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**ADVANCED  
IMAGING  
SYSTEMS**

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# City of Charlotte – Planning Dept. Scanning Rezoning Files

Petition # \_\_\_\_\_

## Document type:

- Applications
- Correspondence
- Department Comments
- Land Use Consistency
  - Mail Info
  - Mapping
  - Other
- Site Plans



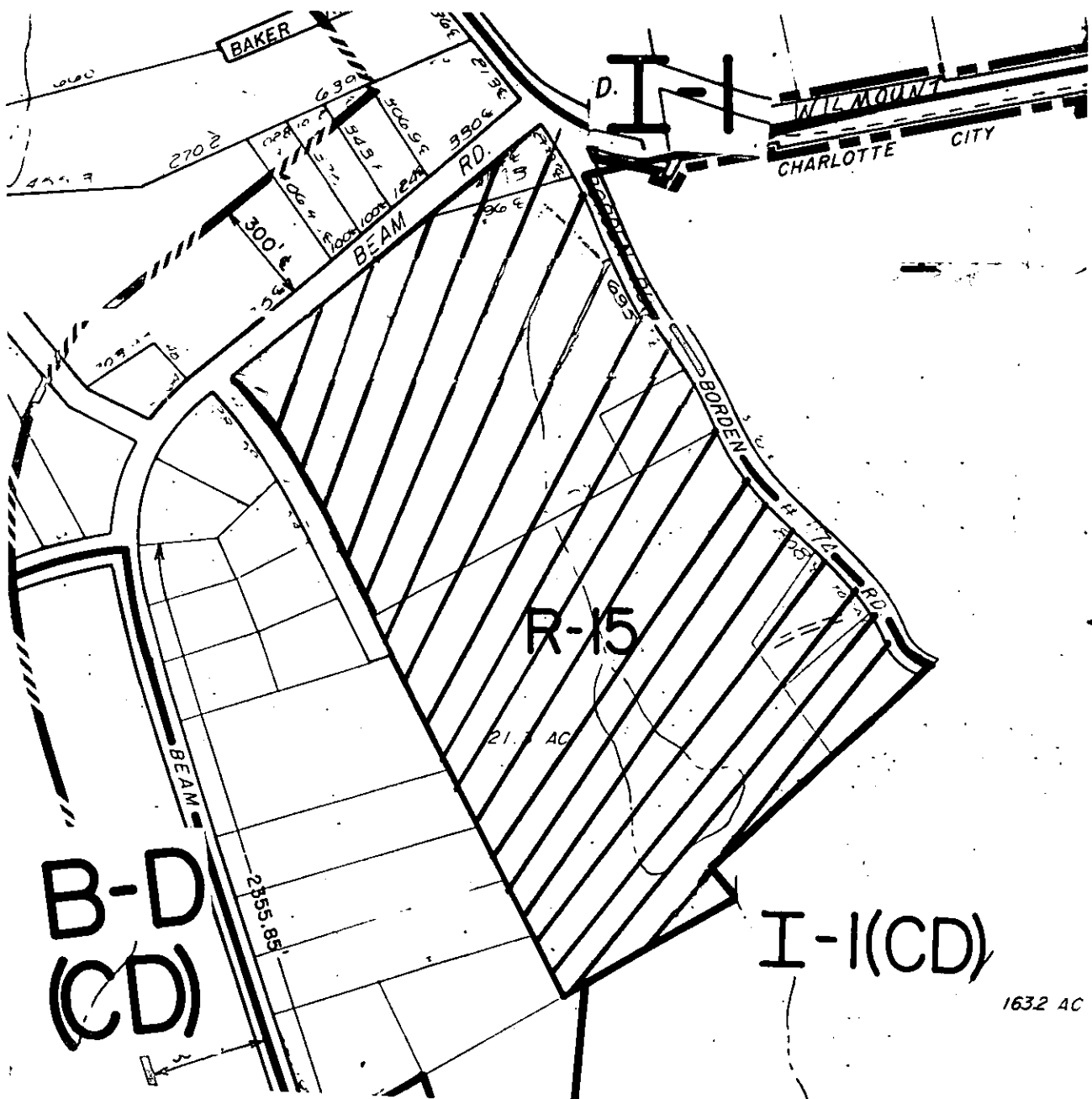
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PETITIONER Syncr, Inc.

PETITION NO. 88-35(c) HEARING DATE 9 /12/88

ZONING CLASSIFICATION, EXISTING R-15 REQUESTED O-15(CD)

LOCATION Approx. 42.92 acres located on the southeast side of Beam Road at Wilmount Road.



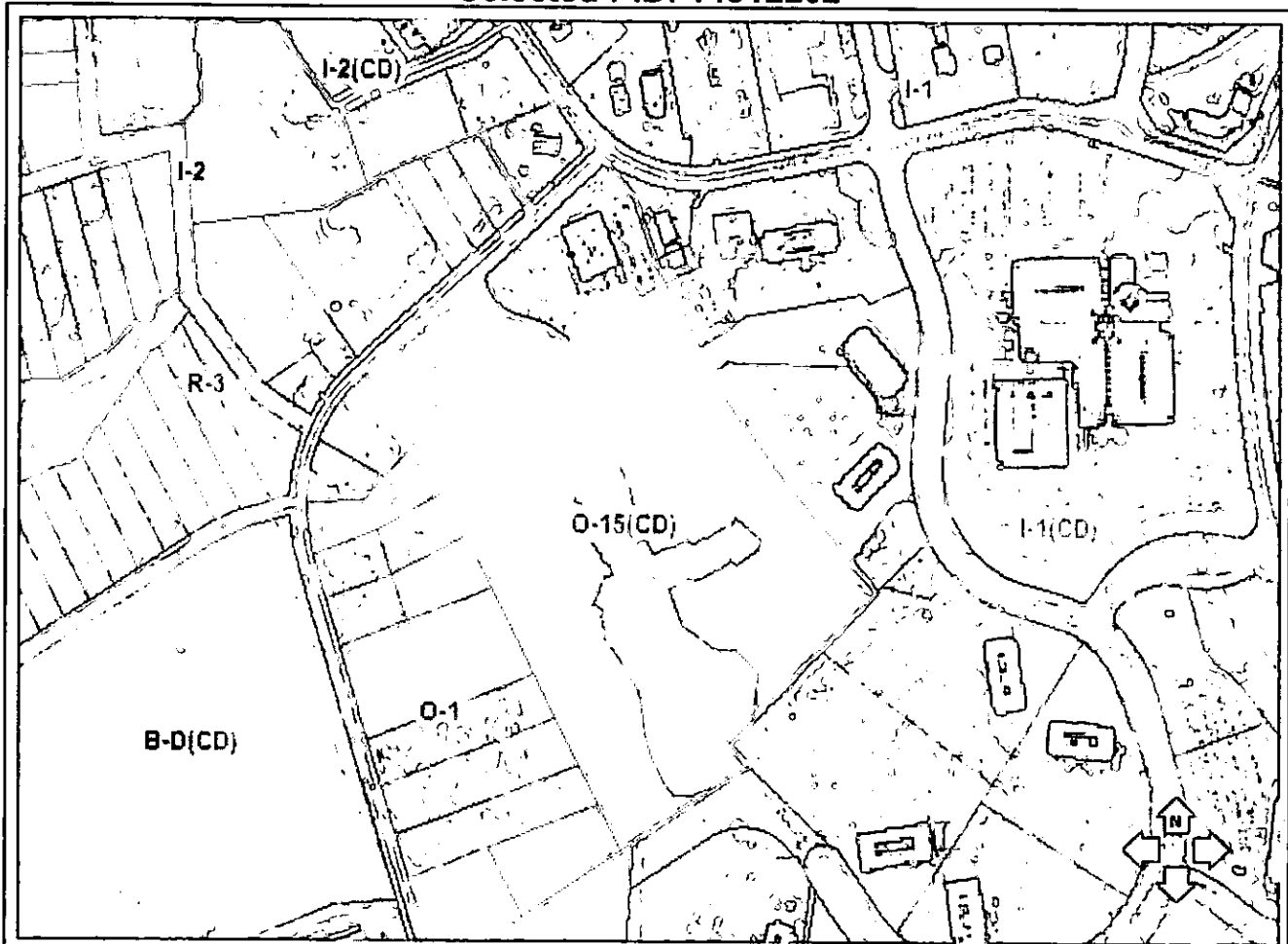
ZONING MAP NO. 109 & 127

SCALE 1" = 400'

PROPERTY PROPOSED FOR CHANGE



**Charlotte/Mecklenburg Zoning Viewer**  
**Selected PID: 14312202**



Owner(s): SOUTH 36R LLC AND C/O MID SOUTH REALTY

Location: BEAM RD CHARLOTTE

Assessed Land Units: 540231.12000 SF

Existing Zoning: O-15(CD)

Existing Zoning Petition: None.

Pending Zoning: None.

Prior Zoning: None.

Site Plan: None.

Area Plan: Westside Strategic Plan

Adopted Land Use: OFFICE

Historic District Overlay: None.

Manufactured Home Overlay: None.

Pedestrian Overlay: None.

Airport Noise Overlay: None.

Watershed Overlay: None.

The information provided by this program is compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. Users of this map data are hereby notified that the aforementioned public primary information sources should be consulted for verification of the information. Mecklenburg County and its mapping contractors assume no legal responsibility for the information contained herein.

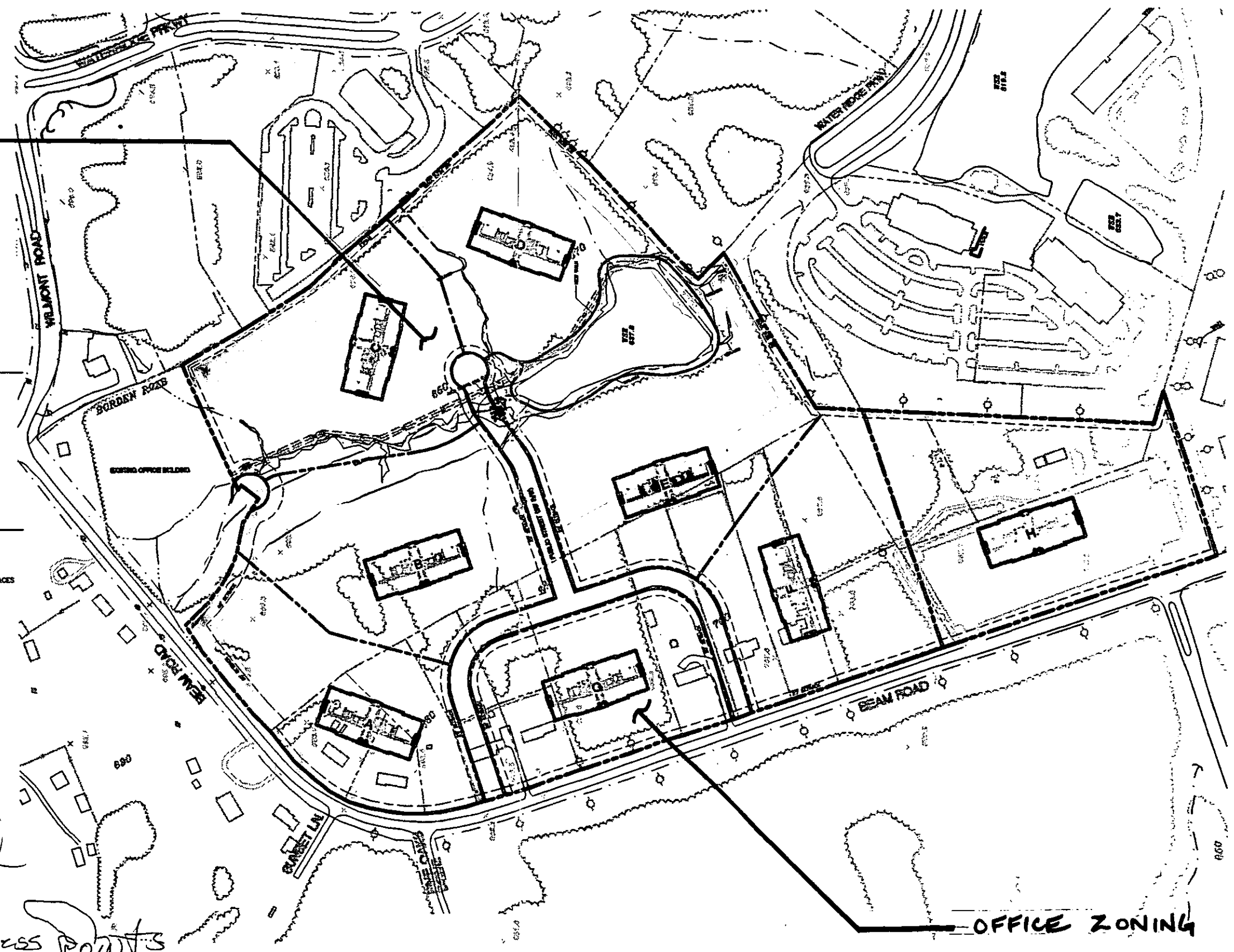
Date Printed: 6/10/2010 11:00:59 AM



**REZONING**  
**PETITION 88-35C**

**SITE SUMMARY: SCHEME D**

PARCEL	PARCEL AREA	BUILDING AREA	BUILDING HEIGHT	F.A.R.
A	291,990 SF (6.70 AC)	120,000 SF	4 STORY	0.41
B	343,768 SF (7.89 AC)	90,000 SF	3 STORY	0.26
C	332,572 SF (7.63 AC)	90,000 SF	3 STORY	0.27
D	335,537 SF (7.70 AC)	120,000 SF	4 STORY	0.36
E	401,343 SF (9.21 AC)	120,000 SF	4 STORY	0.30
F	332,340 SF (7.63 AC)	90,000 SF	3 STORY	0.27
G	284,035 SF (6.56 AC)	120,000 SF	4 STORY	0.46
H	424,859 SF (9.76 AC)	120,000 SF	4 STORY	0.28
<b>TOTAL</b>	<b>2,726,542 SF (62.59 AC)</b>	<b>670,000 SF</b>		<b>0.32</b>
<b>TOTAL PROPOSED PUBLIC STREET LINEAR FOOTAGE</b>				<b>2532 LF</b>
<b>TOTAL PARKING (4.5 PER 1000 SF RENTABLE)</b>				<b>3680 ± SPACES</b>



*W/S*  
 Need a note  
 that Bldgs B+C  
 will only be accessed  
 from <sup>W/S</sup> Roadway  
 Show + Prohibit 2 access points

**OFFICE ZONING**

Beavre Centre  
 Crescent Resources  
 INC.

**SCHEME D**



## ColeJenest & Stone

Land Planning  
Landscape Architecture  
Civil Engineering  
Urban Design

112 South Tryon Street  
Suite 300  
Charlotte  
North Carolina  
28284

Tele 704. 376. 1555  
Fax 704. 376. 7851  
email colejene@vnet.net

### Transmittal

Date: November 2, 1999  
Reference: 1725 – Beavre Centre  
Attention: Mr. Timothy Manes  
Company: Charlotte-Mecklenburg Planning Commission      Tel: 336-2205  
600 East Fourth Street  
Charlotte, North Carolina 28202

We Are  
Transmitting:

<input checked="" type="checkbox"/> Herewith <input type="checkbox"/> Under Separate Cover		
Copies	Dated	Description
1	10/29/99	Scheme "D"

Transmitted Via:

Mail       FedEx       Courier       Hand Delivery  
 For Approval       For Your Use       As Requested       For Review

Remarks:

Per your telephone messages on November 2, 1999. Please pass this plan by Ms. Linda Beverly for review. We are trying to determine whether the revised Master Plan can be administratively approved. We have faxed a copy to Mr. Bill Judge with CDOT on November 1, 1999 for his review. Please call with any questions or comments.

By:

  
Kevin J. Brockman, ASLA  
Team Manager

ajk

cc:

Mr. Robert J. Holmes, Jr., CPM, CCIM – CRI w/attachment  
Mr. Michael S. Cole, ASLA – CJS w/attachment