

MARKED 3Y:



Arnold Palmer Center
P.O. Box 221037
Charlotte, N.C. 28222
708 Pine Downs Rd
800-438-8424
704-364-5222
704-365-6287

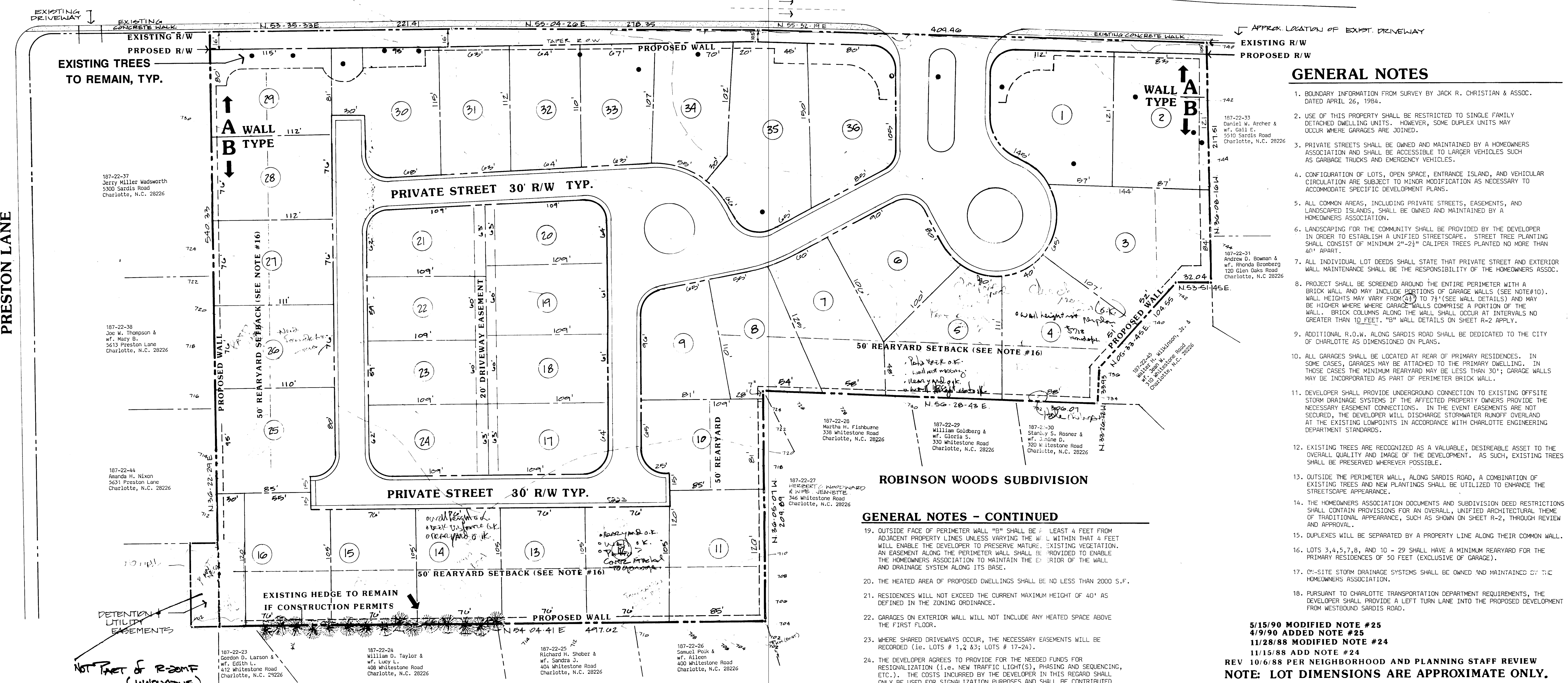
180-121-4
CENTRAL CHURCH OF GOD
3001 KILBORNE DRIVE
CHARLOTTE, NC

RANDOLPH ROAD

185-131-56
Benjamin R. Williams &
w/ Cheryl H.
204 Hargett Court
Charlotte, N.C. 28211

SARDIS ROAD

PROPOSED LEFT TURN LANE



GENERAL NOTES

- BOUNDARY INFORMATION FROM SURVEY BY JACK R. CHRISTIAN & ASSOC. DATED APRIL 28, 1984.
- USE OF THIS PROPERTY SHALL BE RESTRICTED TO SINGLE FAMILY DETACHED DWELLING UNITS. HOWEVER, SOME DUPLEX UNITS MAY OCCUR WHERE GARAGES ARE JOINED.
- PRIVATE STREETS SHALL BE OWNED AND MAINTAINED BY A HOMEOWNERS ASSOCIATION AND SHALL BE ACCESSIBLE TO LARGER VEHICLES SUCH AS GARAGES, TRUCKS AND EMERGENCY VEHICLES.
- CONFIGURATION OF LOTS, OPEN SPACE, ENTRANCE ISLAND, AND VEHICULAR CIRCULATION ARE SUBJECT TO MINOR MODIFICATION AS NECESSARY TO ACCOMMODATE SPECIFIC DEVELOPMENT PLANS.
- ALL COMMON AREAS, INCLUDING PRIVATE STREETS, EASEMENTS, AND LANDSCAPED ISLANDS, SHALL BE OWNED AND MAINTAINED BY A HOMEOWNERS ASSOCIATION.
- LANDSCAPING FOR THE COMMUNITY SHALL BE PROVIDED BY THE DEVELOPER IN ORDER TO ESTABLISH A UNIFIED STREETSCAPE. STREET TREE PLANTING SHALL CONSIST OF MINIMUM 2"-2 1/2" CALIPER TREES PLANTED NO MORE THAN 40' APART.
- ALL INDIVIDUAL LOT DEEDS SHALL STATE THAT PRIVATE STREET AND EXTERIOR WALL MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOC.
- PROJECT SHALL BE SCREENED AROUND THE ENTIRE PERIMETER WITH A BRICK WALL AND MAY INCLUDE PORTIONS OF GARAGE WALLS (SEE NOTE #10). WALL HEIGHTS MAY VARY FROM 4' TO 7' (SEE WALL DETAILS) AND MAY BE HIGHER WHERE GARAGE WALLS COMPRISE A PORTION OF THE WALL. BRICK COLUMNS ALONG THE WALL SHALL OCCUR AT INTERVALS NO GREATER THAN 10 FEET. "B" WALL DETAILS ON SHEET R-2 APPLY.
- ADDITIONAL R.O.W. ALONG SARDIS ROAD SHALL BE DEDICATED TO THE CITY OF CHARLOTTE AS DIMENSIONED ON PLANS.
- ALL GARAGES SHALL BE LOCATED AT REAR OF PRIMARY RESIDENCES. IN SOME CASES, GARAGES MAY BE ATTACHED TO THE PRIMARY DWELLING. IN THOSE CASES THE MINIMUM REAR YARD MAY BE LESS THAN 30'; GARAGE WALLS MAY BE INCORPORATED AS PART OF PERIMETER BRICK WALL.
- DEVELOPER SHALL PROVIDE UNDERGROUND CONNECTION TO EXISTING OFFSITE STORM DRAINAGE SYSTEMS IF THE AFFECTED PROPERTY OWNERS PROVIDE THE NECESSARY EASEMENT CONNECTIONS. IN THE EVENT EASEMENTS ARE NOT SECURED, THE DEVELOPER WILL DISCHARGE STORMWATER RUNOFF OVERLAND AT THE EXISTING LOWPOINTS IN ACCORDANCE WITH CHARLOTTE ENGINEERING DEPARTMENT STANDARDS.
- EXISTING TREES ARE RECOGNIZED AS A VALUABLE, DESIRABLE ASSET TO THE OVERALL QUALITY AND IMAGE OF THE DEVELOPMENT. AS SUCH, EXISTING TREES SHALL BE PRESERVED WHEREVER POSSIBLE.
- OUTSIDE THE PERIMETER WALL, ALONG SARDIS ROAD, A COMBINATION OF EXISTING TREES AND NEW PLANTINGS SHALL BE UTILIZED TO ENHANCE THE STREETSCAPE APPEARANCE.
- THE HOMEOWNERS ASSOCIATION DOCUMENTS AND SUBDIVISION DEED RESTRICTIONS SHALL CONTAIN PROVISIONS FOR AN OVERALL, UNIFIED ARCHITECTURAL THEME OF TRADITIONAL APPEARANCE, SUCH AS SHOWN ON SHEET R-2, THROUGH REVIEW AND APPROVAL.
- DUPLEXES WILL BE SEPARATED BY A PROPERTY LINE ALONG THEIR COMMON WALL.
- LOTS 3, 4, 5, 7, 8, AND 10 - 29 SHALL HAVE A MINIMUM REAR YARD FOR THE PRIMARY RESIDENCES OF 50 FEET (EXCLUSIVE OF GARAGE).
- ON-SITE STORM DRAINAGE SYSTEMS SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- PURSUANT TO CHARLOTTE TRANSPORTATION DEPARTMENT REQUIREMENTS, THE DEVELOPER SHALL PROVIDE A LEFT TURN LANE INTO THE PROPOSED DEVELOPMENT FROM WESTBOUND SARDIS ROAD.

GENERAL NOTES - CONTINUED

- OUTSIDE FACE OF PERIMETER WALL "B" SHALL BE AT LEAST 4 FEET FROM ADJACENT PROPERTY LINES UNLESS VARYING THE WALL WITHIN THAT 4 FEET WILL ENABLE THE DEVELOPER TO PRESERVE MATURE, EXISTING VEGETATION. AN EASEMENT ALONG THE PERIMETER WALL SHALL BE PROVIDED TO ENABLE THE HOMEOWNERS ASSOCIATION TO MAINTAIN THE EXTERIOR OF THE WALL AND DRAINAGE SYSTEM ALONG ITS BASE.
- THE HEATED AREA OF PROPOSED DWELLINGS SHALL BE NO LESS THAN 2000 S.F.
- RESIDENCES WILL NOT EXCEED THE CURRENT MAXIMUM HEIGHT OF 40' AS DEFINED IN THE ZONING ORDINANCE.
- GARAGES ON EXTERIOR WALL WILL NOT INCLUDE ANY HEATED SPACE ABOVE THE FIRST FLOOR.
- WHERE SHARED DRIVEWAYS OCCUR, THE NECESSARY EASEMENTS WILL BE RECORDED (i.e. LOTS # 1, 2, 4, 3; LOTS # 17-24).
- THE DEVELOPER AGREES TO PROVIDE FOR THE NEEDED FUNDS FOR RESIGNALIZATION (I.E. NEW TRAFFIC LIGHTS), PHASING AND SEQUENCING, ETC.). THE COSTS INCURRED BY THE DEVELOPER IN THIS REGARD SHALL ONLY BE USED FOR SIGNALIZATION PURPOSES AND SHALL BE CONTRIBUTED NO LATER THAN THE TIME OF ISSUANCE OF THE FIRST BUILDING PERMIT.
- ATTACHED EXTERIOR WOOD DECKS SHALL BE PERMITTED IN THE REQUIRED REAR YARD. FOR THOSE LOTS WHICH MUST OBSERVE A 50' MINIMUM REAR YARD (SEE SITE PLAN) THE DEPTH OF THE DECK SHALL BE RESTRICTED TO 15' FROM THE BACK OF THE HOUSE. PROPOSED DECKS SHALL BE RESTRICTED TO 30" IN HEIGHT.

5/15/90 MODIFIED NOTE #25
4/9/90 ADDED NOTE #25
11/28/88 MODIFIED NOTE #24
11/15/88 ADD NOTE #24
REV 10/6/88 PER NEIGHBORHOOD AND PLANNING STAFF REVIEW
NOTE: LOT DIMENSIONS ARE APPROXIMATE ONLY.

DEVELOPMENT DATA

TOTAL SITE AREA 9.09 ACRES
EXISTING ZONING R-15
PROPOSED ZONING R-20MF (INNOVATIVE)
MAXIMUM # UNITS PROPOSED 36
DWELLING UNITS PER ACRE 3.96
PROPOSED USE: SINGLE FAMILY DETACHED AND SEMI-DETACHED HOUSING

MINIMUM DEVELOPMENT STANDARDS

LOT SIZE 6000S.F.
SETBACK 12' (FROM PRIVATE STREET R/W)
BUILDING SEPARATION 12'
REAR YARD (PRIMARY RESIDENCE) 30' (EXCLUDES GARAGE - SEE NOTE #10)
NOTE: FOR MAXIMUM SITE FLEXIBILITY SOME ZERO LOT LINE PLACEMENT MAY BE UTILIZED IN ACCORDANCE WITH ORDINANCE PROVISIONS. (SEC. #3214)
SIDEYARD SETBACK - CORNER 10'

ST. MICHAELS
FOR LAND SHAPES, INC.

scale: 1"=40'
date: 8/29/88
project: #8810

REZONING SITE PLAN

TURNBULL DESIGN GROUP, P.A.
1815 PARK DRIVE, SUITE 206
CHARLOTTE, NORTH CAROLINA 28204
(704)375-8154

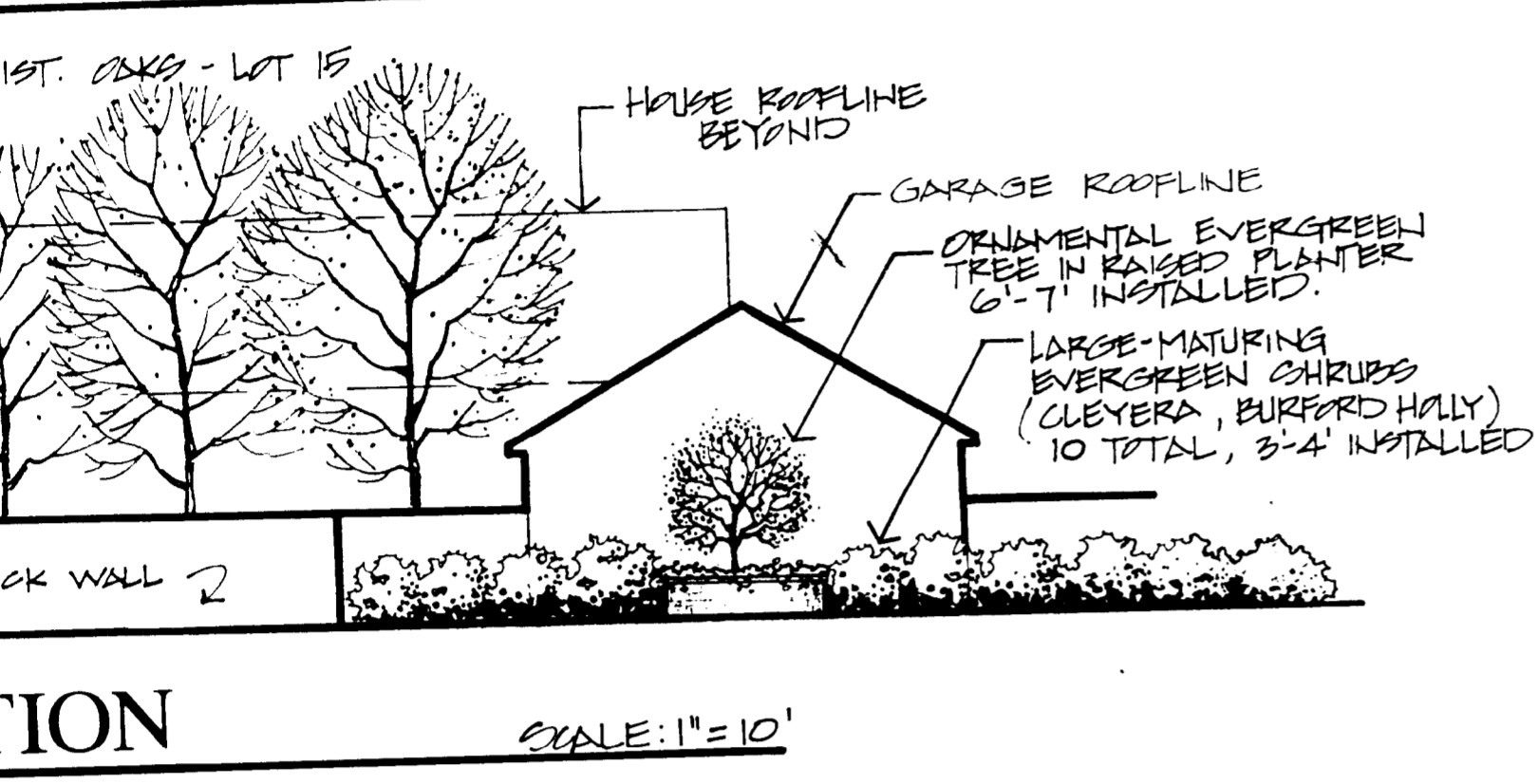
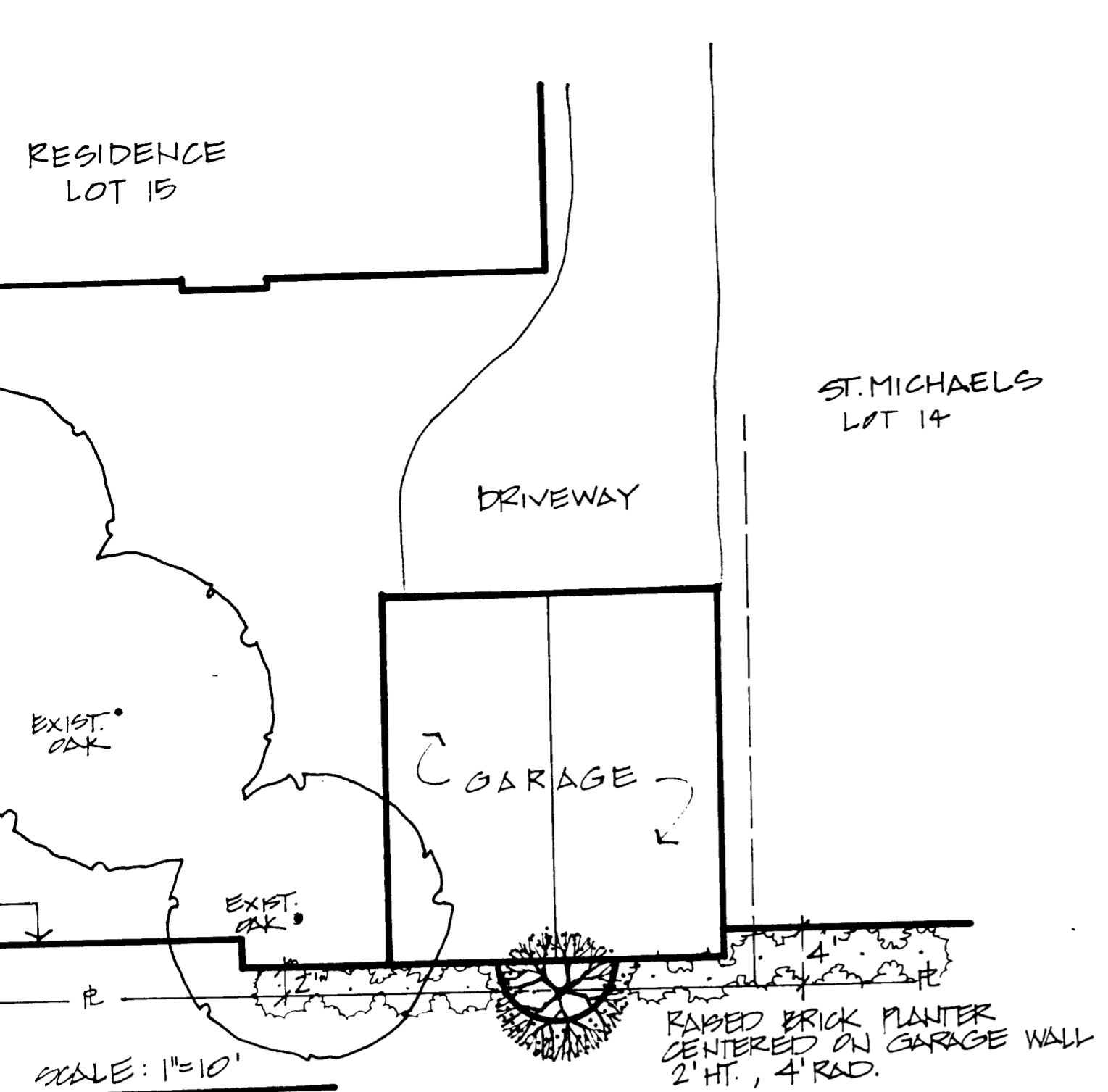
R-1

CHARLOTTE-MECKLENBURG PLANNING COMMISSION INTER-OFFICE COMMUNICATION

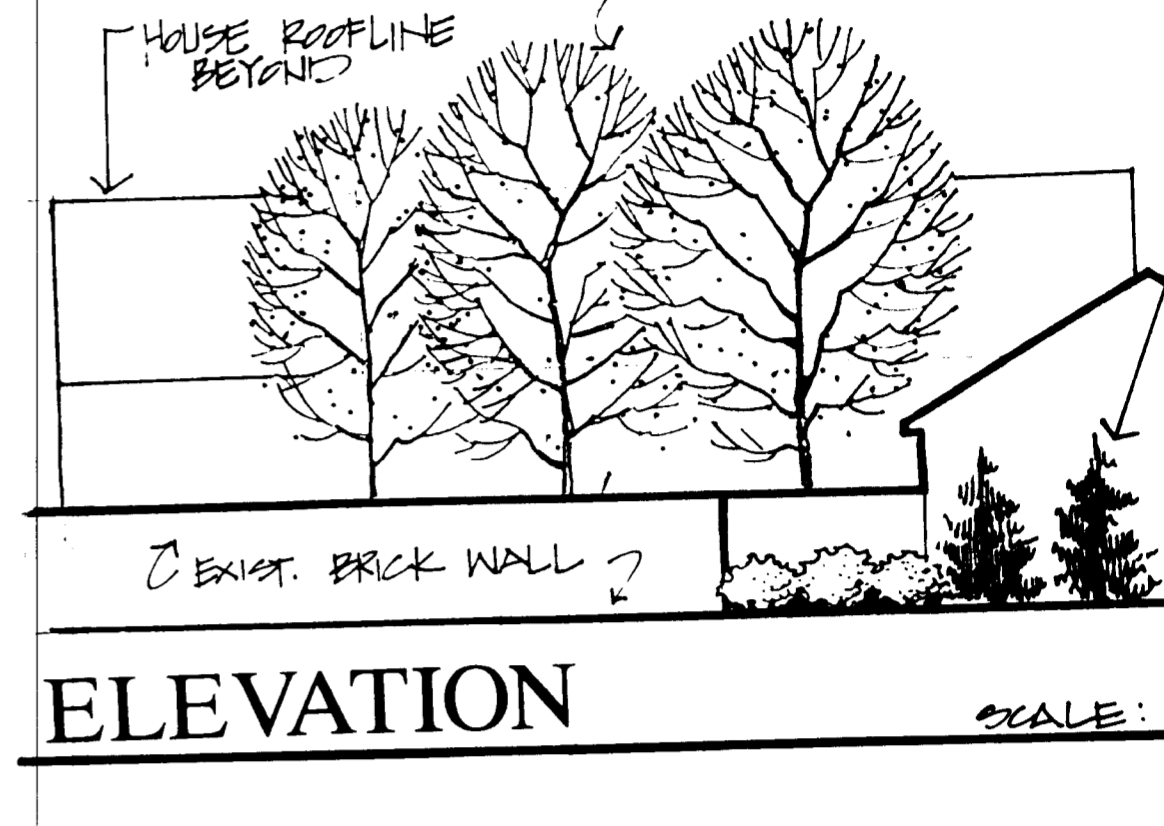
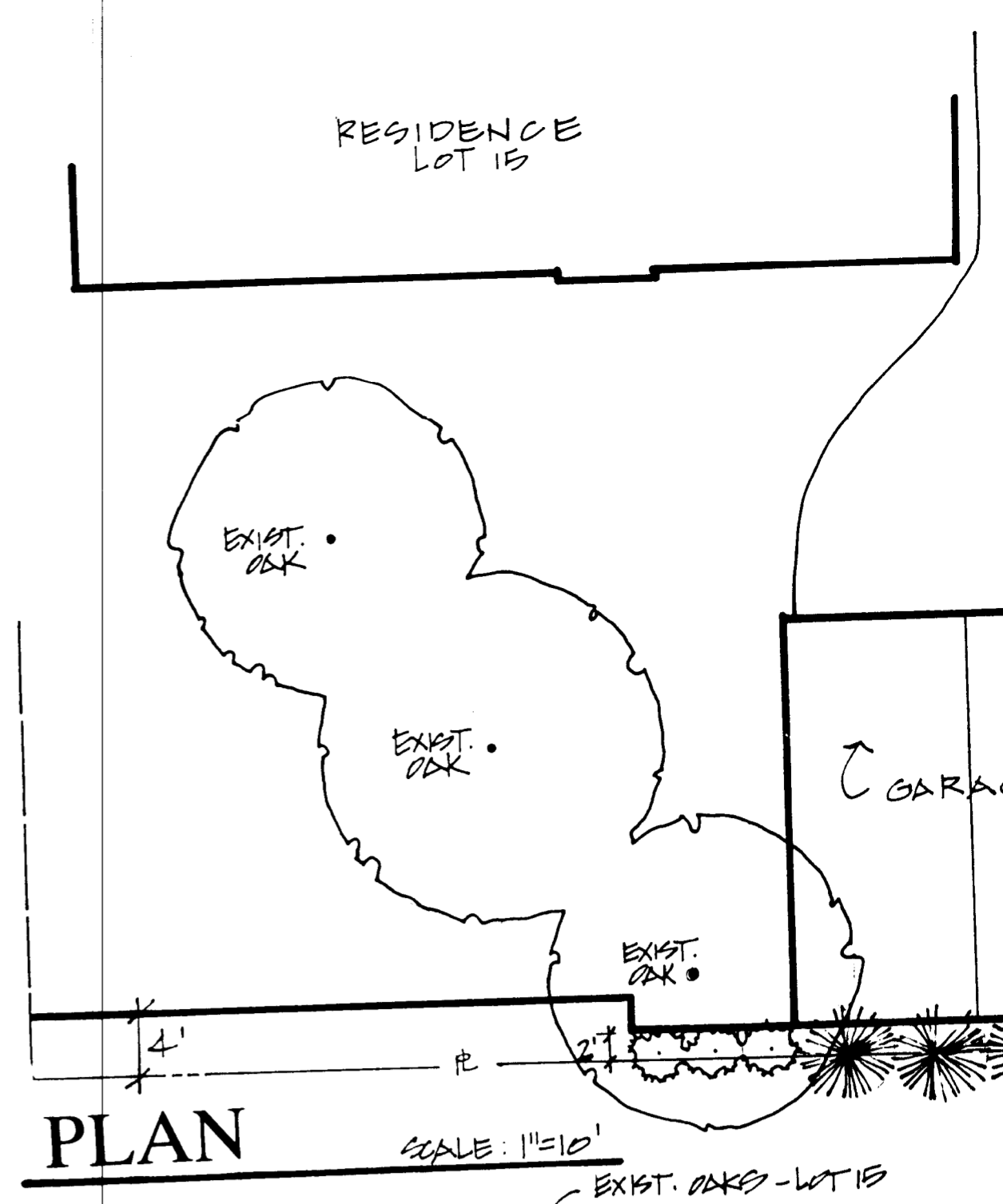
DATE: June 13, 1990
FROM: Martin P. Cantor, Planning Director
TO: Robert Brandon, Zoning Administrator
SUBJECT: Zoning Committee Approval of Modifications to Petition #88-82 by Land Shapes, Inc. Tax Parcel #187-022-34, 35, 36

On May 29 the Zoning Committee of the Planning Commission amended the R-20MF plan for St. Michaels to allow wooden decks to extend up to 15 feet into the 50 foot rear yard along the exterior boundary of the site. The height of the decks was also limited to a maximum of 30 inches above grade. Please use this revised plan when evaluating requests for building permits.

MRC/KJM:sls

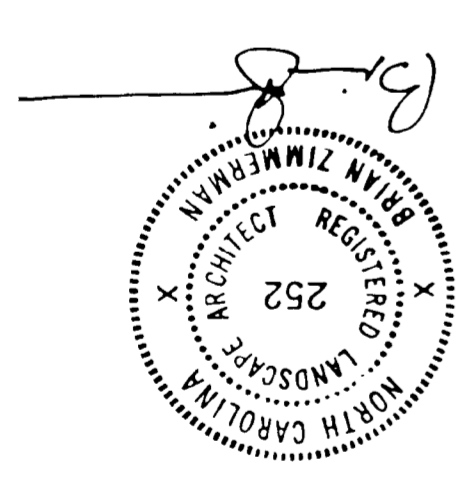


Alternate "A"



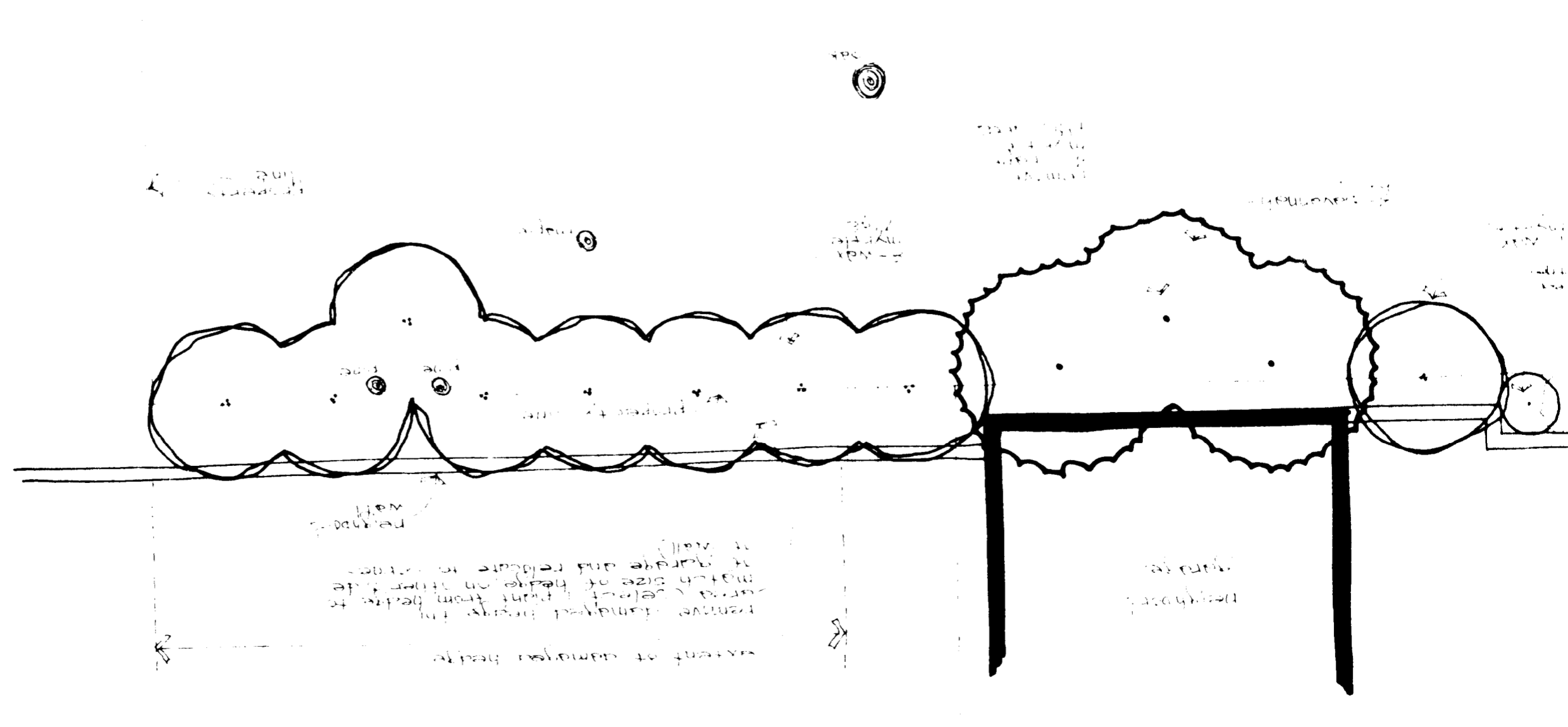
Alternate "B"

MICHAELS - LOT 15



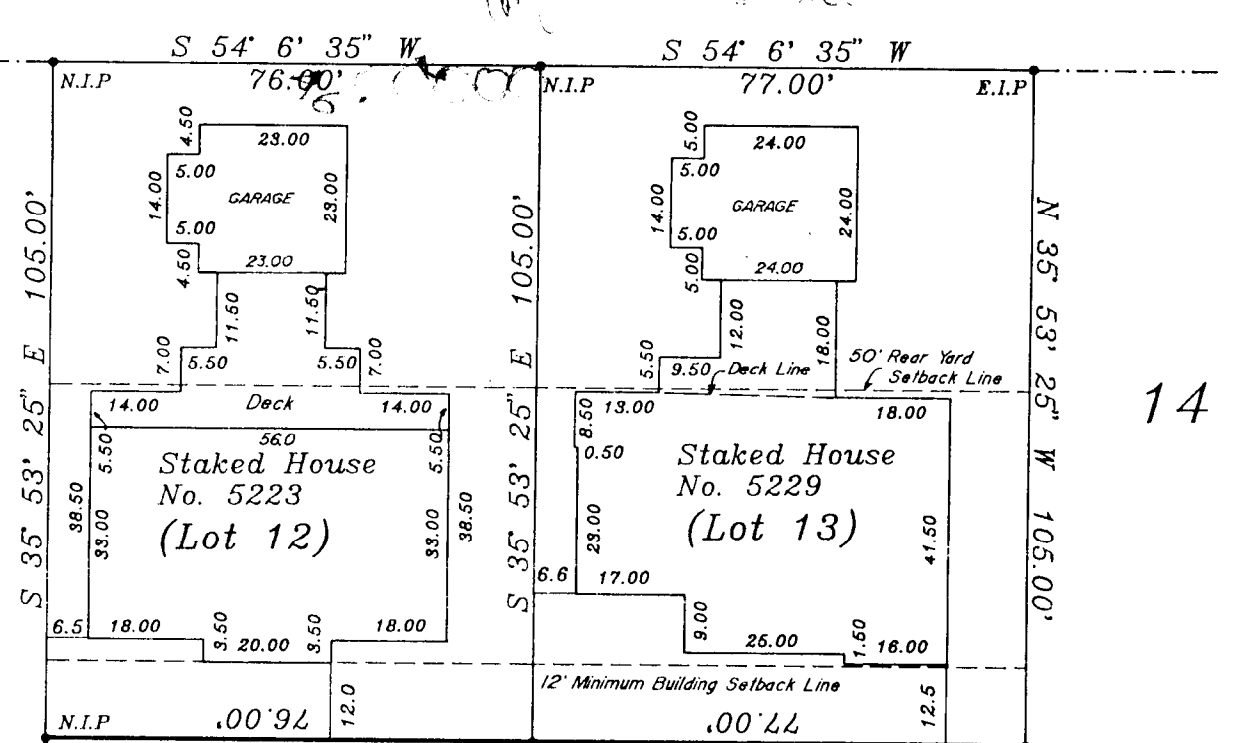
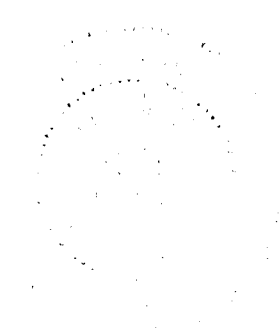
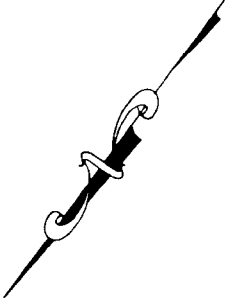
ZIMMERMAN • LINDBERG
 landscape architecture
 1924 CLEVELAND AVENUE
 CHARLOTTE • NC 28203
 704 • 332 • 9184

Planting detail for
 Mrs Bill Taylor Residence
 11500 Fisher Road
 Charlotte, North Carolina



THIS IS TO CERTIFY THAT ON THE 11th DAY OF September 1990 I SURVEYED THE PROPERTY SHOWN ON THIS PLAT, AND THAT THE TITLE LINES AND THE WALLS OF THE BUILDINGS IF ANY ARE AS SHOWN HEREON.

SIGNED C. Clark Nylan
R. B. PHARR & ASSOCIATES, REGISTERED SURVEYORS
212 EAST INDEPENDENCE BLVD.
CHARLOTTE, N.C. 28204
TEL. (704) 376-2106



Haynes Hall Place
(30' R/W)

Haynes Hall
Place (30' R/W)

Physical SURVEY
OF
Lots 12 & 13, Saint Michael's

SCALE 1"=30'
THE PROPERTY OF Tony Lee Builder
MAP RECORDED IN BOOK 23 AT PAGE 600 DEED RECORDED IN BOOK _____ PAGE _____

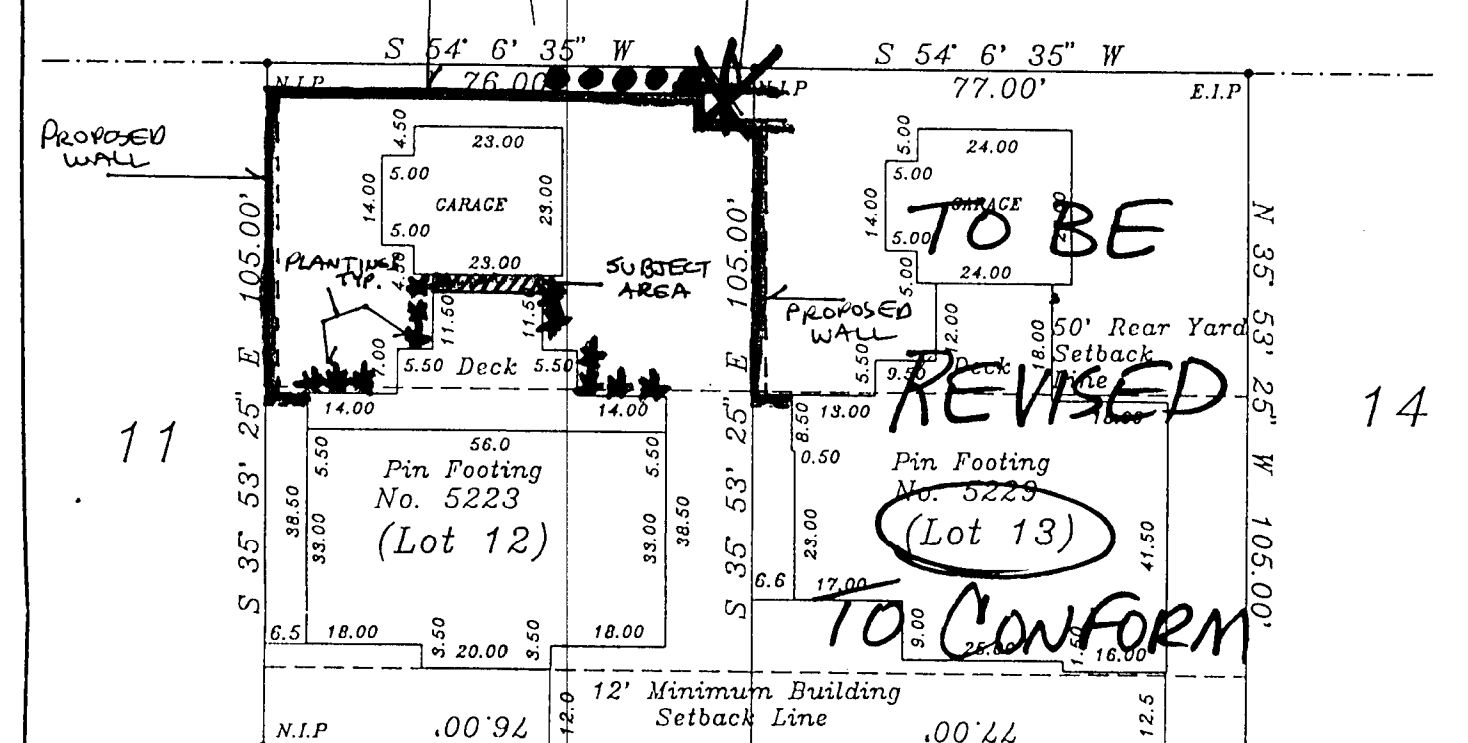
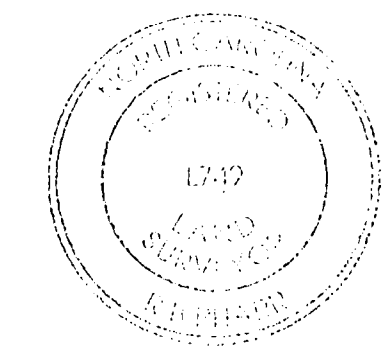
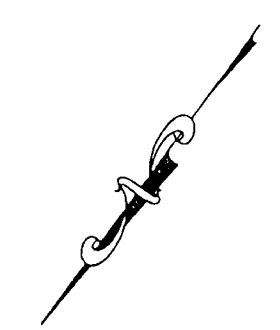
16715

Tax code 187-022-part of 34

THIS IS TO CERTIFY THAT ON THE 11th DAY OF September 1990 I SURVEYED THE PROPERTY SHOWN ON THIS PLAT, AND THAT THE TITLE LINES AND THE WALLS OF THE BUILDINGS IF ANY ARE AS SHOWN HEREON.

SIGNED R. B. Pharr
R. B. PHARR & ASSOCIATES, REGISTERED SURVEYORS
212 EAST INDEPENDENCE BLVD.
CHARLOTTE, N.C. 28204
TEL. (704) 376-2106

Revised to show Pin Footing on September 17th, 1990



Haynes Hall Place
(30' R/W)

Haynes Hall
Place (30' R/W)

Physical SURVEY
OF
Lots 12 & 13, Saint Michael's

SCALE 1"=30'
THE PROPERTY OF Tony Lee Builder
MAP RECORDED IN BOOK 23 AT PAGE 600 DEED RECORDED IN BOOK _____ PAGE _____

16715

Tax code 187-022-part of 34

By Synergy Software Systems (704) 532-1088

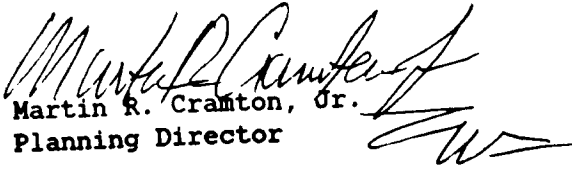
By Synergy Software Systems (704) 532-1088

**CHARLOTTE-MECKLENBURG
PLANNING COMMISSION**

INTER-OFFICE COMMUNICATION

DATE: June 19, 1991

FROM:


Martin R. Cramton, Jr.
Planning Director

TO: Robert Brandon
Zoning Administrator

SUBJECT: Zoning Committee approval a of change to the R-20MF plan
at St. Michael's for lot 12 only. Part of petition #88-82 by Land
Shapes, Tax Parcel #187-022-34, 35, 36

The Zoning Committee at its May 21st meeting modified the conditions of the R-20MF plan for St. Michael's to allow a patio on lot 12 to extend 18.5 feet into the rear yard as shown on the attached plan. However, this modification does not apply to lot #13 or any other lot within the development. The pin footings installed on lot 13 must be modified to comply with the conditional plan as approved by Zoning Committee on May 29th, 1990.

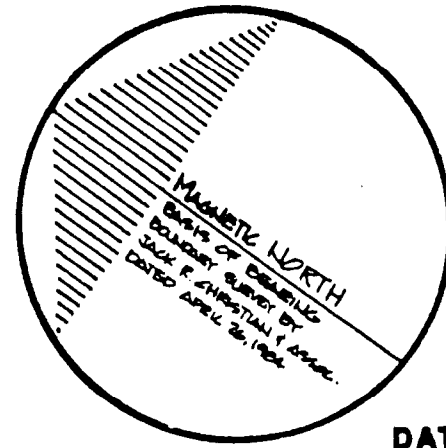
Attached is a physical survey for lot #12 at St. Michael's. This survey shows approximately where a line of leyland cypress 5 feet on center 10 to 12 feet in height are to be planted. These leyland cypress were required by the Zoning Committee to help offset the extension of the patio.

MRCjr/KHM/sls

Attachment

DATE: July 31, 1997

FROM: *Martin R. Cramton, Jr.*
Martin R. Cramton, Jr.
Planning Director



DATE: SEPTEMBER 11, 1989

SCALE: 1" = 60'

A PLAT SHOWING

SAINT MICHAELS
CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA
PROPERTY OF ST. MICHAELS ASSOCIATES

9.09 ACRES



ROBERT E. REMBERT
N.C.R.L.S. #1055
514 LOUISE AVENUE
CHARLOTTE, N.C. 28204

ZONING: R-20MF (INNOVATIVE)

Lot size: 6000 Sq. Ft. (Min)
Setback: 12' (From private street RW)
Building separation: 12'
Rearyard (Primary residence): 30' except as shown on plat
Sideyard setback-corner: 10'

Notes:

- The maintenance of all drainage systems located within a public drainage easement, common areas and planters are the responsibility of the Saint Michaels Homeowners Association per their recorded "Declaration of Covenants".
- Maintenance of all driveway easements to be the responsibility of the affected property owners.

NOTES:

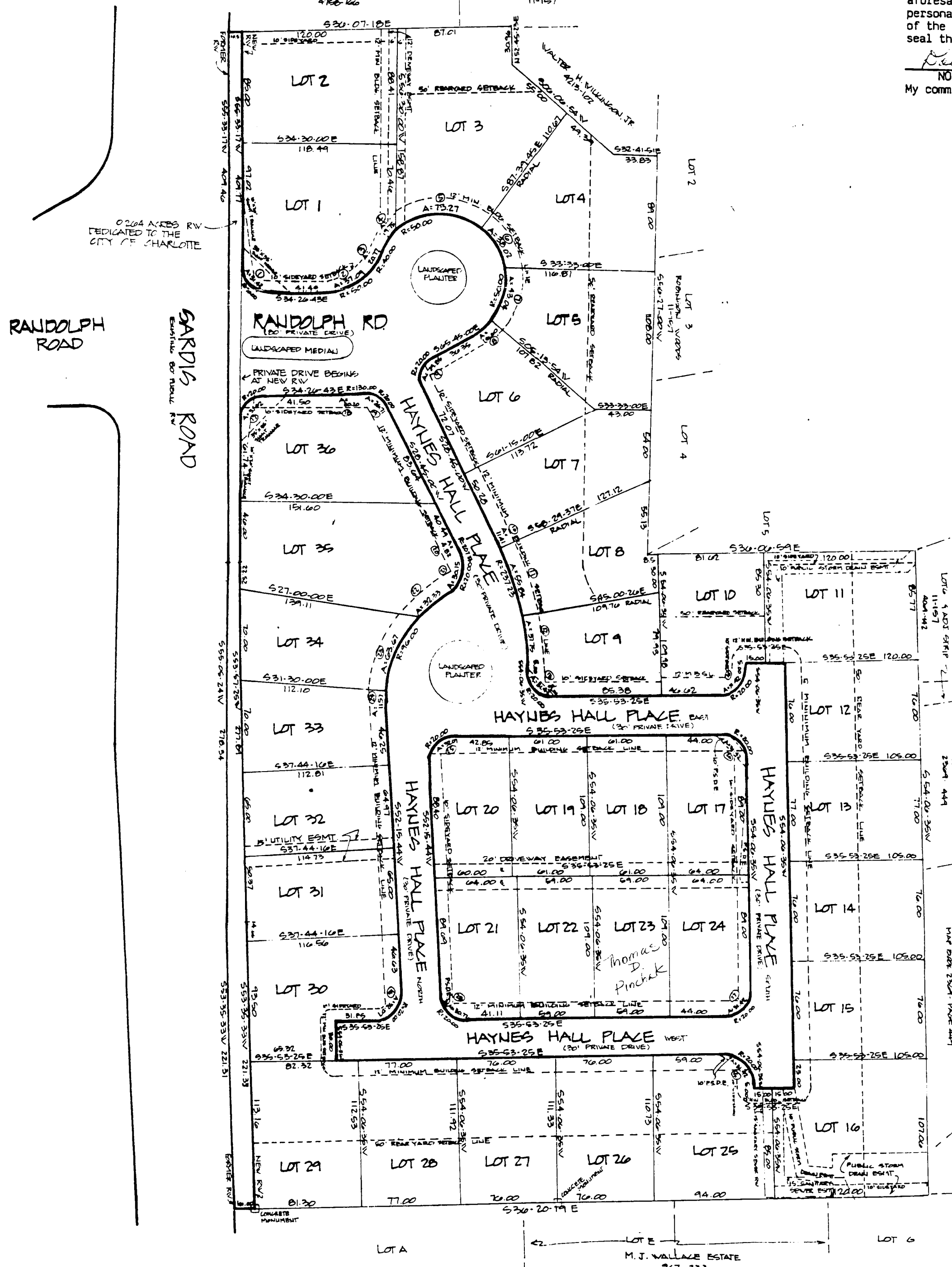
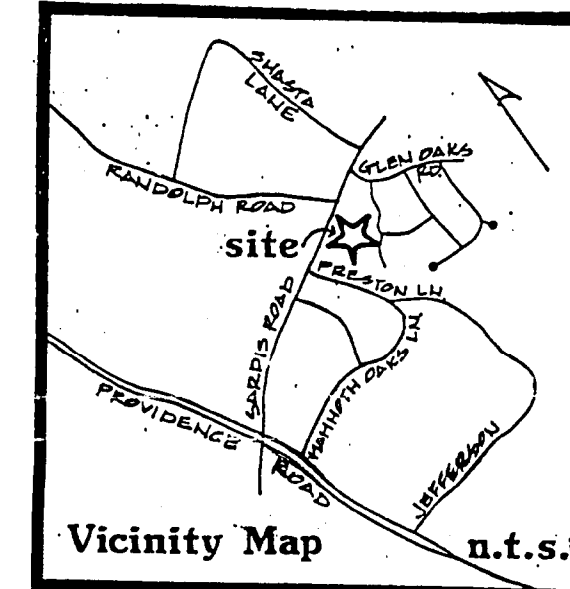
- Iron pins at all lot corners unless otherwise indicated.
- Direct vehicular access to Sardis Rd. from lots 1, 2, 29-36 is prohibited.
- All common areas including private streets, easements, and landscaped islands shall be owned and maintained by a Homeowners Association.
- ALL INDIVIDUAL LOT DEEDS SHALL STATE THAT PRIVATE STREET AND EXTERIOR WALL MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION, AND IT SHALL BE SO STATED IN THE RECORDED DECLARATION OF COVENANTS.

ROBERT E. REMBERT
REGISTERED LAND SURVEYOR; BEING DULY SWORN, DEPOSES AND SAYS THAT THE PLAT UPON WHICH THIS CERTIFICATE APPEARS WAS PREPARED IN ACCORDANCE WITH G.S. 47-30, AS AMENDED, AND IS IN ALL RESPECTS CORRECT ACCORDING TO THE BEST OF HIS KNOWLEDGE AND BELIEF AND WAS PREPARED FROM AN ACTUAL SURVEY MADE BY HIM ON THIS 11TH DAY OF SEPTEMBER, 1989 WITH A MAXIMUM ERROR OF LINEAR CLOSURE OF 1"=10,000' AND A MAXIMUM FIELD ERROR OF ANGULAR CLOSURE OF 7.5 SEC. / ANGLE.

SIGNED: *Robert E. Rembert*
ROBERT E. REMBERT

I, *Robert E. Rembert*, a notary public of the county and state aforesaid, certify that Robert E. Rembert, a registered land surveyor, personally appeared before me this day and acknowledged the execution of the foregoing instrument. Witness my hand and my official stamp or seal this 18th day of *Sept*, 1997.

Robert E. Rembert
NOTARY PUBLIC
My commission expires *2-3-90*



#	BEARS	LENGTH	BEARING	CHORD DISTANCE
1	30.00	31.42	S 81° 14' 17" W	34.29
2	30.00	31.29	S 81° 14' 17" W	34.29
3	30.00	31.29	S 81° 14' 17" W	34.29
4	30.00	31.29	S 81° 14' 17" W	34.29
5	30.00	31.29	S 81° 14' 17" W	34.29
6	30.00	31.29	S 81° 14' 17" W	34.29
7	30.00	31.29	S 81° 14' 17" W	34.29
8	30.00	31.29	S 81° 14' 17" W	34.29
9	30.00	31.29	S 81° 14' 17" W	34.29
10	30.00	31.29	S 81° 14' 17" W	34.29
11	30.00	31.29	S 81° 14' 17" W	34.29
12	30.00	31.29	S 81° 14' 17" W	34.29
13	30.00	31.29	S 81° 14' 17" W	34.29
14	30.00	31.29	S 81° 14' 17" W	34.29
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19	30.00	31.29	S 81° 14' 17" W	34.29
20	30.00	31.29	S 81° 14' 17" W	34.29
21	30.00	31.29	S 81° 14' 17" W	34.29
22	30.00	31.29	S 81° 14' 17" W	34.29
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25	30.00	31.29	S 81° 14' 17" W	34.29
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28	30.00	31.29	S 81° 14' 17" W	34.29
29	30.00	31.29	S 81° 14' 17" W	34.29
30	30.00	31.29	S 81° 14' 17" W	34.29
31	30.00	31.29	S 81° 14' 17" W	34.29
32	30.00	31.29	S 81° 14' 17" W	34.29
33	30.00	31.29	S 81° 14' 17" W	34.29
34	30.00	31.29	S 81° 14' 17" W	34.29
35	30.00	31.29	S 81° 14' 17" W	34.29
36	30.00	31.29	S 81° 14' 17" W	34.29

Robert E. Rembert 9/31/89
Notary Public
My commission expires 2-3-90

State of North Carolina, County of Mecklenburg
The foregoing certificate(s) of
Dorothy P. Honeycutt
a Notary Public (is) (are) certified
to be correct.
This 21st day of FEBRUARY 1990
Signed: *Dorothy P. Honeycutt* Deputy

R-20MF 12 min
NE MF
side 4d 5'