

PARKING				
SPACE	RETAIL/OFFICE AREAS	DIVISOR	EMP.	CARS REQ'D.
EXIST. BLDG. #1	19,972 #	200	10	102.86
EXIST. BLDG. #2	5,040 #	200	12	31.2
EXIST. BLDG. #3	(4 CAR SPACES)		8	12
EXIST. BANK BLDG.	1016 #	100	-	10.16
NEW BLDG. PHASE I	24,336 #	200	10	129.68
				TOTAL REQUIRED - 291.90
				SUPPLIED - 618

ATTACHED TO ADMINISTRATIVE APPROVAL
 DATED: 5/28/89
 BY: MARTIN E. CRANTON, JR.

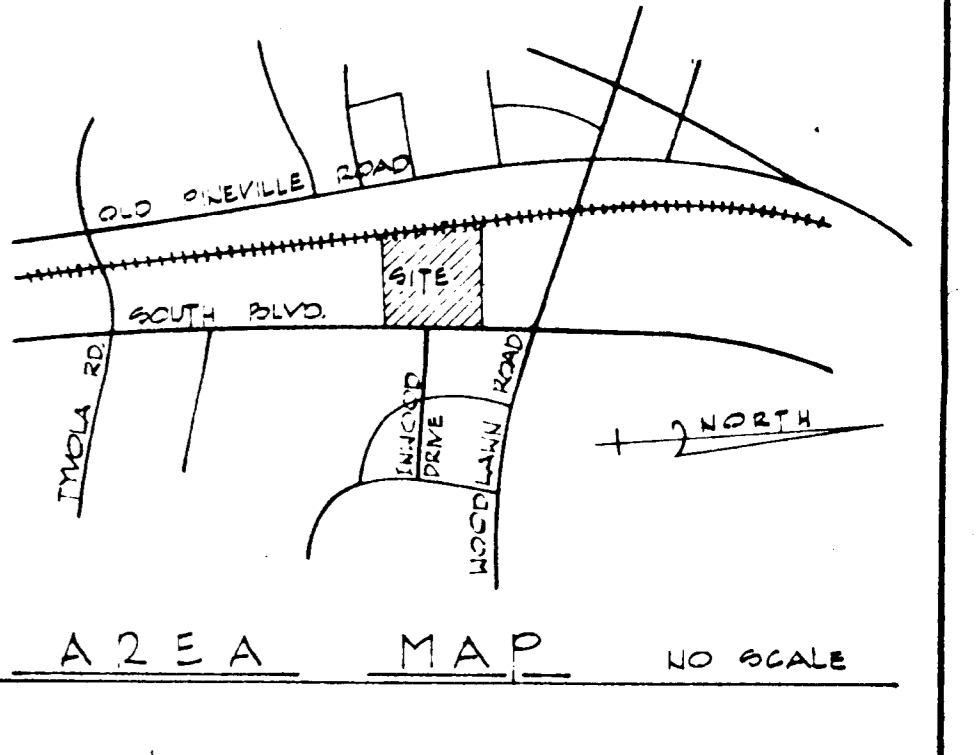
CONDITIONS & NOTES

- BOUNDARY AND TOPOGRAPHICAL INFORMATION TAKEN FROM INFORMATION SUPPLIED BY THE OWNER AND FREQUENTLY TAKEN FROM SURVEY PREPARED BY THOMAS D. TURNER, CATAWBA LAND SURVEYORS, PINEVILLE, NORTH CAROLINA, DATED JUNE 11, 1980.
- ALL SITE SIGNS SHALL CONFORM TO CITY/COUNTY ZONING ORDINANCE REQUIREMENTS.
- FINAL PARKING LAYOUT AND ENTRANCES TO PARKING LOT ARE SUBJECT TO MINOR FIELD ADJUSTMENTS TO MEET ZONING ORDINANCES, ARCHITECTS PLAN AND/OR CITY/COUNTY STANDARD DETAILS.
- FINAL PLAN WILL ADHERE TO REQUIREMENTS OF CITY TREE ORDINANCE AS PERTAINS TO PLANTING ALONG STREET RIGHT OF WAY AND INTERIOR PLANTING/OPEN SPACES.
- LAYOUT OF FINAL BUILDING ENTRANCES ARE SUBJECT TO MINOR ADJUSTMENTS TO ACCOMMODATE WISHERS OF THE TENANT.
- EXISTING CONTOURS SHOWN - EXISTING PAVING WILL BE RESURFACED - GRADES WILL BE ALTERED ONLY SLIGHTLY AT THE PERIMETER OF THE BUILDING.
- ESTIMATED COMPLETION DATE OF PROJECT -
- CITY OF CHARLOTTE WATER AND SEWER ARE AVAILABLE ON SITE.
- FIRE HYDRANT LOCATIONS SHOWN ARE APPROXIMATE - LOCATIONS WILL COMPLY WITH CITY STANDARDS.
- WATER DETENTION SHALL BE AT THE REAR OF THE BUILDINGS.
- BUILDING AREAS SHALL BE PLUS OR MINUS TO ALLOW FOR USE OF STANDARD PRE-ENGINEERED COMPONENTS.
- PLANTING OF THE SIX (6) TREES IN THE TEMPORARY PAVING AREA WILL BE DELAYED 18 MONTHS BEYOND THE PLANTING OF THE PERMANENT TREES. AT THAT TIME IF PHASE II IS NOT UNDER WAY, THE SIX (6) ADDITIONAL TREES WILL BE PLANTED IN COMPLIANCE WITH THE ORDINANCE.

ZONING B-1 SCD
 (TOTAL SITE AREA - 11.19 ACRES)

LANDSCAPING AND OPEN AREAS

PAVING AREA PERMANENT	20,420 #	TEMPORARY	60,316 #
NEW BUILDING AREA	30,420 #		
EXISTING BUILDING AREA	68,512 #		
TOTAL IMPERVIOUS AREA	421,546 #		
FUTURE R/W AREA	15,291 #		



INTERIOR OPEN LANDSCAPING AREA REQUIRED
 47,452.5% (1,075) REQUIRED
 OPEN AREA INSTALLED - 22,753.3

NOTE: ALL STOP SIGNS INDICATED ON PLAN SHALL BE R-1, 30" X 30"

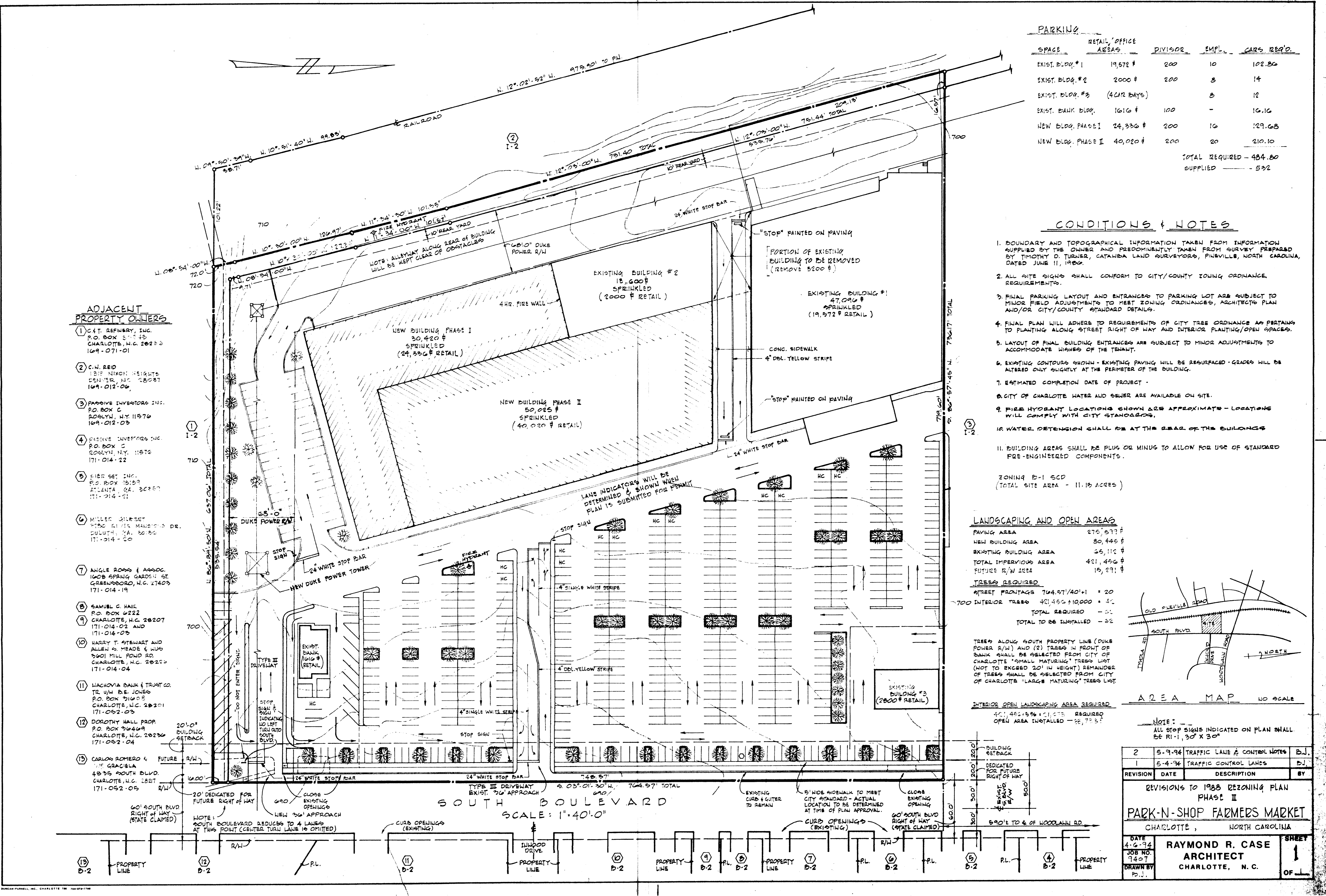
REVISION	DATE	DESCRIPTION	BY
2	5-9-84	TRAFFIC LANE NOTE	B.J.
1	5-4-84	TRAFFIC CONTROL LANES	D.J.

REVISIONS TO 1985 ZONING PLAN
 PHASE I

PARK-N-SHOP FARMERS MARKET
 CHARLOTTE, NORTH CAROLINA

DATE: 5/28/89
 JOB NO.: 7487
 DRAWN BY: R.C.
 SHEET: 1 OF 1

RAYMOND R. CASE
 ARCHITECT
 CHARLOTTE, N. C.



PARKING				
SPACE	RETAIL/OFFICE AREAS	DIVISOR	EMP.	CARS REQ'D.
EXIST. BLDG. #1	19,972 #	200	10	102.86
EXIST. BLDG. #2	2,000 #	200	8	14
EXIST. BLDG. #3	(4 CAR SPACES)		8	12
EXIST. BANK BLDG.	1016 #	100	-	10.16
NEW BLDG. PHASE I	24,336 #	200	10	129.68
NEW BLDG. PHASE II	40,020 #	200	20	210.10
				TOTAL REQUIRED - 484.80
				SUPPLIED - 592

ATTACHED TO ADMINISTRATIVE APPROVAL
 DATED: 5/28/89
 BY: MARTIN E. CRANTON, JR.

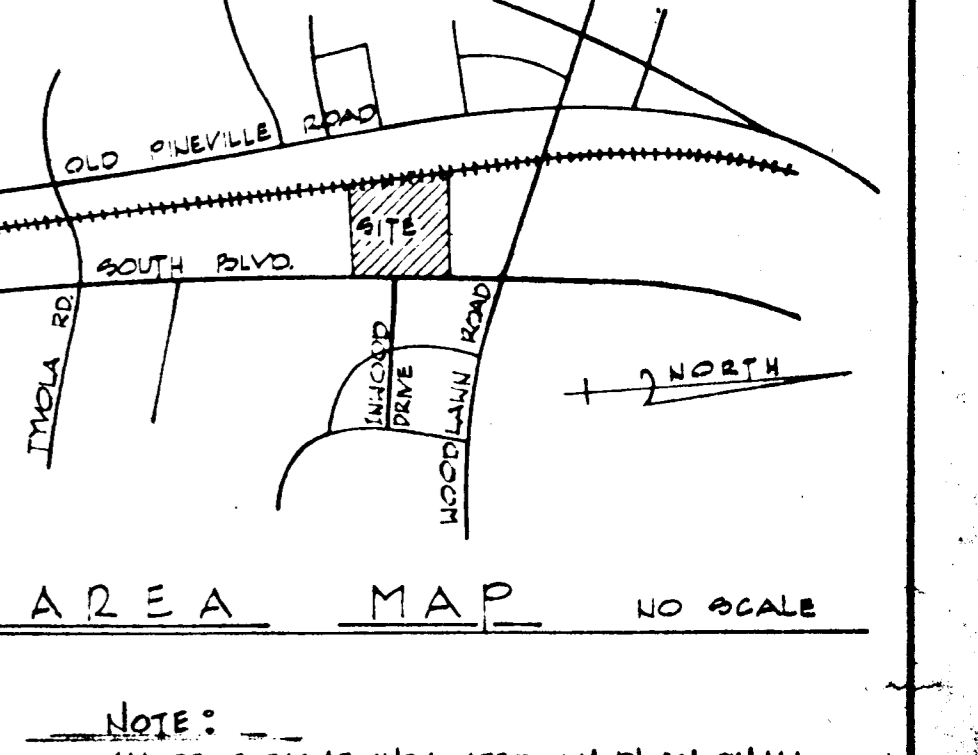
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ZONING B-1 SCD
 (TOTAL SITE AREA - 11.19 ACRES)

LANDSCAPING AND OPEN AREAS

PAVING AREA	876,577 #
NEW BUILDING AREA	50,445 #
EXISTING BUILDING AREA	56,112 #
TOTAL IMPERVIOUS AREA	421,456 #
FUTURE R/W AREA	15,291 #



INTERIOR OPEN LANDSCAPING AREA REQUIRED
 47,452.5% (1,075) REQUIRED
 OPEN AREA INSTALLED - 22,753.3

NOTE: ALL STOP SIGNS INDICATED ON PLAN SHALL BE R-1, 30" X 30"

REVISION	DATE	DESCRIPTION	BY
2	5-9-84	TRAFFIC LANE & CONTROL NOTES	B.J.
1	5-4-84	TRAFFIC CONTROL LANES	D.J.

REVISIONS TO 1985 ZONING PLAN
 PHASE II

PARK-N-SHOP FARMERS MARKET
 CHARLOTTE, NORTH CAROLINA

DATE: 5/28/89
 JOB NO.: 7487
 DRAWN BY: R.C.
 SHEET: 1 OF 1

RAYMOND R. CASE
 ARCHITECT
 CHARLOTTE, N. C.

**CHARLOTTE - MECKLENBURG
PLANNING COMMISSION**

88-83

INTER - OFFICE COMMUNICATION

TO: Robert Brandon
Zoning Administrator

DATE: May 24, 1994

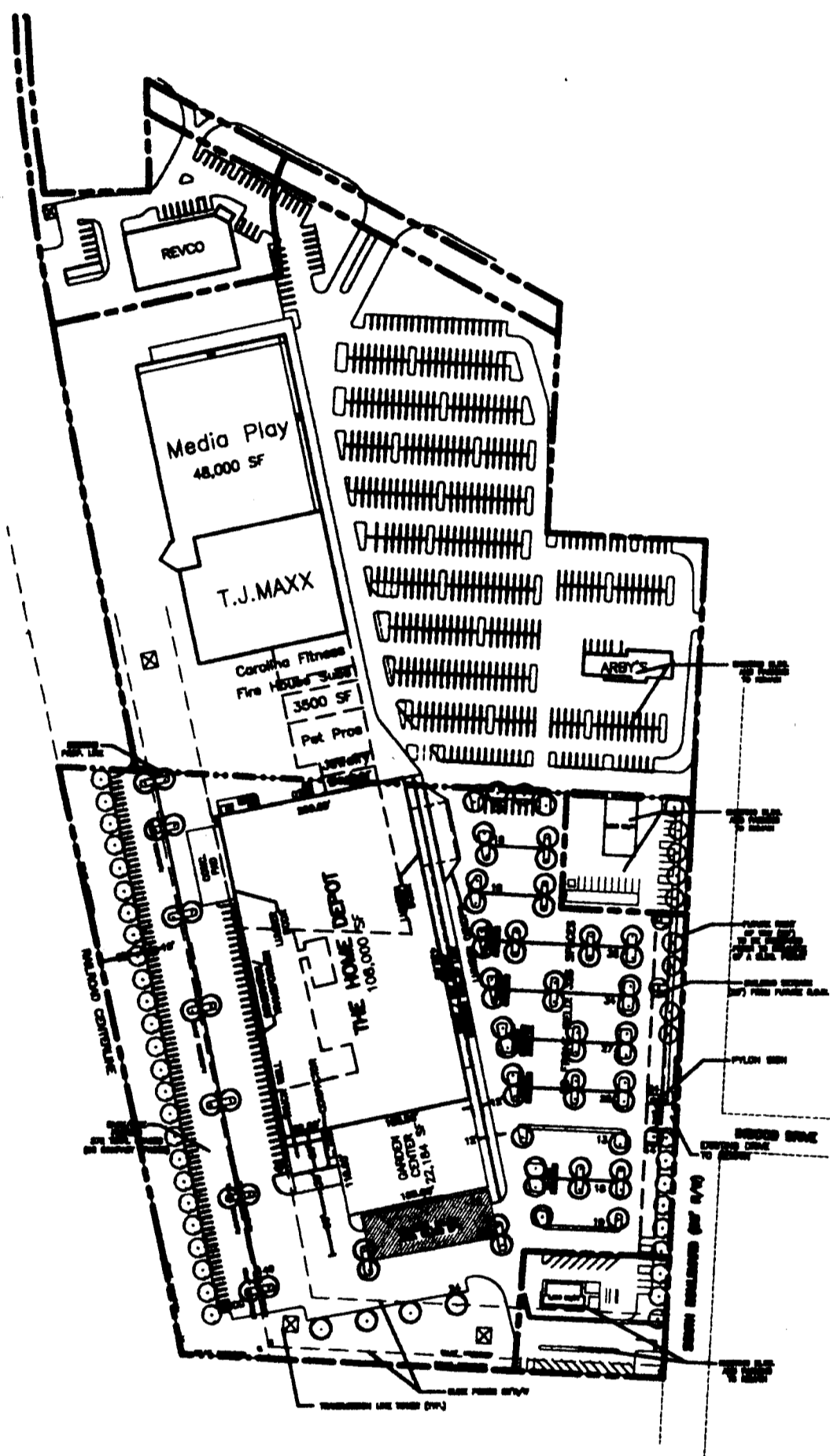
FROM: *Martin R. Cramton, Jr.*
Martin R. Cramton, Jr. *z.h.m.*
Planning Director

SUBJECT: Administrative Approval for petition 88-83 By C.N. Centers Tax Parcel # 169-012-02,07,08

Attached is a set of revised plans for the above mentioned rezoning petition. This set of revised plans shows how the shopping center will be developed in phases. This phased development will comply with the size and yard requirements of the originally approved conditional plan. Since these changes are minor I am administratively approving this revised plan. Please use this plan when evaluating requests for building permits and certificates of occupancy.

CONDITIONS AND NOTES:

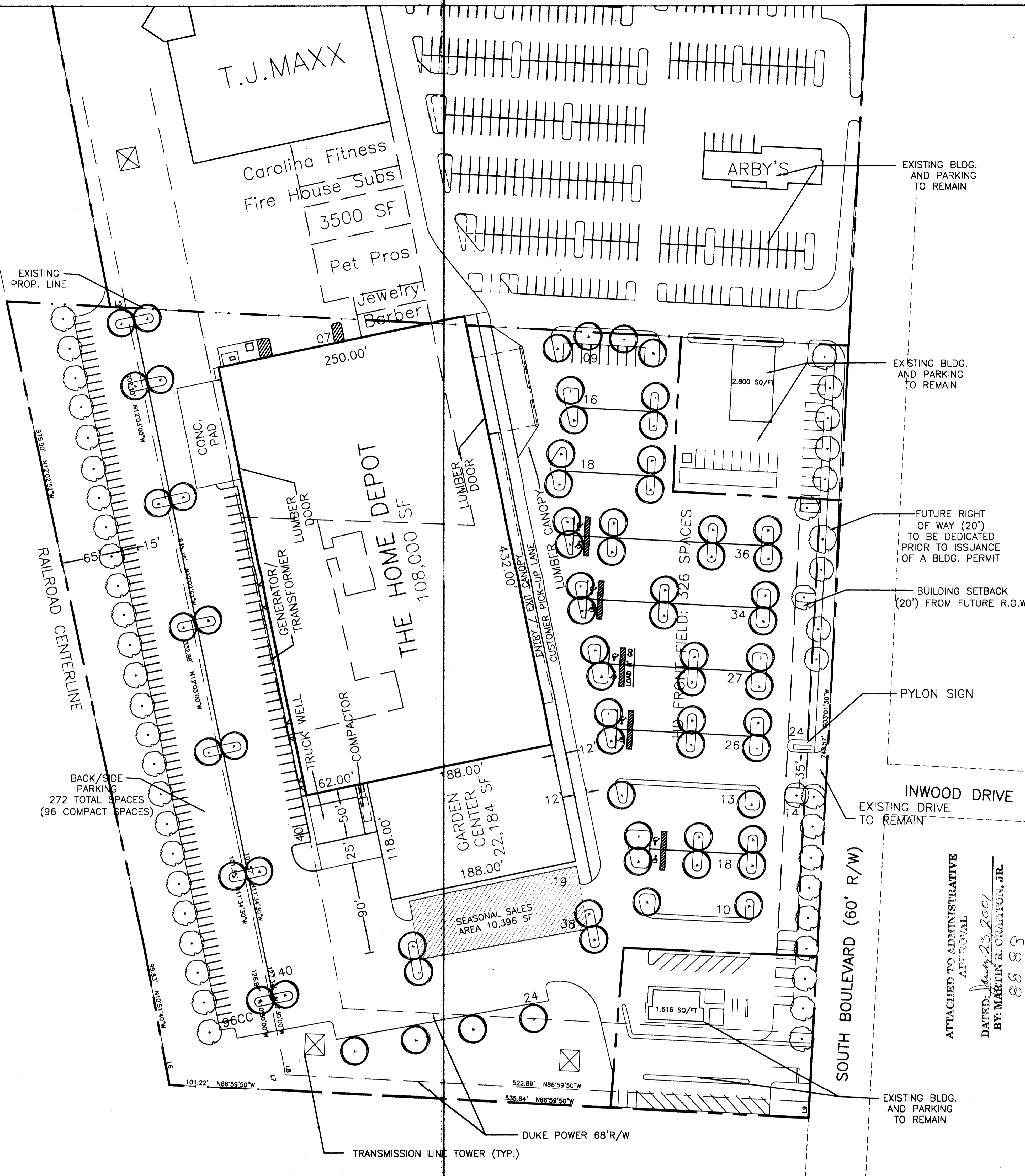
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- CITY OF CHARLOTTE WATER AND SEWER ARE AVAILABLE ON SITE.
- FIRE HYDRANT LOCATIONS SHOWN ARE APPROXIMATE - LOCATIONS WILL COMPLY WITH CITY STANDARDS.
- THE PLAN WILL CONFORM TO THE PROVISIONS OF SECTION 3210.3 OF THE CITY ZONING ORDINANCE. (1962 AS AMENDED THROUGH 12/31/1991)



AREA MAP

SCALE: 1"=200'-0"

PETITION NUMBER: 88-83



ATTACHED TO ADMINISTRATIVE APPROVAL
 DATED: January 23, 2001
 BY: MARTIN R. CRAMTON, JR.
 88-83

PROJECT INFORMATION

SITE AREA

THE HOME DEPOT	±11.64 ACRES
SPEEDY LUBE PARCEL	±.58 ACRES
PAPA JOHN'S PARCEL	±.71 ACRES
TOTAL	12.93 ACRES

BUILDING AREA

THE HOME DEPOT	108,000 SF
GARDEN CENTER	22,184 SF
SEASONAL SALES	10,396 SF
PAPA JOHN'S PIZZA	1,616 SF
SPEEDY LUBE	2,800 SF
TOTAL	144,996 SF

PARKING SUMMARY

USER	RATIO REQUIRED	SPACES REQ'D	SPACES PROVIDED
THE HOME DEPOT	1 SP/250 SF	432	440
GARDEN CENTER	1 SP/250 SF	89	89
SEASONAL SALES	1 SP/250 SF	42	42
TOTAL		563	571

HOME DEPOT RATIO PROVIDED 1 SP/246 SF
 HOME DEPOT FRONT FIELD PROVIDED 326 SPACES

ZONING CLASSIFICATION

JURISDICTION CITY OF CHARLOTTE
 EXISTING ZONING B-1SCD



LOCATION MAP

PROJECT NOTES

- THIS CONCEPTUAL SITE PLAN IS FOR PLANNING PURPOSES ONLY. SITE SPECIFIC INFORMATION SUCH AS EXISTING CONDITIONS, ZONING, PARKING LANDSCAPE REQUIREMENTS MUST BE VERIFIED.
- THIS SITE PLAN IS BASED ON SITE INFO. OBTAINED FROM 'FIRE WALL & REEROOFING PLAN' DRAWN BY RAYMOND R. CASE ARCHITECTURE, 02/27/98, AND AERIAL, AND TAX INFO. FROM CHARLOTTE, NC GIS WEBSITE, NO DATE.
- ALL CURB CUTS AND TRAFFIC SIGNALS SHOWN, EXISTING AND PROPOSED, MUST BE VERIFIED.

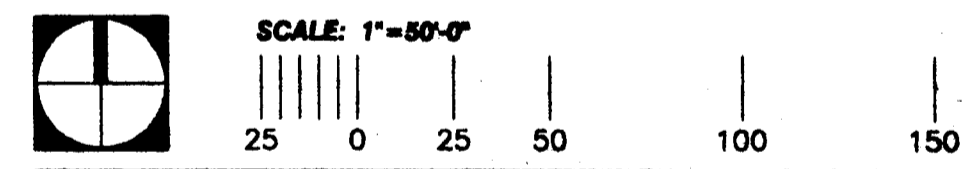
DRAWING ISSUE/REVISION RECORD

DATE	NARRATIVE	INITIALS
09/01/99	INITIAL RELEASE	GSS/GHW
10/24/00	NON-PROTO 110K BLDG + PARKING ON SIDE BPP	
10/31/00	PARKING IN BACK & NEW TRUCK ACCESS BPP	
11/07/00	SPEEDY LUBE NOT IN DEAL AND FIX P'KING BPP	
11/14/00	USE 108K HOME DEPOT BWO/BPP	
01/10/01	ADDED NOTES FOR CITY SUBMITTAL BPP	

SITE PLANNER BRAD PICKELS
SITE DEV. COORDINATOR KRISTI ASHBURN
R. E. MARKET CHARLOTTE, NC
R. E. AGENDA NAME WEST CHARLOTTE

CHARLOTTE NC
S. BOULEVARD AND WOODLAWN ROAD

GFA PROJECT NUMBER 990480.02



NC-71k

CHARLOTTE - MECKLENBURG PLANNING COMMISSION
INTER - OFFICE COMMUNICATION

DATE: January 23, 2001
 TO: Robert Brandon, Zoning Administrator
 FROM: Martin R. Cramton, Jr., Planning Director
 SUBJECT: Petition 88-83, C.N. Reid.

Attached is a copy of the revised plan with a color rendering for the above rezoning petition. The plan has been revised to show a Home Depot at this location, parking based on the new ordinance requirement of 1 space per 250 square feet and to show additional plantings within the parking area. This request will not exceed the maximum square footage from the presently approved plan. The rendering indicates that the materials used will match the existing center. Since these changes are minor and do not alter the intent of the approved plan, I am administratively approving this revised plan. Please use this plan and the color rendering when evaluating requests for building permits and certificates of occupancy. **Note that all other ordinance requirements will still apply.**

