



Charlotte-Mecklenburg Planning, Design, & Development

DATE: January 10, 2019

TO: Donald Moore
Zoning Supervisor

FROM: Taiwo Jaiyeoba
Planning Director

SUBJECT: Administrative Approval for Petition No. 1988-035 Hebron Street Extension Site

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- Site Plan
- Building Elevations

Staff supports of the request because:

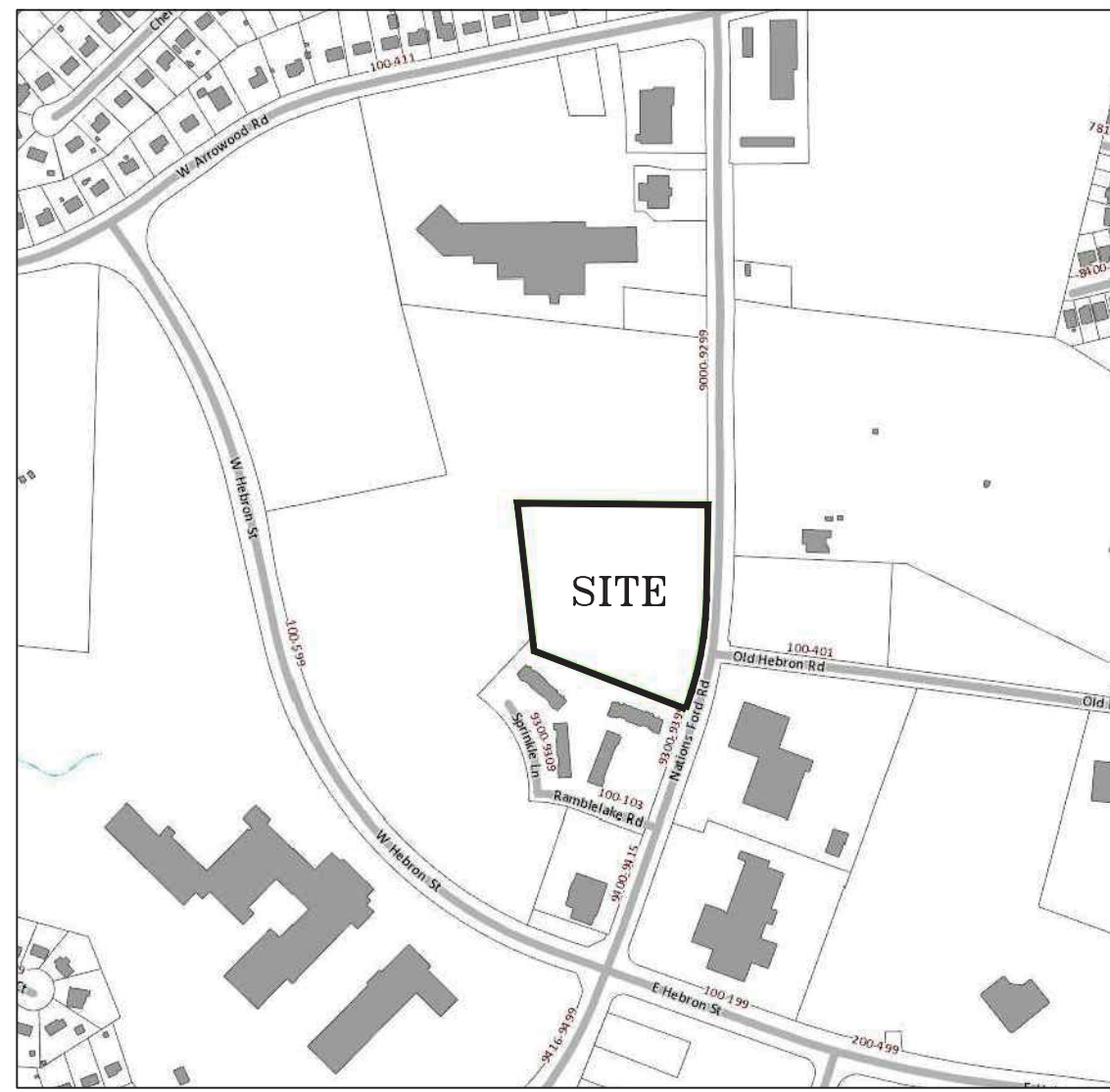
- The site plan complies with the conditional notes and still meets the intent of the original approval by the City Council.

Note: All other Zoning, Subdivision, Tree Ordinances and conditional requirements still apply.

NATIONS FORD WAREHOUSE

NATIONS FORD ROAD

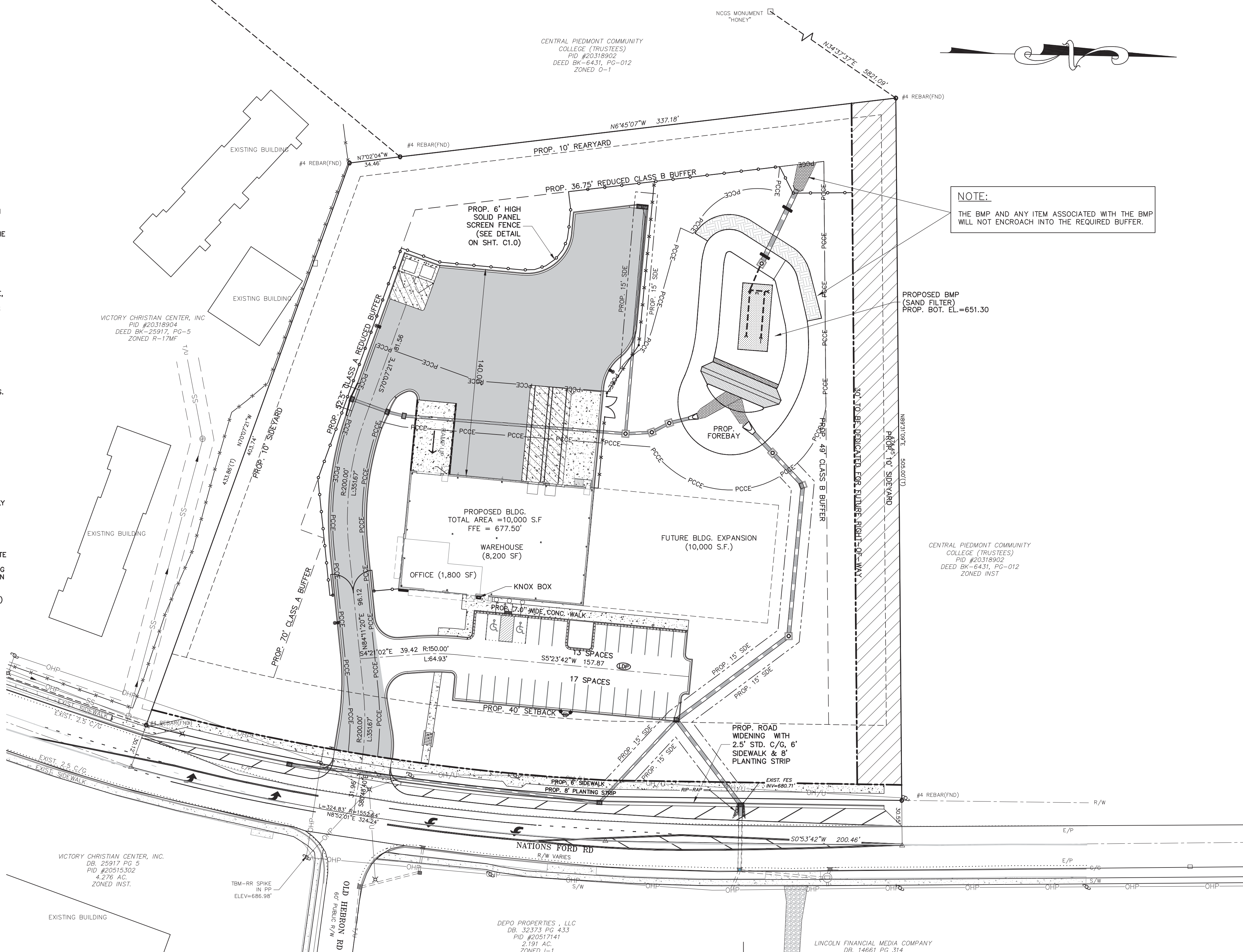
CHARLOTTE, NORTH CAROLINA



VICINITY MAP: N.T.S.

NOTES FROM APPROVED PETITION DATED 7/18/88:

- ALL DEVELOPMENT STANDARDS OF B-1(CD), B-D(CD), AND O15(CD) DISTRICTS AS SET FORTH IN THE CITY OF CHARLOTTE ZONING ORDINANCE SHALL BE MET.
- SPECIAL CARE SHALL BE TAKEN TO PROVIDE A HIGH QUALITY COORDINATED DEVELOPMENT WITH THE EMPHASIS ON LANDSCAPE, BUILDING ARCHITECTURE, AND SITE ARRANGEMENT DESIGN. THE CHARACTER OF BUILDINGS IN THIS DEVELOPMENT WILL ENHANCED THROUGH THE USE OF PITCHED ROOFS, AWNINGS, DECORATIVE WINDOWS, ETC. AS WELL AS RICH MATERIALS SUCH AS BRICK, STUCCO, TILE, ETC. FINAL SITE PLANS FOR THE INDIVIDUAL DEVELOPMENT AREAS SHALL BE DESIGNED TO MINIMIZE LARGE PARKING AREAS. PARKING AREAS SHALL HAVE A MINIMUM OF 10% DEVOTED TO LANDSCAPING. LANDSCAPE AREAS AROUND BUILDINGS SHALL ALSO BE PROVIDED.
- BUFFERING AND/OR SCREENING SHALL CONFORM TO THE CITY OF CHARLOTTE ZONING ORDINANCE, AND THE CITY OF CHARLOTTE TREE ORDINANCE REQUIREMENTS EFFECTIVE JULY 1, 1988. STREET TREES SHALL BE PLANTED ALONG ALL PUBLIC AND PRIVATE STREETS WITHIN AND ADJOINING THIS DEVELOPMENT. TREES WILL BE INSTALLED IN CONJUNCTION WITH THE DEVELOPMENT OF EACH PARCEL.
- BUILDINGS SHALL MEET OR EXCEED THE REQUIRED SETBACKS, REAR YARDS AND SIDE YARDS ESTABLISHED IN THE CITY OF CHARLOTTE ZONING ORDINANCE. (NO PARKING SHALL BE ALLOWED WITHIN THE SETBACKS, SIDE YARDS AND REAR YARDS.)
- ALL SIGNAGE PROVIDED IN ACCORDANCE WITH THE CITY OF CHARLOTTE ZONING ORDINANCE REQUIREMENTS EXCEPT THAT BILLBOARDS SHALL NOT BE PERMITTED.
- SPECIAL EMPHASIS SHALL BE GIVEN TO THE DESIGN AND CONSTRUCTION OF PROJECT ENTRANCES. SPECIAL FEATURES WILL INCLUDE SUCH THINGS AS LANDSCAPE MEDIANS, COORDINATED SIGNAGE MONUMENTS, SPECIAL PAVING, ETC.
- PARKING SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CITY OF CHARLOTTE ZONING ORDINANCE.
- PEDESTRIAN PATHWAYS WILL BE PROVIDED BETWEEN OFFICE AND RETAIL USES.
- VEHICULAR ACCESS POINTS ARE LIMITED TO THOSE SHOWN ON THE PLAN. CONFIGURATION OF DRIVEWAYS AND ACCESS POINTS ARE SUBJECT TO MINOR MODIFICATIONS AS NECESSARY TO ACCOMMODATE FINAL SITE AND ARCHITECTURAL CONSTRUCTIONS PLAN.
- DEVELOPER WILL DEDICATE R.O.W. AND CONSTRUCT HEBRON STREET EXTENSION TO CITY OF CHARLOTTE STANDARD PURSUANT TO AN AGREEMENT BETWEEN THE PETITIONER AND THE CITY OF CHARLOTTE. A PERMANENT 5' FT. SIDEWALK AND UTILITY EASEMENT WILL BE PROVIDED IMMEDIATELY OUTSIDE OUTSIDE OF BOTH SIDES OF HEBRON STREET EXTENSION R.O.W.
- SITE DEVELOPMENT SHALL COMPLY WITH THE CITY OF CHARLOTTE STORMWATER DETENTION ORDINANCE.
- THIS SITE PLAN IS INTENDED TO SHOW ONLY GENERAL DEVELOPMENT CHARACTER. MINOR MODIFICATIONS TO THE CIRCULATION AND BUILDING LIMIT LINES MAYBE REQUIRED TO ACCOMMODATE FINAL ARCHITECTURAL AND SITE DESIGN AND TO ADJUST TO OTHER SITE FEATURES. SUCH MODIFICATIONS MAYBE APPROVED ADMINISTRATIVELY BY THE PLANNING COMMISSION STAFF AS LONG AS THE OVERALL INTENT OF THIS PLAN, AND THE INTERNAL AND EXTERNAL RELATIONSHIPS SHOWN HERE AR MAINTAINED.
- PERMITTED PROPERTY USES: ALL THOSE ALLOWED UNDER THE B-1(CD), B-D(CD), AND O-15(CD) ZONING ORDINANCE.



NOTE:
THE BMP AND ANY ITEM ASSOCIATED WITH THE BMP WILL NOT ENCRACH INTO THE REQUIRED BUFFER.

PROPOSED BMP (SAND FILTER)
PROP. BOT. EL.=651.30

CENTRAL PIEDMONT COMMUNITY COLLEGE (TRUSTEES)
PID #20318902
DEED BK-6431, PG-012
ZONED INST

VICTORY CHRISTIAN CENTER, INC.
DB, 25917 PG 5
PID #20513102
4.276 AC.
ZONED INST.

DEPO PROPERTIES - LLC
DB, 32373 PG 433
PID #20517141
2.191 AC.
ZONED 1-1

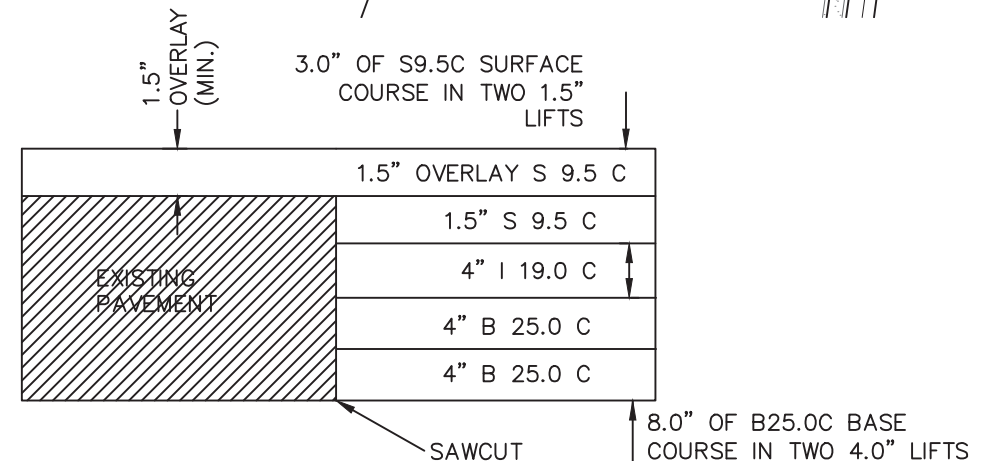
LINCOLN FINANCIAL MEDIA COMPANY
DB, 14661 PG 314
PID #20517109
19.04 AC.
ZONED R-17MF

Attached to Administrative Approval

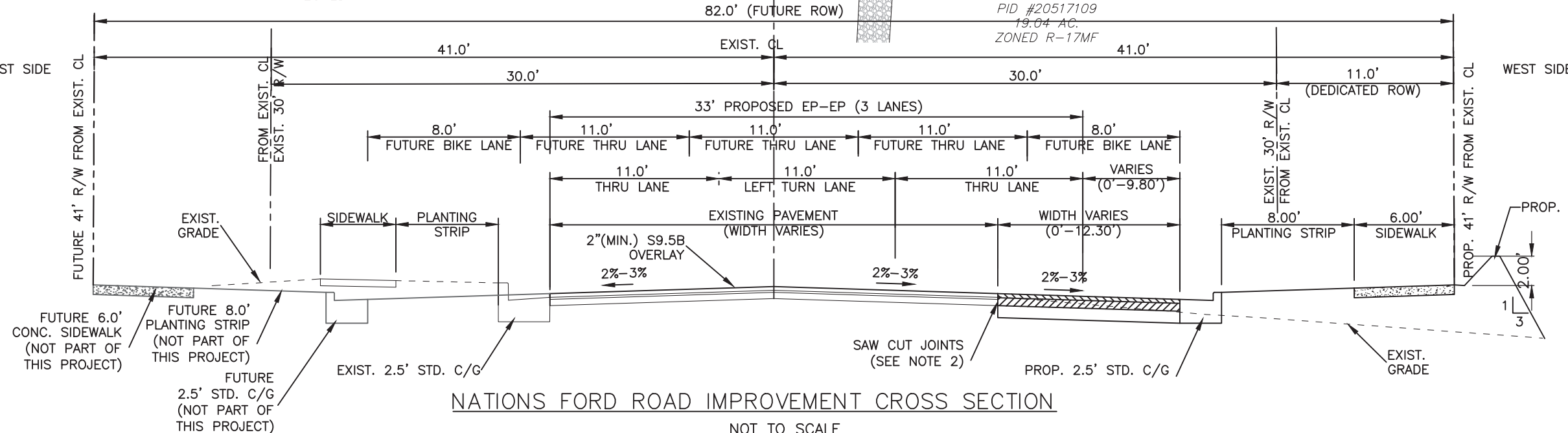
Solomon A. Fortune
Solomon A. Fortune



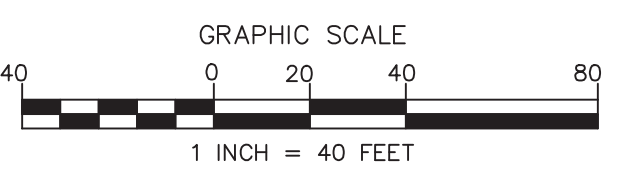
THE EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND SHOULD NOT BE RELIED UPON AS THE EXACT LOCATION OR A COMPLETE INVENTORY WHEN PERFORMING SITE EXCAVATION. PRIOR TO COMMENCEMENT OF ANY EXCAVATION, CONTACT 811 OR A PRIVATE UTILITY LOCATOR AS NEEDED TO VERIFY THE LOCATIONS AND EXISTENCE OF EXISTING UTILITIES.



NATIONS FORD ROAD PAVING SPEC.
EXISTING PAVEMENT TO BE RESURFACED, SUBGRADE TO BE REPAIRED AS NECESSARY AND NEW PAVEMENT TO BE INSTALLED ACCORDING TO THIS PAVING SPECIFICATION.



NATIONS FORD ROAD IMPROVEMENT CROSS SECTION
NOT TO SCALE



| NO. | BY | DATE | REVISION |
|-----|-----|----------|----------------------|
| 1 | REB | 01/03/19 | REVISED PER COMMENTS |

DEVELOPMENT DATA

PROJECT NAME: NATIONS FORD WAREHOUSE
OWNER/AGENT: DEPO PROPERTIES, LLC

JURISDICTION: CITY OF CHARLOTTE
BD-CD PETITION NO. 1988-035 (ORIGINAL) / RZAMM-2018-00062 (ADMIN AMENDMENT)

PROPOSED USE: OFFICE (±1,800 SF) & WAREHOUSE (±8,200 SF)
TAX PARCEL #: 20318905 LOT SIZE: 4.78 ACRES

CURRENT LAND USE: VACANT AND UNIMPROVED
WATERSHED: SUGAR

MAX. BUILDING HEIGHT ALLOWED: 40' STORIES: 1
BUILDING HEIGHT FROM FFE: 30'-4"
BUILDING HEIGHT (FROM AVE. GRADE LINE): 32'-4"
PROP. GROSS FLOOR AREA: 10,000 SQ. FEET (PER BUILDING PLANS)

BUILDING TYPE: COMMERCIAL LOT TYPE: COMMERCIAL
PROPOSED BUA: 79,628/1,828 SQ. FEET/ACRES
FLOOR AREA RATIO: (10,000 SF)/(218,217 SF) = 0.0458
FUTURE FLOOR AREA RATIO: (10,000 SF)/(208,217 SF) = 0.0458
TOTAL FLOOR AREA RATIO: 0.0916 ; ALLOWED FLOOR AREA RATIO: 0.70

YARD REQUIREMENTS:
SETBACK (FRONT): 40 FT. FROM R/W
SIDE YARD (L): 10 FT. SIDE YARD (R): 10 FT.
REAR YARD: 10 FT.

REQUIRED SCREENING:
SIDE (L): NO YES REAR: NO YES
SIDE (R): NO YES
PARKING: NO YES LOADING DOCKS: NO YES
DUMPSTER: NO YES UTILITY AREAS: NO YES

PROPOSED NO. OF PHASES: ONE(1)
ALL SIGNAGE WILL BE APPROVED AND PERMITTED SEPERATELY BY THE CITY OF CHARLOTTE. ALL LIGHTING SHALL BE IN ACCORDANCE WITH ARTICLE 8.26 OF THE ORDINANCE.

PARKING REQUIRED: 0.25 SPACES / 1,000 S.F. WAREHOUSE AREA
1 SPACES / 400 S.F. OFFICE AREA
WAREHOUSE = 8,200 / 1,000 X 0.25 = 2 SPACES
OFFICE AREA = 1,800 / 400 = 5 SPACES

PARKING REQUIRED (FOR FUTURE BLDG.): 0.25 SPACES / 1,000 S.F. WAREHOUSE AREA
1 SPACES / 400 S.F. OFFICE AREA
FUTURE WAREHOUSE = 8,200 / 1,000 X 0.25 = 2 SPACES
FUTURE OFFICE AREA = 1,800 / 400 = 5 SPACES

TOTAL PARKING REQUIRED (INCL. FUTURE): **14 TOTAL SPACES**

PARKING PROVIDED: **30 TOTAL SPACES**

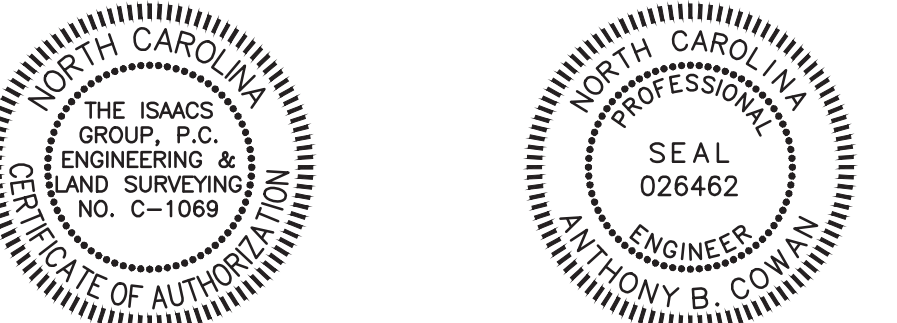
ADA PARKING REQUIRED: 1 ADA STALLS; 1 VAN ACCESSIBLE
ADA PARKING PROVIDED: **2 ADA STALLS; 1 VAN ACCESSIBLE**

GENERAL NOTES:

- THIS MAP IS NOT A CERTIFIED SURVEY. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY THE ISAACS GROUP, P.C. THE PHYSICAL AND TOPOGRAPHIC DATA PROVIDED IN THESE DRAWINGS HAS BEEN COMPILED BY THE ISAACS GROUP AND THE ENGINEER OF RECORD IN SUPPORT OF THIS PROJECT AND CANNOT BE RELIED UPON BY OTHERS.
- THE EXISTING UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN AND THE UTILITIES SHOWN ON THIS PLAN MAY NOT BE IN THE EXACT LOCATIONS AS SHOWN. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN OR ANY OMISSIONS IN SHOWING EXISTING UTILITIES THAT MAY BE WITHIN THE PROJECT AREA. THE CONTRACTOR IS 100% RESPONSIBLE FOR UTILIZING A PRIVATE LOCATOR AND APPROPRIATE UTILITY COMPANIES TO LOCATE THE SIZE, LOCATION, INVERTS, DEPTHS AND EXISTENCE OF ALL EXISTING UTILITIES (ELECTRICAL, MECHANICAL, WATER, TELEPHONE, FIBER OPTIC, GAS, ETC.) TO HIS/HER SATISFACTION PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN; THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- PROVIDE MINIMUM OF 48 HOUR NOTICE TO OWNER OR REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY EXISTING UTILITY, IF BEING UTILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION & PROTECTION OF EXISTING ABOVE AND BELOW GROUND UTILITIES AND STRUCTURES. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY IN SERVICE WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE UTILITY OWNER. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY NOT IN SERVICE AND WHICH ARE TO BE REPLACED DURING THE COURSE OF CONSTRUCTION MAY BE REMOVED AND LEGALLY DISPOSED OF IF DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES.
- HANDICAP SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH A.D.A STANDARDS AT H/C PARKING SPACES SHOWN.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, DEMOLITION, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION, SPECIAL USE, SEWER AND WATER.

SHEET INDEX:

- C0.0 COVER SHEET
- C1.1 SITE PLAN
- C1.2 LANDSCAPE PLAN
- C2.0 UTILITY PLAN
- A1-A3 BUILDING ELEVATIONS



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FINAL DRAWING FOR REVIEW PURPOSES ONLY

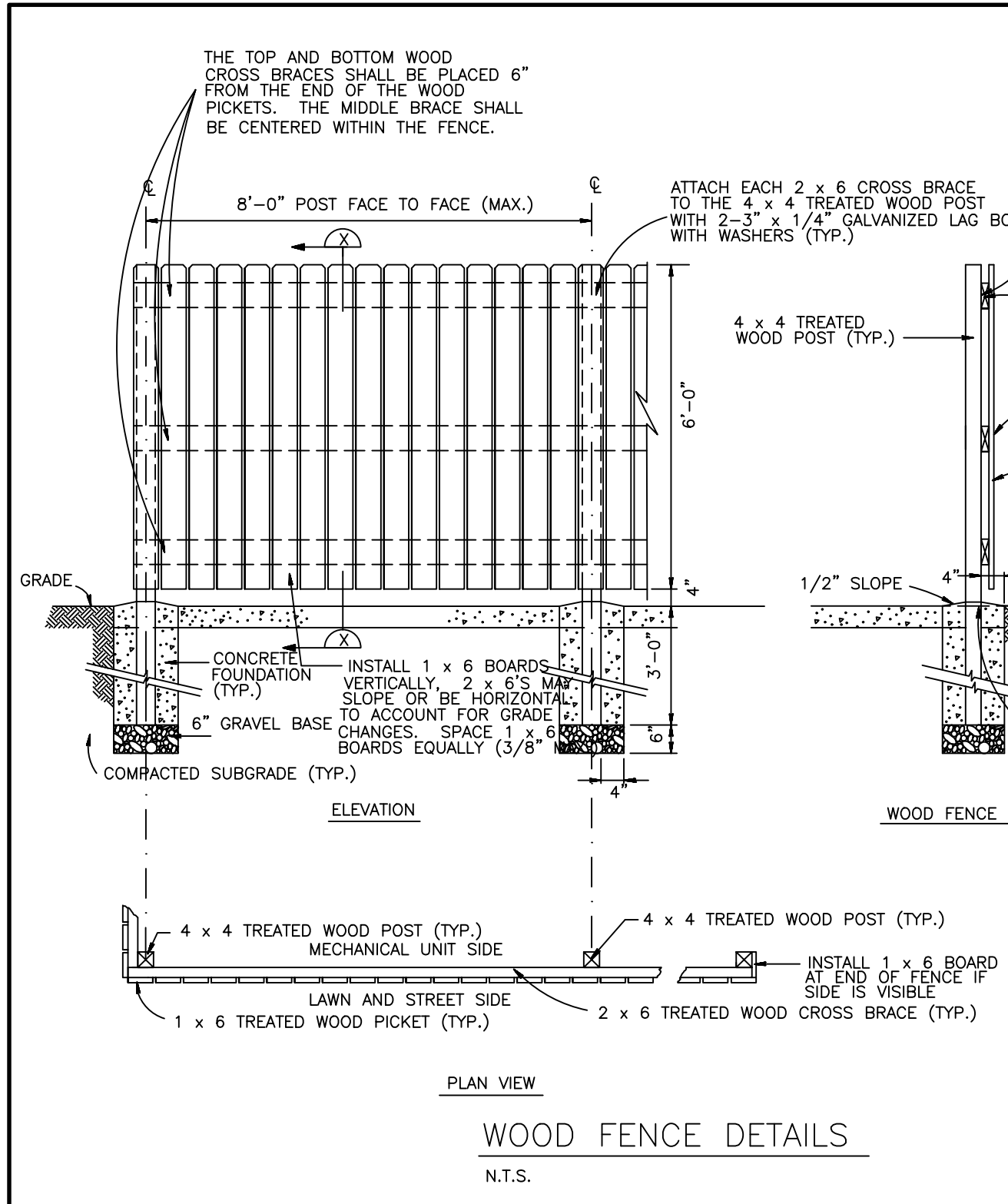
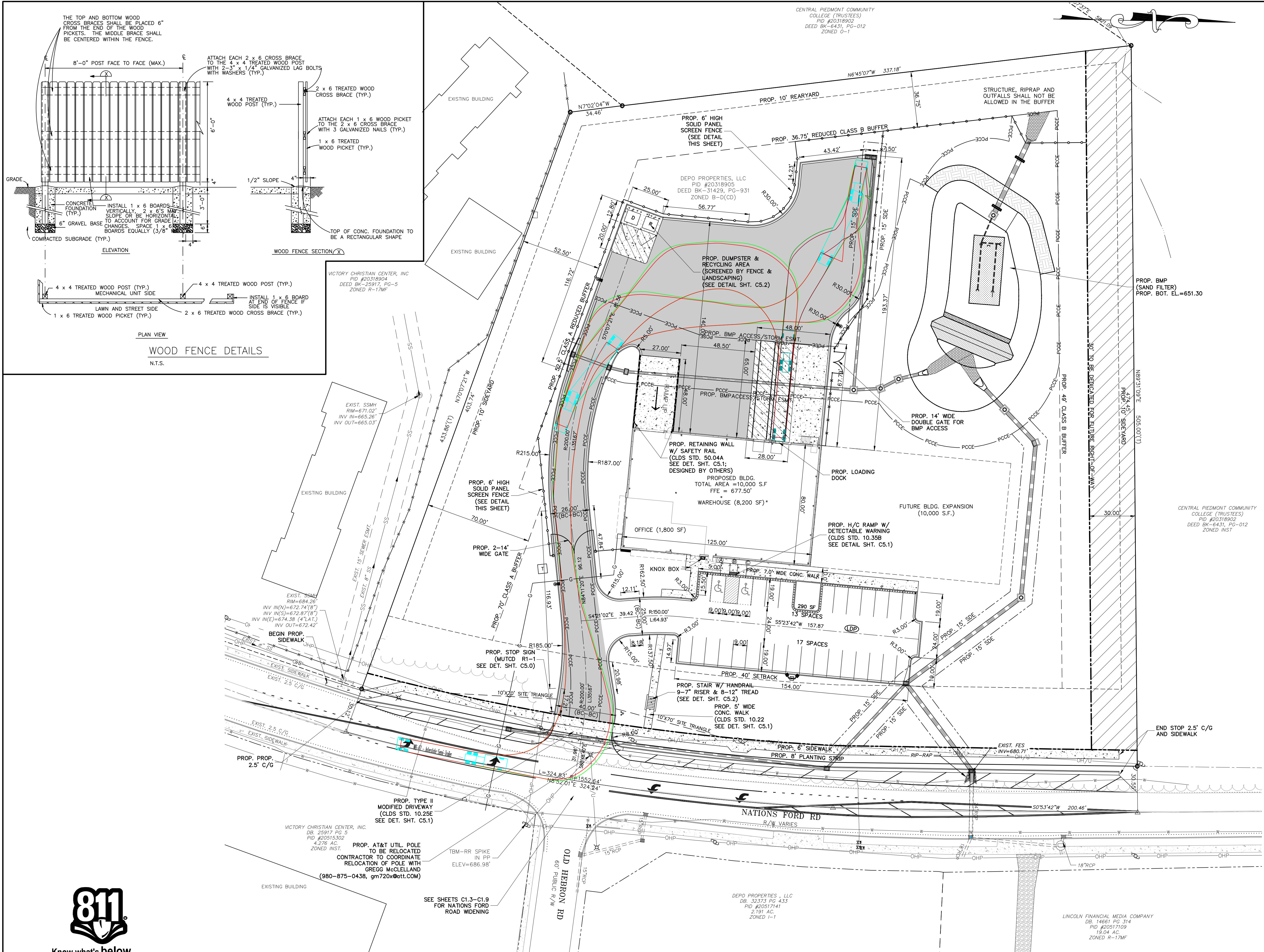
Project: **NATIONS FORD WAREHOUSE**
CHARLOTTE, NORTH CAROLINA

Title: **COVER SHEET**

File #: 17175-PB.DWG Date: 11/04/17 Project Egn: ABC
 Design By: ABC
 Drawn By: REB
 Scale: 1"=40'

8720 RED OAK BOULEVARD, SUITE 420
CHARLOTTE, N.C. 28217
PHONE (704) 527-3440 FAX (704) 527-8335

C0.0



SIGN SCHEDULE

SEE SHEET C5.1 FOR TYPICAL SIGN INSTALLATION DETAIL AND CLDSM STD. DETAIL 50.10A.

VAN ACCESSIBLE HANDICAPPED PARKING SIGN (MUTCD R7-8, R7-8P, & CLDSM 50.10C)

"NO PARKING ANY TIME" (MUTCD R7-1)

HANDICAPPED PARKING SIGN (MUTCD R7-8 & CLDSM 50.10C)

PARKING REQUIRED: 0.25 SPACES / 1,000 S.F. WAREHOUSE AREA
 1 SPACES / 400 S.F. OFFICE AREA
 WAREHOUSE = 8,200 / 1,000 X 0.25 = 2 SPACES
 OFFICE AREA = 1,800 / 400 = 5 SPACES

PARKING REQUIRED (FOR FUTURE BLDG.): 0.25 SPACES / 1,000 S.F. WAREHOUSE AREA
 1 SPACES / 400 S.F. OFFICE AREA
 FUTURE WAREHOUSE = 8,200 / 1,000 X 0.25 = 2 SPACES
 FUTURE OFFICE AREA = 1,800 / 400 = 5 SPACES

TOTAL PARKING REQUIRED (INCL. FUTURE): 14 TOTAL SPACES

PARKING PROVIDED: 30 TOTAL SPACES

ADA PARKING REQUIRED: 1 ADA STALLS; 1 VAN ACCESSIBLE

ADA PARKING PROVIDED: 2 ADA STALLS; 1 VAN ACCESSIBLE

LEGEND:

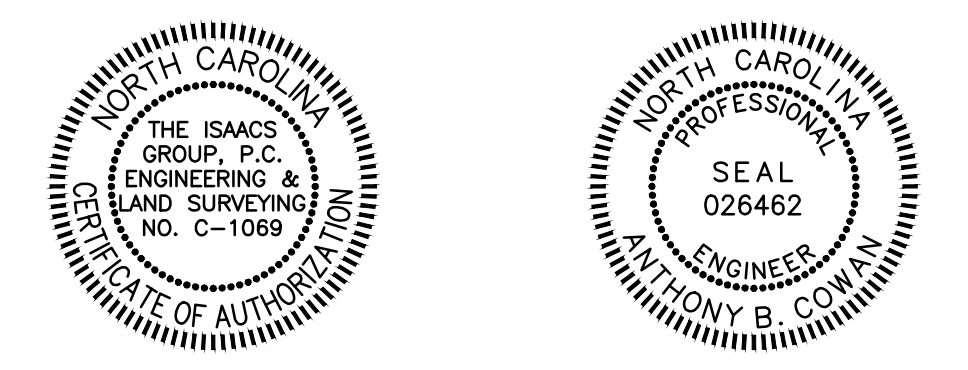
- EXIST. R/W
- EXISTING OVERHEAD POWER
- EXISTING STORM DRAINAGE PIPE
- EXISTING CREEK
- ⊙ EXISTING SANITARY MANHOLE
- ⊕ EXISTING FIRE HYDRANT
- EXISTING GAS LINE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING TREE LINE
- EXIST. STREAM TOP OF BANK
- PROPOSED RIGHT OF WAY
- Ⓛ (LDP) PROPOSED ASPHALT (LIGHT DUTY PAVEMENT)
- ▒ PROPOSED ASPHALT (HEAVY DUTY PAVEMENT)
- ▨ PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- ▤ PROPOSED CONCRETE SIDEWALK/PAVEMENT
- VEGETATED BUFFER
- PROP. STORM DRAINAGE PIPE
- STANDARD CURB AND GUTTER (SEE SHEET C3.0 FOR DETAIL)
- REVERSE CURB AND GUTTER (SEE SHEET C3.0 FOR DETAIL)
- PROPOSED LIGHT POLE

FLOOD CERTIFICATION

THIS IS TO CERTIFY THE PROPERTY SHOWN ON THIS PLAT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, COMMUNITY NUMBER 371045-3000-L, DATED SEPTEMBER 2, 2015.

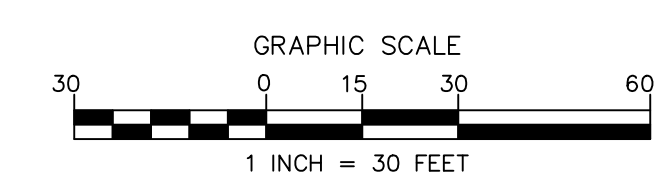
NOTE:

THE BMP AND ANY ITEM ASSOCIATE WITH THE BMP WILL NOT ENCRACH INTO THE REQUIRED BUFFER.



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FINAL DRAWING FOR REVIEW PURPOSES ONLY



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Project: NATIONS FORD WAREHOUSE
 9200 NATIONS FORD RD., CHARLOTTE, NORTH CAROLINA

Title: SITE PLAN

File #: 17175-PB-DWG Date: 11/04/17 Project Egr: ABC
 Design By: ABC
 Drawn By: RER
 Scale: 1"=30'

8720 RED OAK BOULEVARD, SUITE 420
 CHARLOTTE, N.C. 28217
 PHONE (704) 527-3440 FAX (704) 527-8335

C1.1



THE EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND SHOULD NOT BE RELIED UPON AS THE EXACT LOCATION OR A COMPLETE INVENTORY WHEN PERFORMING SITE EXCAVATION. PRIOR TO COMMENCEMENT OF ANY EXCAVATION, CONTACT 811 OR A PRIVATE UTILITY LOCATOR AS NEEDED TO VERIFY THE LOCATIONS AND EXISTENCE OF EXISTING UTILITIES.

CITY OF CHARLOTTE TREE PLANTING REQUIREMENTS:

PERIMETER TREE REQUIREMENTS:

Show linear feet of road frontage along public maintained right-of-way, including driveways. Calculate one large maturing tree every 40 linear feet or fraction thereof, or if overhead power is present, one small maturing tree every 30 feet or fraction thereof.

Street: NATIONS FORD ROAD / 511 LFT = 17 trees required/ 17 SMT trees provided

If overhead distribution power lines exist, only small maturing trees are allowed within 25ft. of lines.

INTERNAL TREE REQUIREMENTS:

One tree per 10,000 sq.ft. of impervious area or fraction thereof. All parking spaces to be within 40 feet of a tree (for suburban sites with 10' minimum width linear island between parking rows). Minimum landscape area as a percentage of entire site is 10% for new sites and 5% for renovated sites.

Calculations: Total Site Area (Entire site) = 208,217 sq.ft. Impervious area = 113,423 sq.ft. (54.47%) Landscape area = 94,794 sq.ft. (45.53%)

(*) Internal tree requirement: Impervious area/10,000 = 11.34 ~ 12 trees required/ 12 trees provided.

TREE SAVE AREA (TSA) REQUIREMENTS:

A minimum 15 percent of the overall commercial site must be preserved as tree save area (Unless the site falls under one of the exceptions).

Site Zoning: BD-C2 : Calculations: Total Site Area (Entire site) = 4.78 (208,217) acres (sq.ft.) Total Tree Save Area Required (15%) = 0.717 (31,233) acres (sq.ft.) Tree Save Area Provided On-Site = 32,984 sq.ft. (15.84%)

TOPSOIL / PLANTING MIX REQUIREMENTS:

1. WHERE PAVEMENT CUTOUPS ON RENOVATED SITES ARE REQUIRED AND/OR WHERE NEW PLANTING STRIPS OR ISLANDS ARE REQUIRED, ALL PAVEMENT, CONSTRUCTION DEBRIS AND GRAVEL SUB-BASE MUST BE REMOVED BEFORE PREPARING SOIL AND PLANTING TREES. EXISTING COMPACTED SOIL MUST BE REMOVED AND REPLACED WITH 2" OF TOPSOIL/PLANTING MIX OR EXISTING SOIL MAY BE UNCOMPACTED TO A DEPTH OF 24" AND AMENDED TO MEET TOPSOIL STANDARDS FOR THE ENTIRE PLANTING AREA.

2. SOIL IN ALL PLANTING STRIPS OR ISLANDS, WHETHER EXISTING OR NEW (ON NEW OR RENOVATED SITES), MUST MEET THE MINIMUM TOPSOIL/PLANTING MIX SPECIFICATIONS. SOIL AMENDMENTS OR FRESH TOPSOIL/PLANTING MIX ARE OFTEN NEEDED FOR PLANTING AREAS AT SITES WHERE ORIGINAL TOPSOIL IS OF POOR QUALITY, HEAVILY COMPACTED OR WHERE TOPSOIL HAS BEEN COMPLETELY REMOVED DURING GRADING.

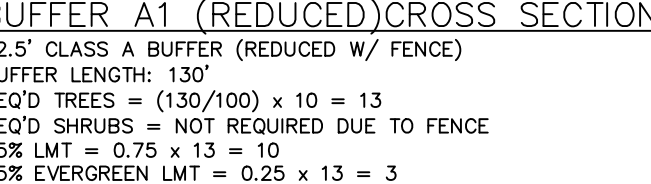
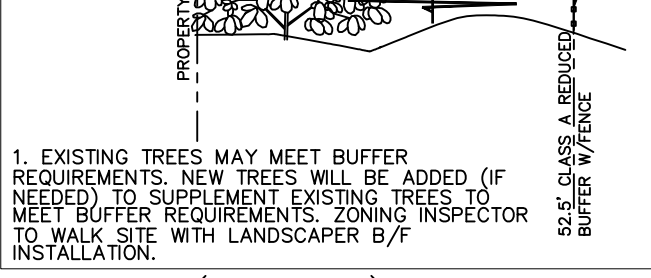
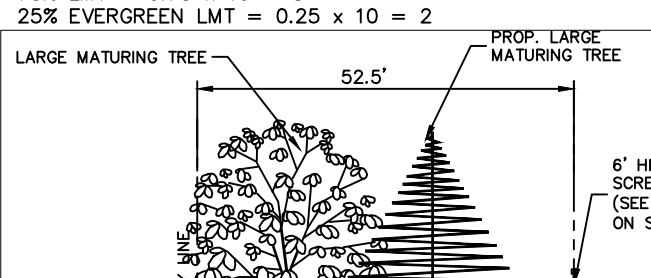
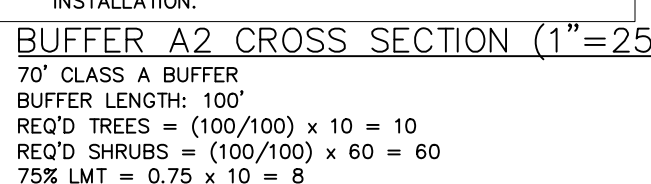
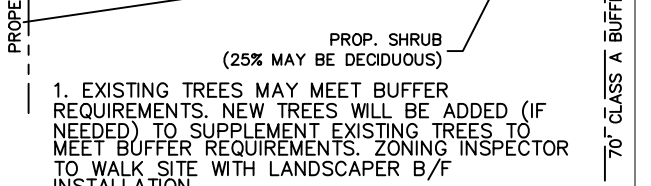
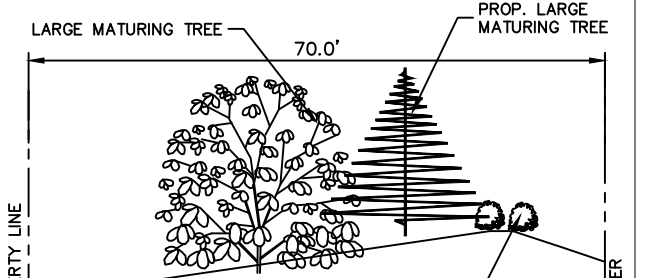
3. TOPSOIL/PLANTING MIX SHOULD BE NATURAL, FERTILE, AGRICULTURAL SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHOULD BE UNIFORM COMPOSITION THROUGHOUT WITH ADJUSTMENT OF SUBSOIL. IT SHOULD BE FREE OF STONES, LUMPS, LIVE PLANTS AND THEIR ROOTS, SAND AND OTHER EXTRANEOUS MATTER. TOPSOIL SHOULD NOT BE USED WHILE IN A FROZEN OR MUDDY CONDITION.

4. TOPSOIL/PLANTING MIX - SHALL HAVE AN ACIDITY RANGE OF PH 5.5 - 7.0 AND THE FOLLOWING COMPOSITION:

Table with 2 columns: Component and Percentage. Rows include Clay (Red Clay, Well Pulverized), Compost/Organics, Silt, Coarse Sand (Free of Rocks, 0.5-1.0 mm), Calcium, Magnesium, Potassium, and Organic material such as sandust or leaf mold.

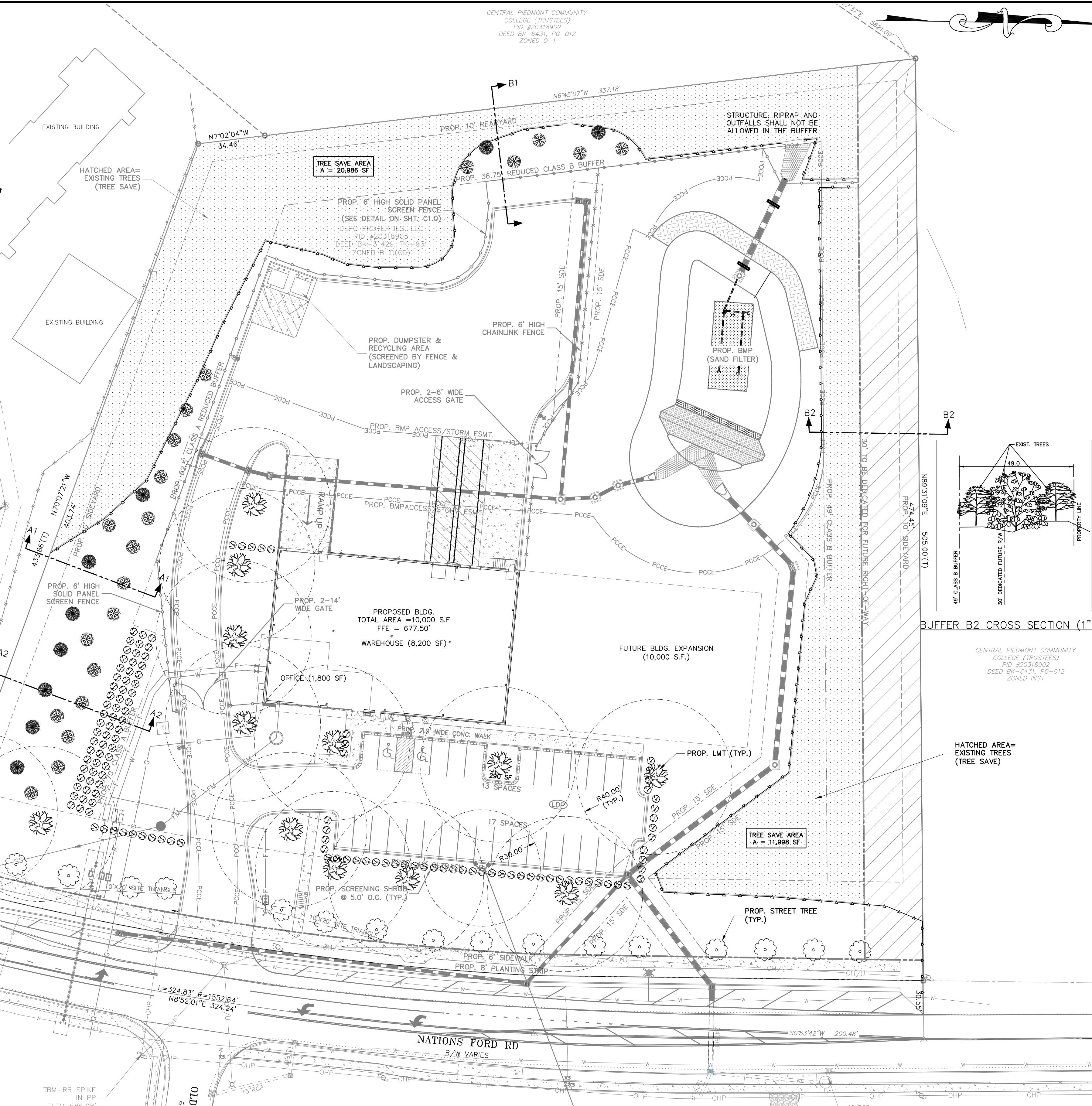
5. ALL PLANTING AREAS SHOULD BE TESTED FOR PROPER DRAINAGE. DRAINAGE SHOULD BE CORRECTED AS NECESSARY TO INSURE PROPER TREE GROWTH AND SURVIVAL. THE FOLLOWING LEVEL NUTRIENT ELEMENTS IS RECOMMENDED FOR PROPER GROWTH:

Table with 2 columns: Element and Percentage. Rows include Calcium (55-80%), Magnesium (10-30%), and Potassium (5-5%).



INTERNAL/PARKING LOT PLANTING LEGEND: Table with columns: Description, Symbol, Qty, Type, Scientific Name (Common Name), Height/Cal. Size, Native, Deciduous/Evergreen. Lists trees like Quercus Nuttallii, Pinus taeda, Betula nigra, Prunus x yedoensis, and Ilex cornuta.

LMT = LARGE MATURING TREE SMT = SMALL MATURING TREE SPECIES MAY BE CHANGED, SO LONG AS THEY ARE FROM THE CITY OF CHARLOTTE APPROVED PLANT SPECIES TABLE.



CHARLOTTE URBAN FORESTRY - TREE PLANTING AND PRESERVATION REQUIREMENTS:

1. ALL EXISTING TREES USED TO MEET PLANTING REQUIREMENTS MUST BE VERIFIED FOR HEALTH/CONDITION AND MUST BE PROTECTED DURING CONSTRUCTION. THE CONTRACTOR SHALL SCHEDULE A HEALTH/CONDITION INSPECTION WITH URBAN FORESTRY SPECIALIST IN CONJUNCTION WITH THE REQUIRED PRECONSTRUCTION MEETING WITH URBAN FORESTRY STAFF. ANY EXISTING TREES DETERMINED TO BE IN POOR CONDITION ARE REQUIRED TO BE REPLACED.

2. ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS INTACT TO THE TOP OF THE CROWN UNLESS MULTI-STEM TREES ARE SPECIFIED. ALL REQUIRED TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY. HAVE NORMAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS.

3. SIZE OF REQUIRED PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (LATEST EDITION) AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, EXCEPT WHERE SPECIFIED/AUTHORIZED BY URBAN FORESTRY.

4. ALL REQUIRED TREES OF A PARTICULAR SPECIES AND VARIETY SHALL BE UNIFORM IN SIZE AND CONFIGURATION. 5. PERIMETER TREES IN URBAN ZONES SHALL BE 3" IN CALIPER AND BE FREE OF BRANCHES UP TO 6' FROM THE TOP OF ROOT CROWN (BALL).

6. A MINIMUM OF 50% OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN 20 TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE (3 OR MORE) SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES. 7. 75% OF REQUIRED TREES MUST BE LARGE MATURE SPECIES EXCEPT IN SITUATIONS WITH OVERHEAD POWER LINE CONFLICTS.

8. SHOW CLDS 40.01 & 40.09 (ON PLAN) FOR DETAILED TREE PLANTING REQUIREMENTS. 9. PLASTIC HOSE PARTS WILL NOT BE ACCEPTED FOR TREE STAKING. SEE CLDS 40.01 FOR APPROVED STAKING METHOD/MATERIALS.

10. ALL STRAPPING AND TOP 1/3 OF WIRE BASKET AND BURLAP MUST BE CUT AWAY AND REMOVED FROM ROOT BALL WHEN PLANTING. 11. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 18" NEW TOPSOIL OR TILL AND AMEND THE TOP 18" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET PER LARGE MATURE TREE AND 200 SQUARE FEET PER SMALL MATURE TREE).

12. TREES PLANTED ON PUBLIC PROPERTY WILL NEED APPROVAL FROM THE CITY ARBORIST AND/OR NCDDOT. 13. REVIEW SOIL REQUIREMENTS IN THE TREE ORDINANCE GUIDELINES AT: HTTP://LANDPERMITS.CHARMECK.ORG THEN CLICK TREES.

14. IF ANY UTILITY IS BEING INSTALLED IN OR NEAR ANY REQUIRED TREE(S) OR TREE SAVE AREA(S), CALL URBAN FORESTER TO RESOLVE PRIOR TO UTILITY INSTALLATION. 15. LARGE MATURING TREES MAY NOT BE PLANTED WITHIN 25' OF OVERHEAD POWER DISTRIBUTION OR TRANSMISSION LINES.

16. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING. 17. ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES. 18. NO LIGHT POLES, UTILITY POLES OR TRANSFORMERS CAN BE INSTALLED IN TREE ISLANDS.

19. COMMERCIAL SCALE LIGHTING (> 15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 30' FROM A TREE. PESTRIAN SCALE LIGHTING (< 15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 15' FROM A TREE. SHOW SITE LIGHTING ON LANDSCAPE PLAN.

20. TREE PROTECTION MUST BE INSTALLED AND VERIFIED BY URBAN FORESTRY PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY. 21. SHOW TREE PROTECTION AND TREE SAVE AREA ON EROSION CONTROL, GRADING AND LANDSCAPE SHEETS.

22. EXPOSED AVOID EXPOSING THE TREE ROOTS. IN THIS CASE, THE ROOTS MUST BE CUT WITH A SHARP CUT WITH A SHARP PRUNING TOOL TO PREVENT EXPOSURE TO AIR. TREE PROTECTION AREAS MUST BE RECORDED ON A FINAL PLAN WITH THE MECKLENBURG COUNTY REGISTER OF DEEDS BEFORE URBAN FORESTRY HOLDS CAN BE RELEASED. A 10' NO BUILD ZONE AROUND TREE SAVE AREAS MUST BE REFERENCED ON THE PLAN.

23. TREE SAVE AREAS SHALL BE FREE OF INVASIVE PLANT SPECIES. IF AN AREA PROPOSED FOR TREE SAVE CONTAINS INVASIVE PLANT SPECIES AT TIME OF PROPOSAL, SUCH INVASIVE PLANT SPECIES SHALL BE REMOVED PRIOR TO FINAL CO. 24. THE AREA OF ANY EASEMENTS (WATER, SEWER, UTILITY, ETC.) CAN NOT BE COUNTED TOWARD THE TREE SAVE REQUIREMENT.

25. ANY ALTERATIONS TO TREE SAVE AREAS MUST BE ACCOMPLISHED WITHOUT MECHANIZED EQUIPMENT. 26. NO STRUCTURE WILL BE ALLOWED WITHIN 10' OF TREE SAVE AREAS UNLESS APPROVED BY URBAN FORESTRY. 27. ALL TREES ON PUBLIC PROPERTY/ROW ARE PROTECTED BY LAW AND REMOVAL MUST BE PERMITTED BY THE CITY ARBORIST (704)336-4262.

28. CONTACT URBAN FORESTRY SPECIALIST PRIOR TO ANY CRANE SET-UP, MACHINERY OPERATION OR TEMPORARY BUILDING ERECTION THAT MAY IMPACT CHARLOTTE TREE ORDINANCE PROTECTED TREES OR TREE SAVE AREAS. INCLUDING TREES LOCATED IN A RIGHT OF WAY, IMPACTS MAY INCLUDE BUT ARE NOT LIMITED TO: ENCRACING WITH TREE DRIP-LINES, EXCAVATION, SOIL COMPACTION, TREE TRIMMING, ERECTING AND DISMANTLING OF CONSTRUCTION CRANES. 29. TO CALL FOR AN INSPECTION OF TREE PROTECTION FOR THIS AREA, CALL MIRIAM CATTABRIGIA 704-571.5664. AT LEAST 3 DAYS IN ADVANCE FOR AN URBAN FORESTRY FINAL INSPECTION GO ON A WEBSITE: HTTP://CHARLOTTEINGOV.GOV/PAGES/CITY-OF-CHARLOTTE-COMMERCIAL-PROJECT-CERTIFICATE-OF-OCCUPANCY-SOIL-RELEASE-FORM.ASP

30. VISIT CITY OF CHARLOTTE'S LAND DEVELOPMENT WEBSITE: HTTP://LANDPERMITS.CHARMECK.ORG FOR ADDITIONAL INFORMATION AND FOR CHARLOTTE TREE ORDINANCE REQUIREMENTS HTTP://CHARLOTTEINGOV.GOV, THEN CLICK TREES.

31. EXISTING TREES MAY MEET BUFFER REQUIREMENTS. NEW TREES WILL BE ADDED (IF NEEDED) TO SUPPLEMENT EXISTING TREES TO MEET BUFFER REQUIREMENTS. ZONING INSPECTOR TO WALK SITE WITH LANDSCAPER B/F INSTALLATION. 32. SPECIES SELECTION WILL BE SELECTED FROM APPROVED LIST SPECIFIED IN THE CITY OF CHARLOTTE ORDINANCE. 33. EXISTING TREES IN BUFFER TO REMAIN AND SHALL BE COUNTED TOWARDS BUFFER REQUIREMENTS.

LANDSCAPING NOTES: 1. EXISTING TREES MAY MEET BUFFER REQUIREMENTS. NEW TREES WILL BE ADDED (IF NEEDED) TO SUPPLEMENT EXISTING TREES TO MEET BUFFER REQUIREMENTS. ZONING INSPECTOR TO WALK SITE WITH LANDSCAPER B/F INSTALLATION. 2. SPECIES SELECTION WILL BE SELECTED FROM APPROVED LIST SPECIFIED IN THE CITY OF CHARLOTTE ORDINANCE. 3. EXISTING TREES IN BUFFER TO REMAIN AND SHALL BE COUNTED TOWARDS BUFFER REQUIREMENTS.

Attached to Administrative Approval

Solomon A. Fortune



PLANTING COORDINATION NOTE: LANDSCAPER SHALL SCHEDULE ON-SITE MEETING WITH CITY OF CHARLOTTE URBAN FORESTER, AT PRIORITY TO COMMENCING ANY PLA ACTIVITY.

BUFFER TREE NOTE: BUFFER TREES FOR TREE ORDINANCE REQUIREMENTS MUST HAVE AMENDED SOILS (274 SF x 18 INCH DEEP/TREE)

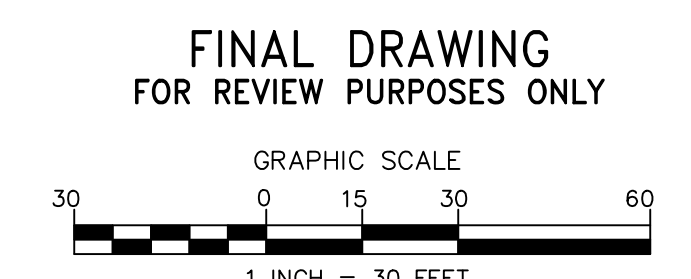
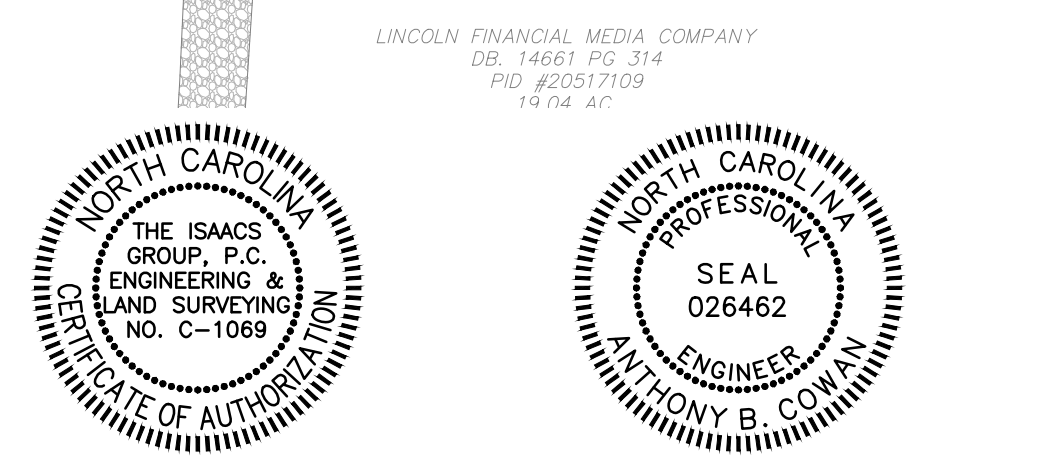


Table with columns: NO., BY, DATE, REVISION. Shows revision history for the drawing.

Project information for 'NATIONS FORD WAREHOUSE' including address, title 'LANDSCAPE PLAN', date, and contact information for The ISAACS Group.

BACKFLOW NOTES:

- NO PERMANENT INSULATION MAY BE INSTALLED ON THE BP ASSEMBLY. IT IS RECOMMENDED THAT HEAT BE PROVIDED FOR ALL ABOVE-GROUND DOMESTIC AND COMBINATION SERVICE BP ENCLOSURES TO PREVENT FREEZE DAMAGE. IRRIGATION BP'S CAN BE WINTERIZED BY DRAINING ALL WATER FROM THEM. ENCLOSURES FOR ABOVE-GROUND BP INSTALLATIONS ON FIRELINES ARE REQUIRED BY THE FIRE DEPT TO BE HEATED (MAINTAIN A MIN. OF 40° F.)
- NO PLASTIC PIPING MATERIAL IS ALLOWED WITHIN 5' OF THE BP ENDS.
- ALL REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLIES SHALL BE INSTALLED ABOVE-GROUND WITHIN INSULATED ENCLOSURE PER CLT/WATER REQUIREMENTS. ENCLOSURE TO INCLUDE DRAIN PORTS FOR DISCHARGE WATER PER CLT/WATER REQUIREMENTS.
- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CLT/WATER-REQUIRED BACKFLOW PREVENTER.
- EACH CLT/WATER-REQUIRED BPA IS TO BE TESTED BY A CLT/WATER-APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE.

CLT/WATER NOTES:

- CUSTOMER IS RESPONSIBLE FOR STAKING SITE AS NECESSARY TO DETERMINE SERVICE LOCATIONS & ELEVATIONS PRIOR TO CLT/WATER CONTRACTOR MOBILIZING TO INSTALL SERVICES. SITE ADDRESS MUST BE VISIBLY POSTED AT SITE.
- WATER AND SEWER CONNECTIONS SHALL NOT BE LOCATED WITHIN PROPOSED CONSTRUCTION ENTRANCES.
- ON-SITE CONTRACTOR IS RESPONSIBLE FOR RELOCATED ANY APPLICABLE CONFLICTING UTILITIES NECESSARY TO COMPLETE SERVICE INSTALLATIONS. ADDITIONAL FEES MAY APPLY & CONSTRUCTION TIME LINES EXTENDED IN CONFLICTED UTILITIES ARE NOT SHOWN ON PLANS.
- PAYMENT FOR A QUOTED SERVICE CONNECTION SHALL BE CONSIDERED ACKNOWLEDGEMENT & APPROVAL OF CLT/WATER COMMENTS BY THE APPLICANT; PAYMENT DOES NOT INCLUDE ANY ADDITIONAL FEES REQUIRED DUE TO UNFORESEEN CONDITIONS THAT ARE NOT DEPICTED ON THE SITE PLAN PROVIDED BY THE APPLICANT.
- APPROVAL FOR BACKFLOW REQUIREMENTS IS NOT PART OF THIS REVIEW. BACKFLOW PREVENTION REVIEW ENTAILS PLAN SUBMITTAL VIA MECKLENBURG COUNTY'S CODE ENFORCEMENT PERMITTING PROCESS AT THE TIME OF APPLICATION OF BUILDING PERMITS. BACKFLOW PROGRAM REQUIREMENTS ARE AVAILABLE AT [HTTP://CHARLOTTENC.GOV/WATER/PAGES/BACKFLOWCONSTRUCTIONGUIDELINES.ASPX](http://charlottenc.gov/water/pages/backflowconstructionguidelines.aspx). PLEASE CONTACT MARK KROUSE AT (704) 432-5800 FOR MORE INFORMATION. ANY REVISION TO THE SERVICE CONFIGURATIONS AND/OR METER LOCATIONS WILL REQUIRE A RE-SUBMITTAL TO BACKFLOW FOR REVIEW.

PROPOSED MATERIAL SPECIFICATIONS:

SEWER LATERAL: PVC - SCH. 40
WATER: PVC (C900, DIP (C-151))

- MATERIAL AND WORKMANSHIP REQUIREMENTS TO BE IN ACCORDANCE WITH CHARLOTTE WATER UTILITY STANDARDS AND SPECIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO: MATERIALS, CONSTRUCTION MEANS AND METHODS, INSPECTION REQUIREMENTS, AND TESTING REQUIREMENTS.
- ALL WATER/SEWER PIPE TO BE PVC UNLESS OTHERWISE SPECIFIED IN THESE PLANS.
- THE CONTRACTOR SHALL PROVIDE MATERIAL SUBMITTALS TO OWNER AND ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

BACKFLOW PREVENTER LEGEND:

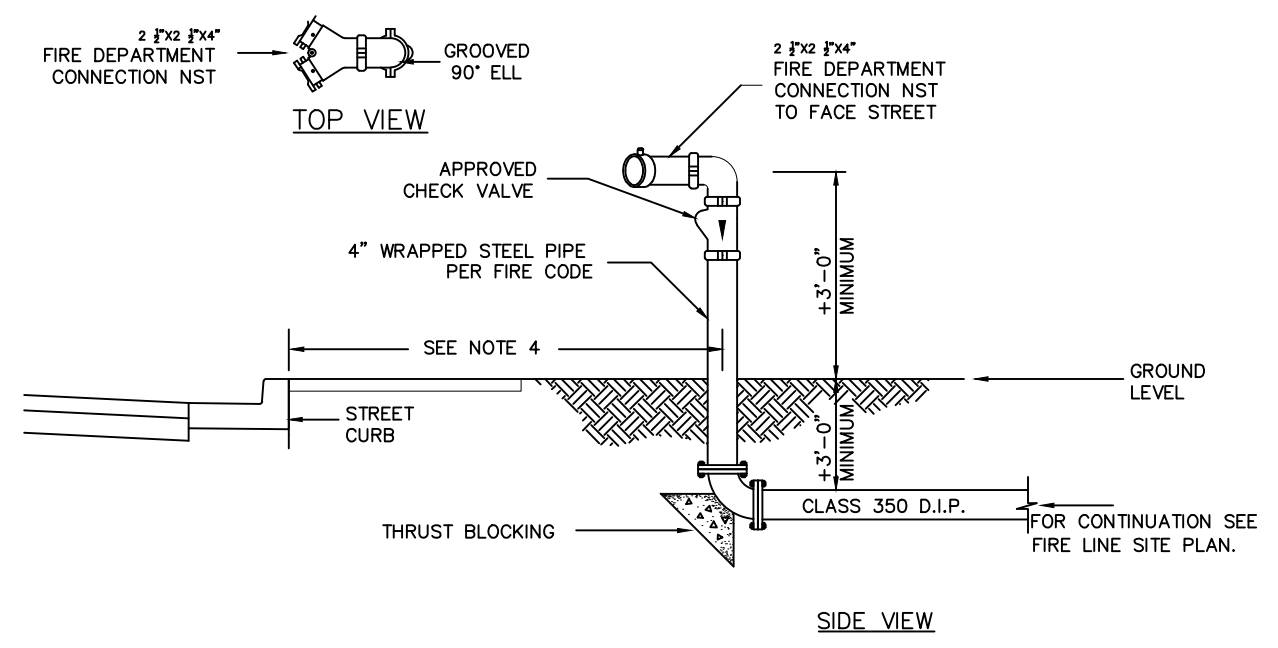
- BFP #1: PROPOSED 1" REDUCED PRESSURE PRINCIPAL BACKFLOW PREVENTION ASSEMBLY INSTALLED ABOVE-GROUND WITHIN INSULATED ENCLOSURE PER CLT/WATER REQUIREMENTS. ENCLOSURE TO INCLUDE DRAIN PORT(S) FOR DISCHARGE WATER PER CLT/WATER REQUIREMENTS.
- BFP #2: PROPOSED 4" REDUCED PRESSURE PRINCIPAL BACKFLOW PREVENTION ASSEMBLY INSTALLED ABOVE-GROUND WITHIN INSULATED ENCLOSURE PER CLT/WATER REQUIREMENTS. ENCLOSURE TO INCLUDE DRAIN PORT(S) FOR DISCHARGE WATER PER CLT/WATER REQUIREMENTS.
- BFP #3: PROPOSED 5/8" REDUCED PRESSURE PRINCIPAL BACKFLOW PREVENTION ASSEMBLY INSTALLED ABOVE-GROUND WITHIN INSULATED ENCLOSURE PER CLT/WATER REQUIREMENTS. ENCLOSURE TO INCLUDE DRAIN PORT(S) FOR DISCHARGE WATER PER CLT/WATER REQUIREMENTS.

UTILITY LEGEND:

- FH — EXISTING WATER LINE
- SS — EXISTING FIRE HYDRANT
- SS — EXISTING SANITARY SEWER LINE
- UGE — EXISTING SANITARY SEWER MANHOLE
- UGE — EXISTING UNDERGROUND ELECTRIC
- OE — EXISTING OVERHEAD ELECTRIC
- OVE — EXISTING OVERHEAD FIBER OPTIC
- G — EXISTING GAS LINE
- S — EXISTING STORM DRAIN PIPE
- S — EXISTING STORM DRAIN STRUCTURE
- W — PROPOSED WATER LINE (DOMESTIC)
- F — PROPOSED WATER LINE (FIRE)
- V — PROPOSED WATER VALVE
- H — PROPOSED FIRE HYDRANT
- S — PROPOSED SANITARY SEWER PIPE
- S — PROPOSED SANITARY SEWER CLEANOUT
- UGE — PROPOSED UNDERGROUND ELECTRIC
- S — PROPOSED STORM DRAIN PIPE
- S — PROPOSED STORM DRAIN STRUCTURE
- L — PROPOSED ROOF LEADERS
- C — PROPOSED PVC EMPT CONDUIT
- P — PROPOSED LIGHT POLE
- G — PROPOSED GAS LINE

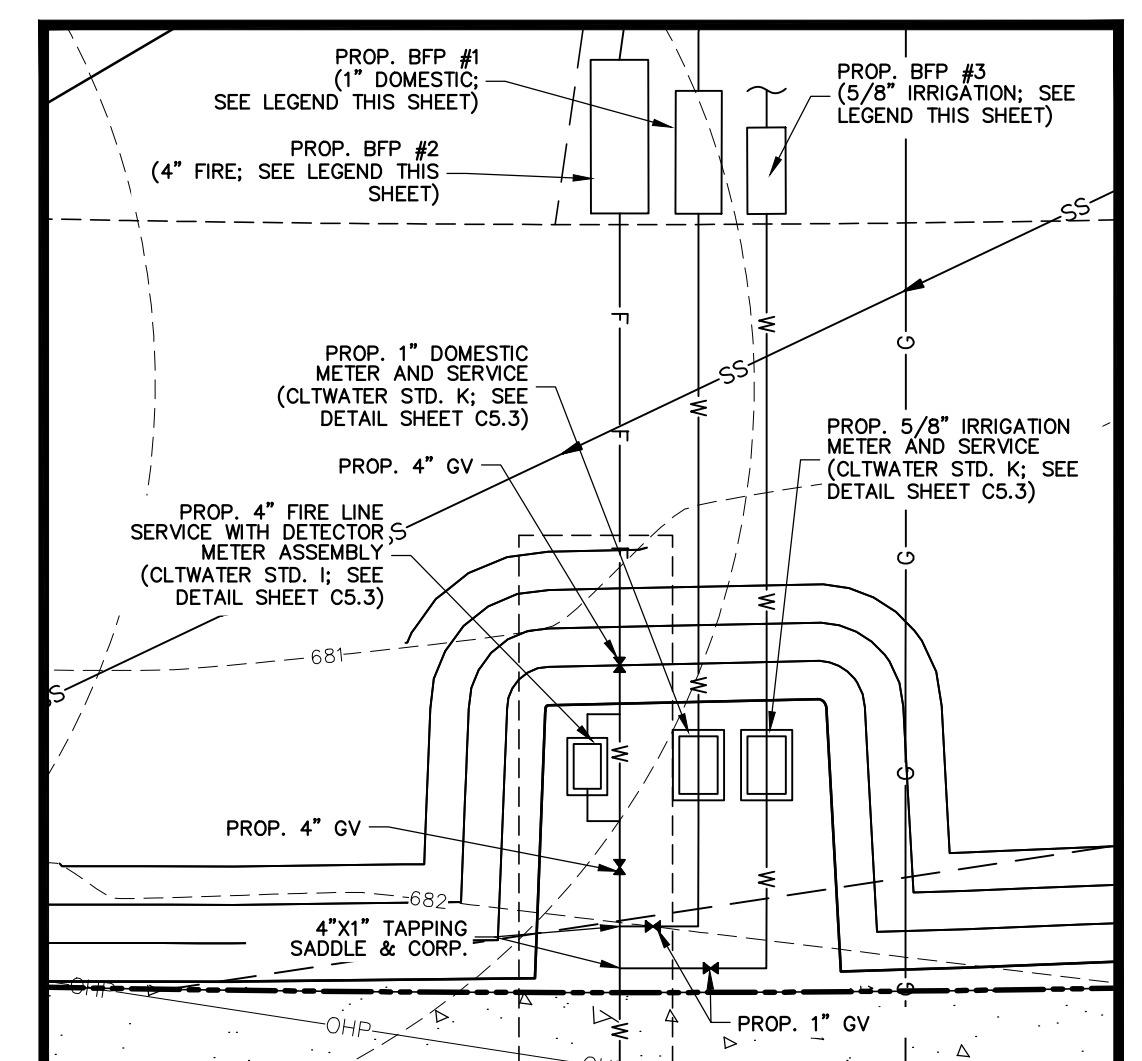
VICTORY CHRISTIAN CENTER, INC.
PID #20318904
DEED BK-25917, PG-5
ZONED R-17MF

CENTRAL PIEDMONT COMMUNITY COLLEGE (TRUSTEES)
PID #20318902
DEED BK-6431, PG-012
ZONED G-1



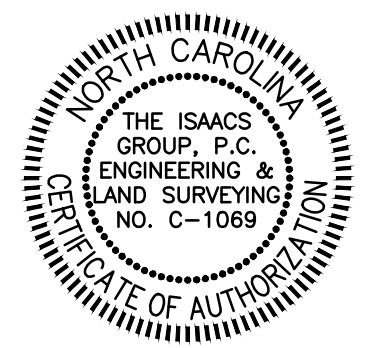
- GENERAL NOTES:**
- PROVIDE BUILDING I.D. ON REMOTE FIRE DEPT. CONNECTION.
 - NO TREES, BUSHES OR WALLS WITHIN 5' RADIUS OF FIRE DEPT. CONNECTION
 - IF FIRE SPRINKLER DESIGN INDICATES DEMAND OF 1000 GPM OR GREATER, THE UNDERGROUND FIRE DEPT. CONNECTION LINE SHALL BE INCREASED TO 6" DIAMETER WITH A THREE WAY 2 1/2" FIRE DEPT. HOSE CONNECTION
 - 4" MIN. TO BACK OF CURB, OR 2" MIN TO BACK OF SIDEWALK, OR WHEN NO CURB, 4" MAX. OUTSIDE THE CLEAR ZONE. FDC MUST BE W/IN 50' OF FIRE DEPT. ACCESS ROAD.

FIRE DEPARTMENT REMOTE SIAMESE CONNECTION NOTES:



BLOW-UP DETAIL:
SCALE: 1"=10'

CENTRAL PIEDMONT COMMUNITY COLLEGE (TRUSTEES)
PID #20318902
DEED BK-6431, PG-012
ZONED INST

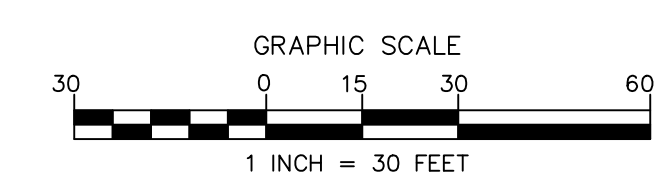


Digitally signed by Anthony B. Cowan, P.E.
Date: 2018.12.19 16:52:40-0500'

FINAL DRAWING FOR REVIEW PURPOSES ONLY



THE EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND SHOULD NOT BE RELIED UPON AS THE EXACT LOCATION OR A COMPLETE INVENTORY WHEN PERFORMING SITE EXCAVATION. PRIOR TO COMMENCEMENT OF ANY EXCAVATION CONTACT 811 OR A PRIVATE UTILITY LOCATOR AS NEEDED TO VERIFY THE LOCATIONS AND EXISTENCE OF EXISTING UTILITIES.



| NO. | BY | DATE | REVISION |
|-----|----|------|----------|
| | | | |
| | | | |
| | | | |

PROJECT: NATIONS FORD WAREHOUSE
9200 NATIONS FORD RD., CHARLOTTE, NORTH CAROLINA

TITLE: UTILITY PLAN

File #: 17175-PB.DWG Date: 11/04/17 Project Egr: ABC
 Design By: ABC
 Drawn By: RER
 Scale: 1"=30'

8720 RED OAK BOULEVARD, SUITE 420
 CHARLOTTE, N.C. 28217
 PHONE (704) 527-3440 FAX (704) 527-8355

C2.0

Attached to Administrative
Approval

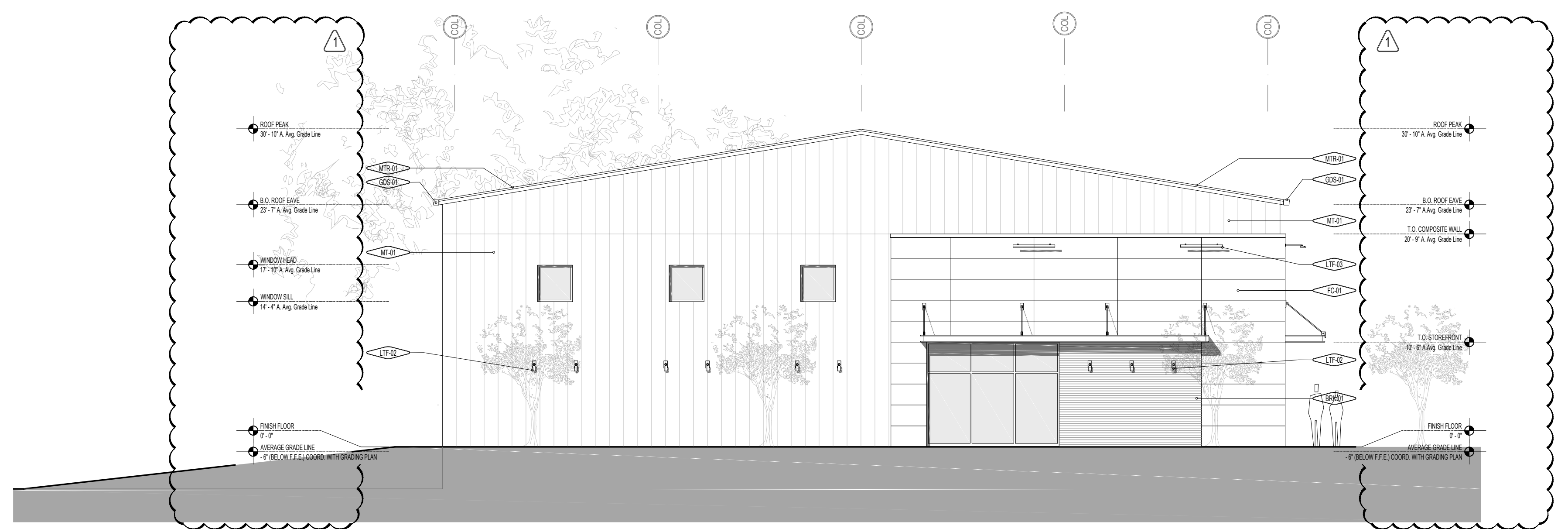
Solomon A. Fortune \$F
Solomon A. Fortune



2 NATIONS FORD ROAD ELEVATION : 1/8" = 1'-0" @ 24" x 36" Printed Format

| MATERIAL LEGEND | |
|-----------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| | PRE-FINISHED STANDING SEAM METAL ROOF SYSTEM: PAC CLAD STANDING SEAM METAL ROOF SYSTEM (OR EQUAL) MILL FINISH ALUMINUM - KYNAR FINISH -COLOR TO BE SELECTED FROM PREMIUM COLOR SWATCHES & APPROVED BY ARCHITECT. |
| | PRE-FINISHED METAL DOWNSPOUT AND GUTTER SYSTEM: MILL FINISH ALUMINUM - KYNAR FINISH -COLOR TO BE SELECTED FROM PREMIUM COLOR SWATCHES & APPROVED BY ARCHITECT. |
| | PRE-FINISHED SHINGLED METAL SIDING SYSTEM: PAC CLAD STANDING SEAM METAL ROOF SYSTEM (OR EQUAL) MILL FINISH ALUMINUM - KYNAR FINISH -COLOR TO BE SELECTED FROM PREMIUM COLOR SWATCHES & APPROVED BY ARCHITECT. |
| | EXTERIOR LIGHT FIXTURE TYPE 3: LED DECORATIVE HORIZONTAL DOWNLIGHT -COLOR SPECIFICATION TO BE SELECTED AND APPROVED BY ARCHITECT. |
| | EXTERIOR LIGHT FIXTURE TYPE 2: LED COMPACT DECORATIVE DOWNLIGHT -COLOR SPECIFICATION TO BE SELECTED AND APPROVED BY ARCHITECT. |
| | EXTERIOR LIGHT FIXTURE TYPE 1: POWDER COATED, LED WALL PACK -COLOR SPECIFICATION TO BE SELECTED AND APPROVED BY ARCHITECT. |
| | FIBER CEMENT BOARD PANEL SIDING SYSTEM: PRE-FINISHED RAIN SCREEN SYSTEM, SMOOTH FACE 4' x 8' PANELS -COLOR SPECIFICATION TO BE SELECTED AND APPROVED BY ARCHITECT. |
| | BRICK ONE: BORAL USA, CLAY FACE MODULAR, A GRADE UNITS WITH NEOPRENE EXP. JOINTS (NSJDM 1556), CONCRETE MORTAR JOINT PROFILE, UNIT AND MORTAR COLOR TO BE SELECTED BY ARCHITECT. |
| | OVERHEAD DOOR: ROLL UP OVERHEAD DOOR, COORDINATE WITH PLAN FOR WIDTH SPECIFICATION AND COLOR TO BE SELECTED BY ARCHITECT. |

***COORDINATE MATERIALS WITH EXTERIOR BUILDING ELEVATIONS AND WALL SECTIONS.
G.C. SHALL SUBMIT ALL FINISH SPECIFICATIONS AND SAMPLES TO ARCHITECT FOR FINAL APPROVAL.



1 DRIVE SIDE ELEVATION : 1/8" = 1'-0" @ 24" x 36" Printed Format

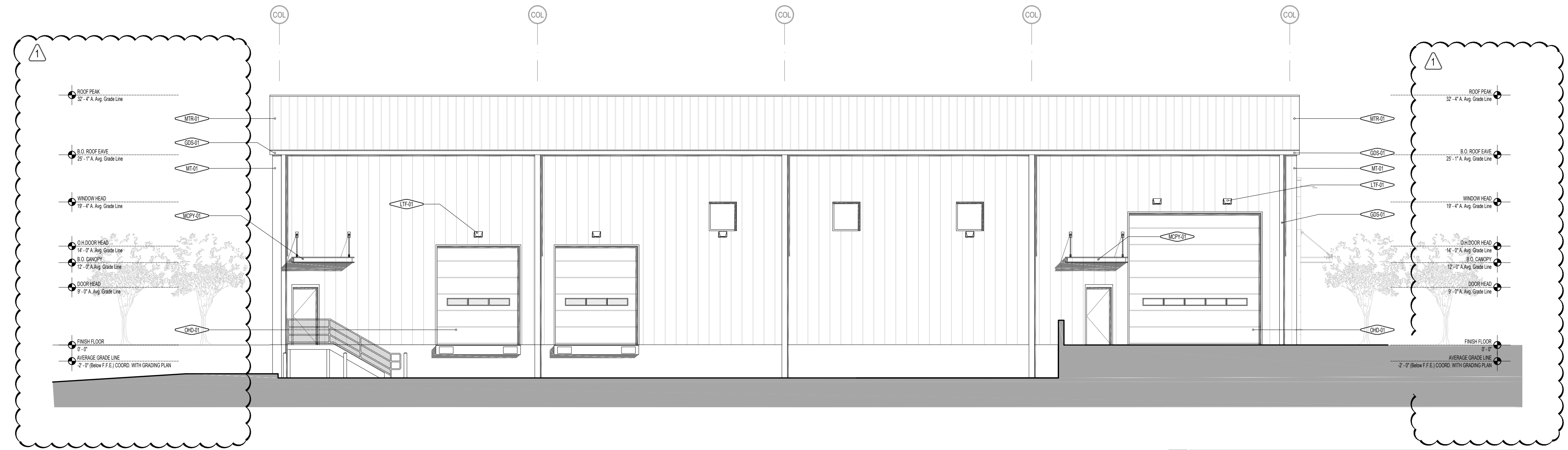
Depo Tires & Service - 9200 Nations Ford Road, Charlotte NC

CHARLOTTE, North Carolina
07.02.18- Rev 1 (01_02_19)
p | f arch Proj# 1826



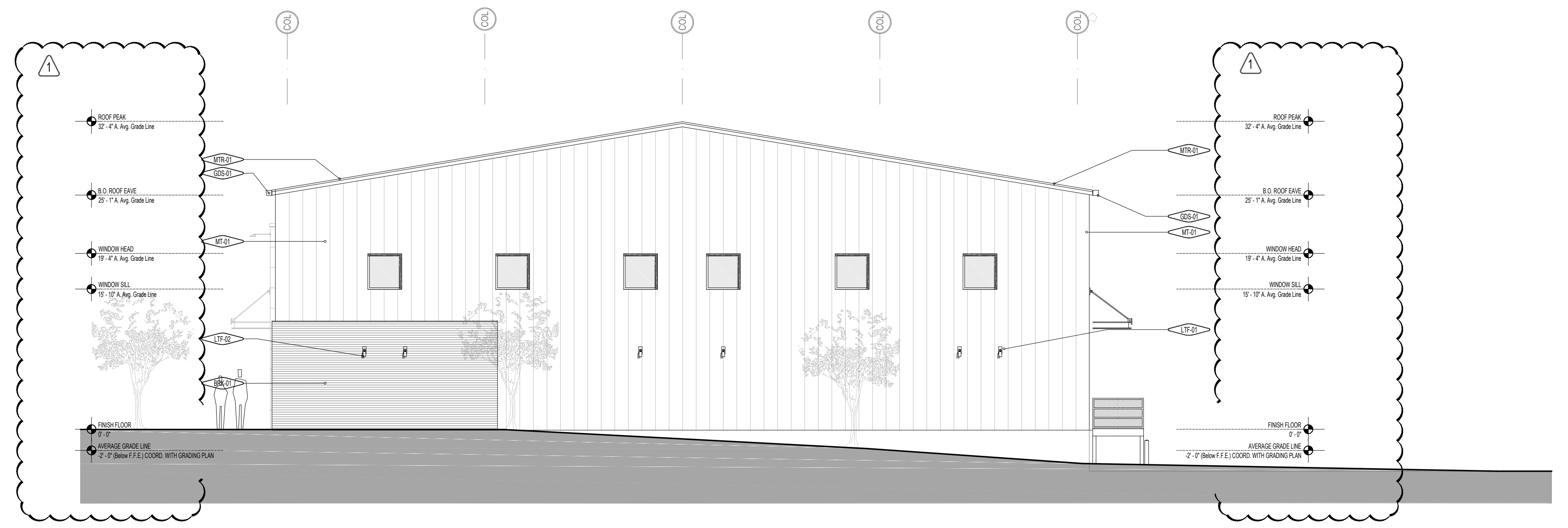
Attached to Administrative
Approval

Solomon A. Fortune \$
Solomon A. Fortune



2 REAR ELEVATION : 1/8" = 1'-0" @ 24" x 36" Printed Format

| MATERIAL LEGEND | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| | PRE-FINISHED STANDING SEAM METAL ROOF SYSTEM: PAC CLAD STANDING SEAM METAL ROOF SYSTEM (OR EQUAL) MILL FINISH ALUMINUM - KYNAR FINISH -COLOR TO BE SELECTED FROM PREMIUM COLOR SWATCHES & APPROVED BY ARCHITECT. |
| | PRE-FINISHED METAL DOWNSPOUT AND GUTTER SYSTEM: MILL FINISH ALUMINUM - KYNAR FINISH -COLOR TO BE SELECTED FROM PREMIUM COLOR SWATCHES & APPROVED BY ARCHITECT. |
| | PRE-FINISHED ANTI-BLOCK METAL SIDING SYSTEM: PAC CLAD STANDING SEAM METAL ROOF SYSTEM (OR EQUAL) MILL FINISH ALUMINUM - KYNAR FINISH -COLOR TO BE SELECTED FROM PREMIUM COLOR SWATCHES & APPROVED BY ARCHITECT. |
| | EXTERIOR LIGHT FIXTURE TYPE 3: LED DECORATIVE HORIZONTAL DOWNLIGHT -COLOR SPECIFICATION TO BE SELECTED AND APPROVED BY ARCHITECT. |
| | EXTERIOR LIGHT FIXTURE TYPE 2: LED COMPACT DECORATIVE DOWNLIGHT -COLOR SPECIFICATION TO BE SELECTED AND APPROVED BY ARCHITECT. |
| | EXTERIOR LIGHT FIXTURE TYPE 1: POWDER COATED, LED WALL PACK -COLOR SPECIFICATION TO BE SELECTED AND APPROVED BY ARCHITECT. |
| | FIBER CEMENT BOARD PANEL SIDING SYSTEM: PRE-FINISHED RAIN SCREEN SYSTEM; SMOOTH FACE 4 x 8 PANELS -COLOR SPECIFICATION TO BE SELECTED AND APPROVED BY ARCHITECT. |
| | BRICK ONE: BORAL USA - CLAY FACE MODULAR - A GRADE UNITS WITH NEOPRENE EXP. JOINTS (NSJDM 158); CONCRETE MORTAR JOINT PROFILE, UNIT AND MORTAR COLOR TO BE SELECTED BY ARCHITECT. |
| | OVERHEAD DOOR: ROLL UP OVERHEAD DOOR - COORDINATE WITH PLAN FOR WIDTH SPECIFICATION AND COLOR TO BE SELECTED BY ARCHITECT. |
| ***COORDINATE MATERIALS WITH EXTERIOR BUILDING ELEVATIONS AND WALL SECTIONS. G.C. SHALL SUBMIT ALL FINISH SPECIFICATIONS AND SAMPLES TO ARCHITECT FOR FINAL APPROVAL. | |



1 SIDE ELEVATION : 1/8" = 1'-0" @ 24" x 36" Printed Format

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CHARLOTTE, North Carolina
07.02.18- Rev 1 (01_02_19)
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