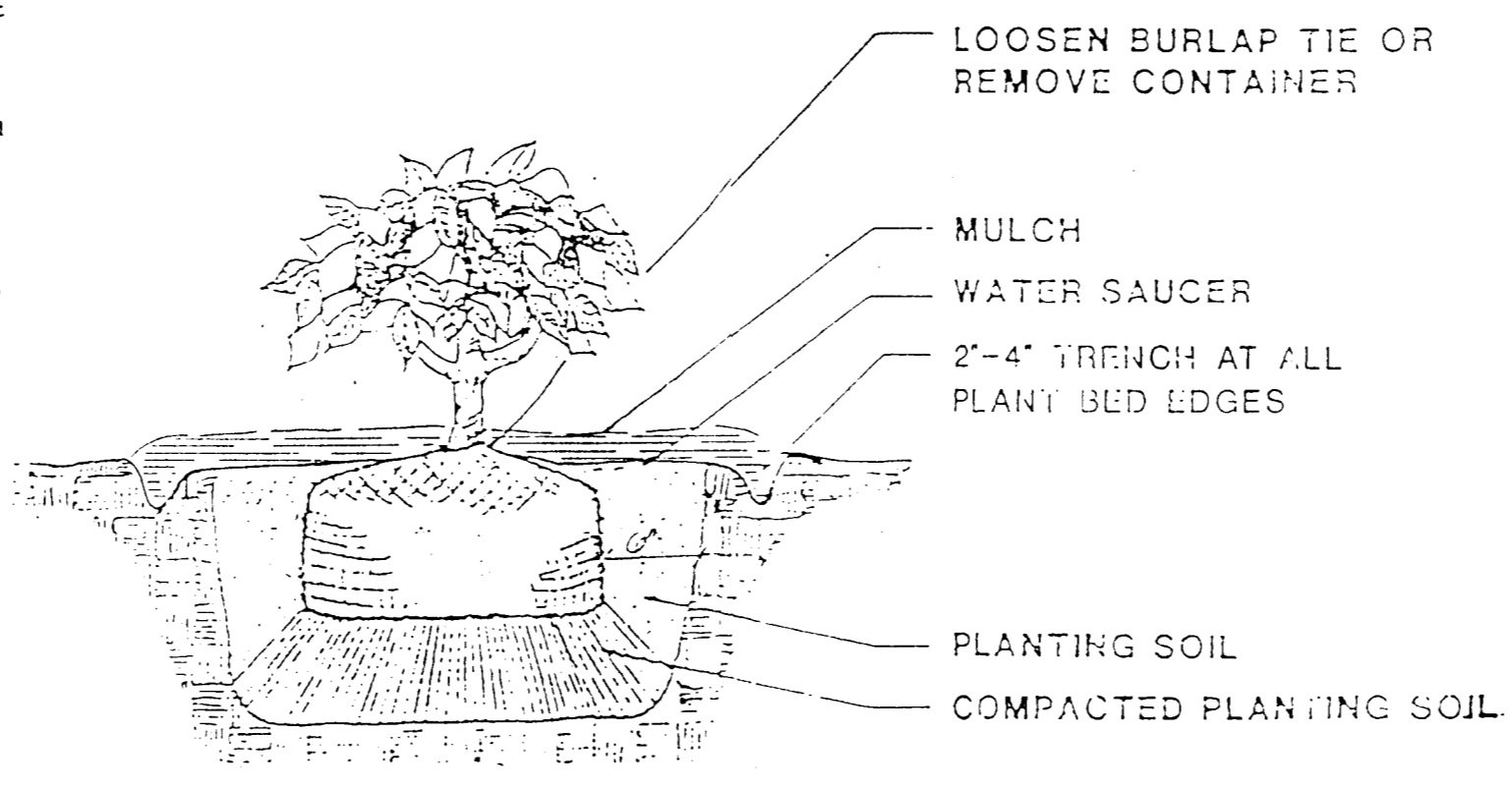
PLANT SCHEDULE

SYMBOL	QTY.	SCIENTIFIC NAME COMMON NAME	CAL.	HGT.	COND.	NOTES
1.1	3	Celtis occidentalis Hackberry	3 1/2"-4"		B&B	
1a	2	Hackberry	4 1/2"-5"		B&B	
2.	1	Carya spp. Hickory	3 1/2"-4"		B&B	
2a.	2	Hickory	4 1/2"-5"		B&B	
3.	2	Quercus rubra Red Oak	3 1/2"-4"		B&B	
3a.	2	Red Oak	4 1/2"-5"		B&B	
4.	1	Quercus alba White Oak	3 1/2"-4"		B&B	
4a.	1	White Oak	4 1/2"-5"		B&B	
27	1	Myrica cerifera Wax Myrtle	6-7'		B&B	
10'	1	Dipsacaceae Eastern Redcedar	16'-10'		B&B	Field Grown Locally
6	1	Pinus virginiana Virginia Pine	8-10'		USB	

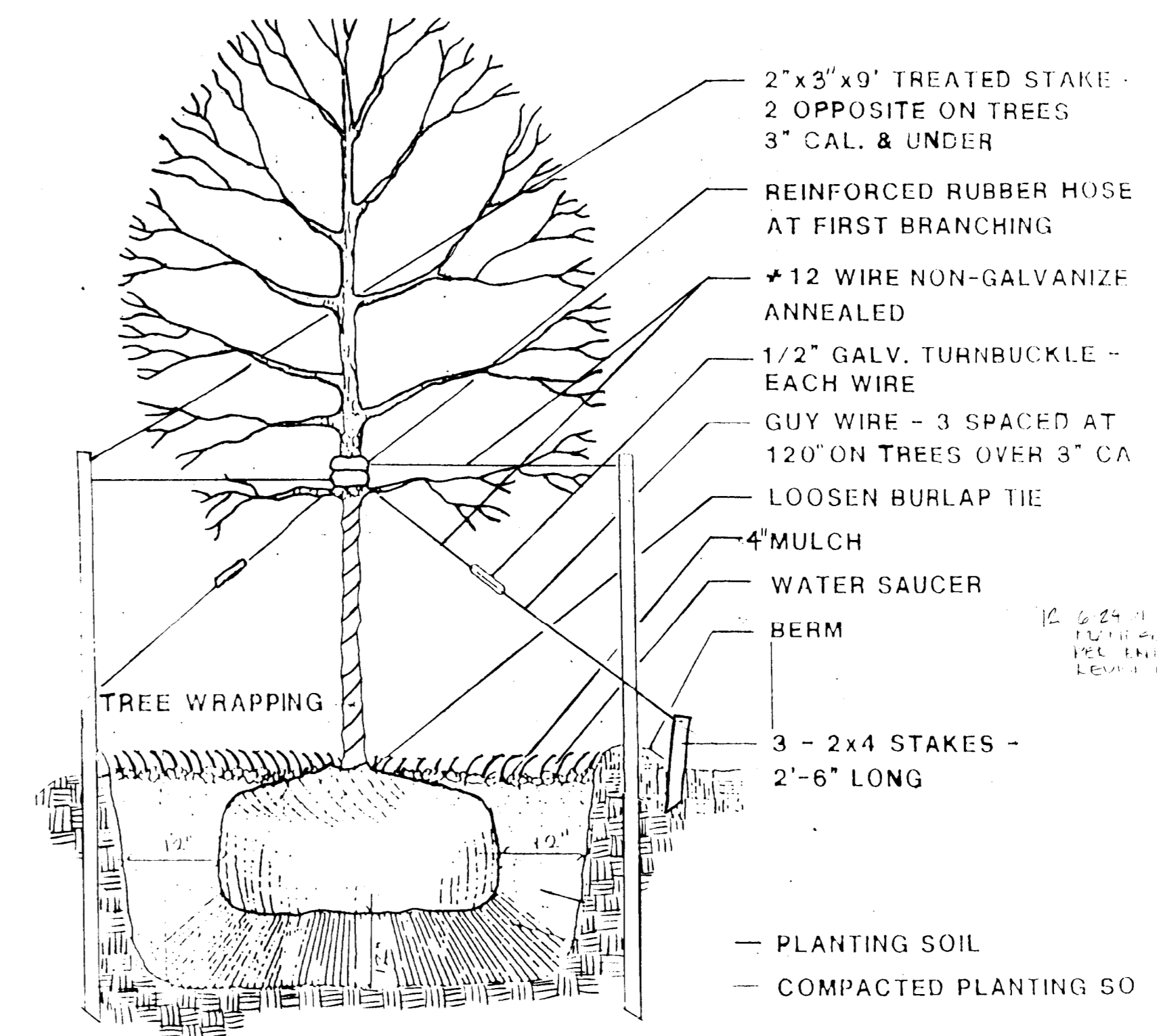
- CONDITIONAL NOTES**
- Existing Trees (Hackberry & Large White Oak)
 - A watering program was initiated Monday, July 1, 1990 as described in the memo from the tree ordinance dept. dated June 28, 1990. The watering program will continue throughout the duration of construction.
 - The undisturbed area for the existing trees will be increased by modifying the road and parking layout as indicated on proposed layout plan.
 - Prior to the restart of construction, a tree barrier equal to the drip line plus 10' will be constructed around these trees and no construction equipment, other than that needed to walls shown on the proposed layout plan and attached detail, shall be allowed within this area. Rough grading surrounding these trees, shall not be completed until the surrounding structural part of the retaining walls have been completed. The tree protection/retaining wall will be field located and constructed as described in detail. During construction of the walls PVC sleeves will be installed for future lighting and irrigation needs to prevent future disturbance of the undisturbed area.
 - No utility lines other than noted will be constructed within the undisturbed area defined by tree protection/retaining walls.
 - Private arborist services will be obtained as soon as possible to initiate a tree fertilization and maintenance program. The arborist service shall submit the fertilization and maintenance program by July 25th for review and approval by the city tree ordinance staff. The program is to continue at a minimum of 12 months after construction completion.
 - Maintenance and fertilization program will be initiated with the administrative approval of the buffer replanting plan.
 - Graded/Cleared Area at Sardis Road
 - All large stumps preventing the spreading of top soil will be removed from the cleared area. A minimum of 8" of new top soil will be evenly spread over the cleared area by a rubber tired tractor and box blade. Only rubber tired equipment will be allowed in this area to minimize compaction.

1 PLANTING PLAN, SCHEDULE & NOTES @ DISTURBED BUFFER AREA
 SCALE: 1"=20'

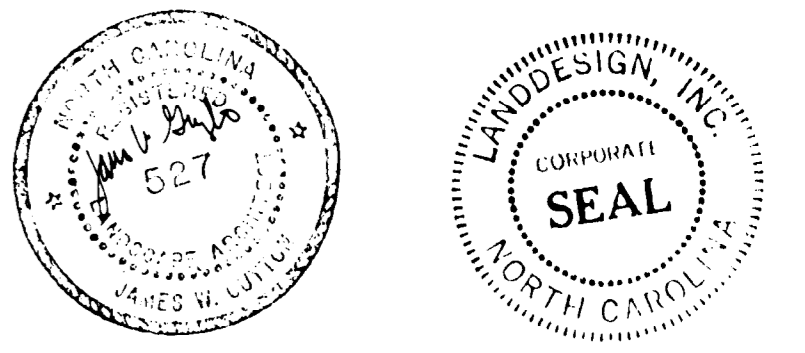
2 SHRUB PLANTING
 NTS



3 TREE PLANTING
 NTS

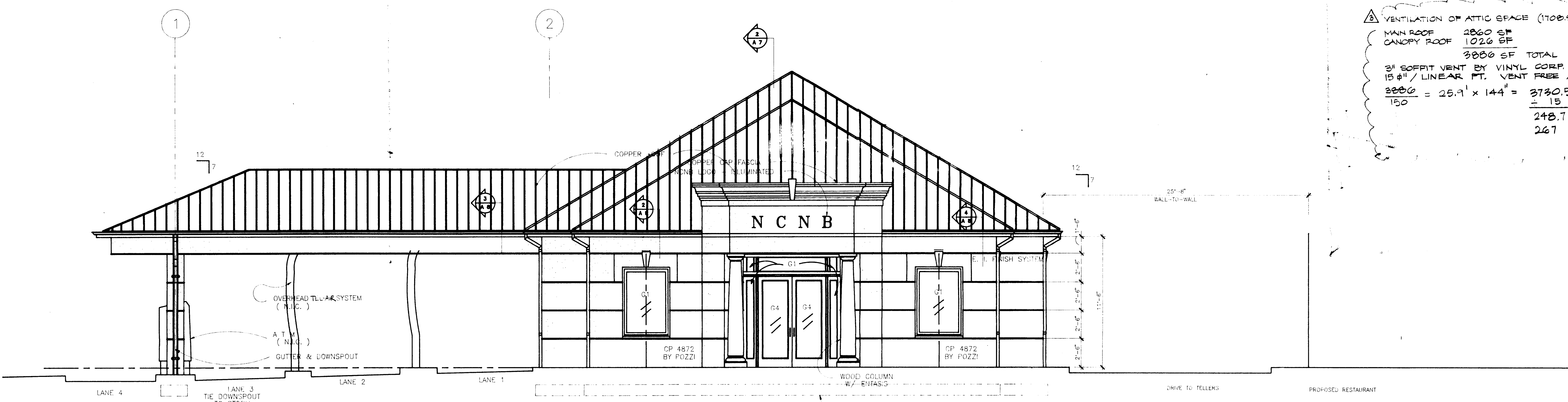


PLANTING SCHEDULE & DETAILS



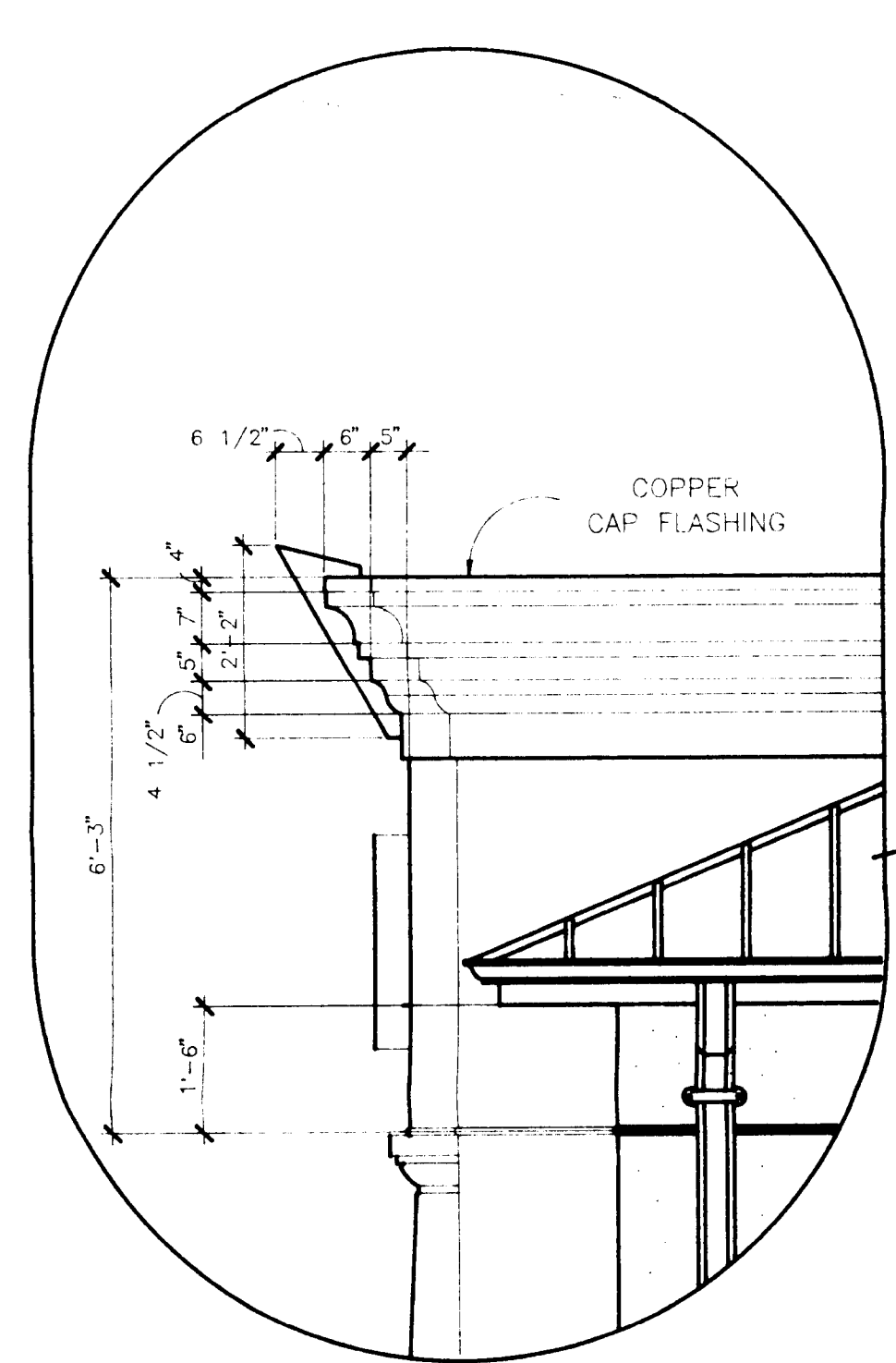
DATE: **APRIL 30, 1990**
 PROJECT NO: **90551**
 REVISIONS:
 1. 5/3/90 RE-USED FOR CITY OF CHARLOTTE RE-USE OF 5/10/90 REVISED PLANT QTY. 2. 5/10/90 REVISED PLANT QTY. 3. 5/10/90 REVISED PLANT QTY. 4. 5/10/90 REVISED PLANT QTY. 5. 5/10/90 REVISED PLANT QTY. 6. 5/10/90 REVISED PLANT QTY. 7. 5/10/90 REVISED PLANT QTY. 8. 5/10/90 REVISED PLANT QTY. 9. 5/10/90 REVISED PLANT QTY.

VENTILATION OF ATTIC SPACE (1100B.1)
 MAIN ROOF 2800 SF
 CANOPY ROOF 1026 SF
 3800 SF TOTAL
 3" SOFFIT VENT BY VINYL CORP. MIAMI, FLA.
 15 #"/LINEAR FT. VENT FREE AREA
 $\frac{3800}{150} = 25.3' \times 144" = 3730.5"$
 $= 15$
 248.7 L.F.T. REQD.
 267 L.F.T. PROV.

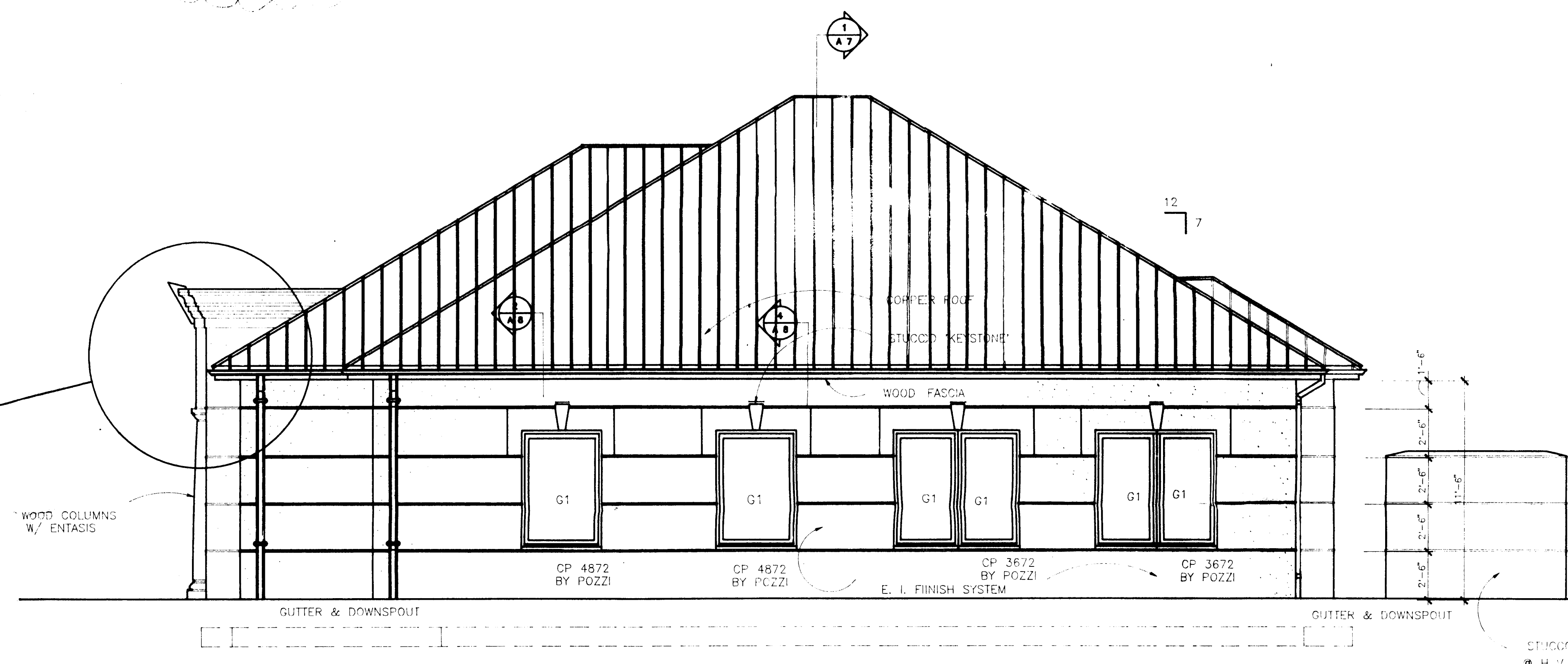


1 FRONT ELEVATION
 A 5 SCALE 1/4" = 1'-0"

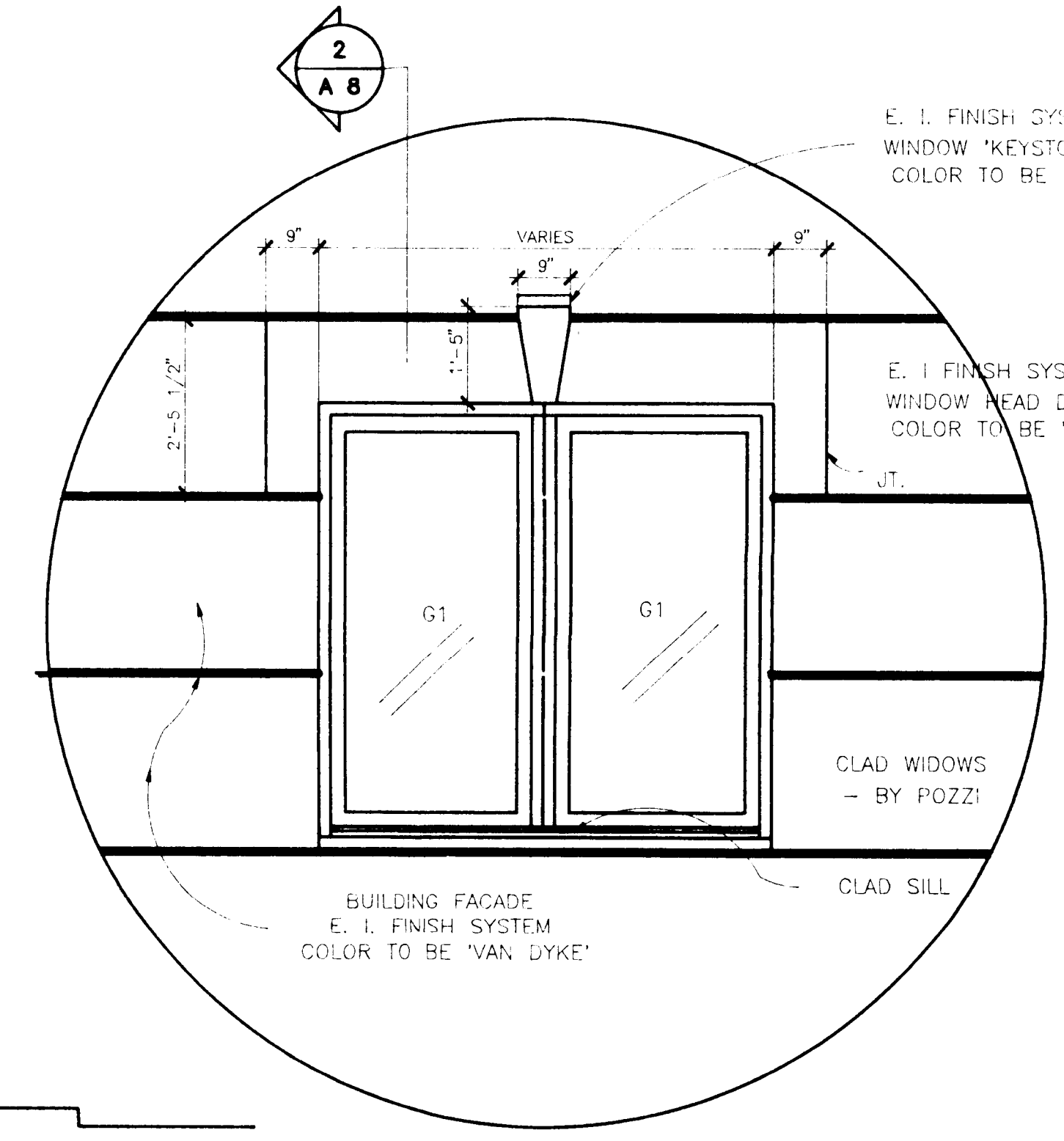
NOTE: ALL WINDOWS TO BE CLAD
 EXTERIOR FINISH COPPER ROOF AND MASON WINDOWS TO COMPLEMENT THOSE USED ON STRAWBERRY HILL CENTER. SIPS ARE TYPICAL W/ CITY OF CHARLOTTE.



3 ENLARGED ENTRY CORNICE
 A 5 SCALE 1/2" = 1'-0"



2 SIDE ELEVATION
 A 5 SCALE 1/4" = 1'-0"



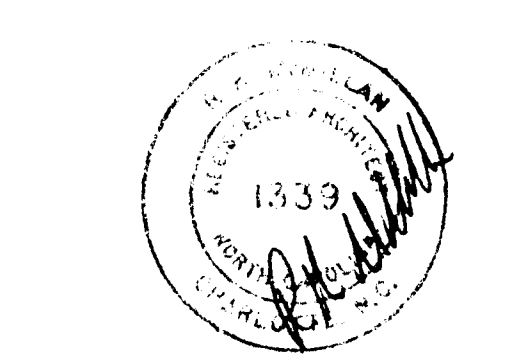
4 ENLARGED WINDOW DETAIL
 A 5 SCALE 1/2" = 1'-0"

attached by administrative approval dated 07/26/91 by Martin R. Cranton, Jr.



Middleton McMillan Architects Inc.

6230 Fairview Road
 Charlotte, North Carolina 28210
 704/364-8660



Job Title
 STRAWBERRY HILL CENTER
 NCNB BANK

CHARLOTTE, NORTH CAROLINA

Sheet Description
 ELEVATIONS

CHARLOTTE-MECKLENBURG PLANNING COMMISSION
 INTER-OFFICE COMMUNICATION

DATE: July 26, 1991

TO: Robert Brandon
 Zoning Administrator

FROM: Martin R. Cranton, Jr.
 Planning Director

SUBJECT: Administrative Approval for Petition #88-34 by Strawberry Hill Associates, Tax Parcel No. 185-121-29, 17. Revision to Bank Elevations

Attached is a revised building elevation for the NCNB bank at the Strawberry Hill Center. The elevation has been revised to add a pitched roof to the bank's elevation. Due to the bank's use of similar materials on the remainder of the building, the building appearance will adequately complement the remainder of the center. Since these changes are minor in nature I am administratively approving this plan. Please use this plan when evaluating requests for building permits.

MRCjr/ROD/sls
 Attachment

