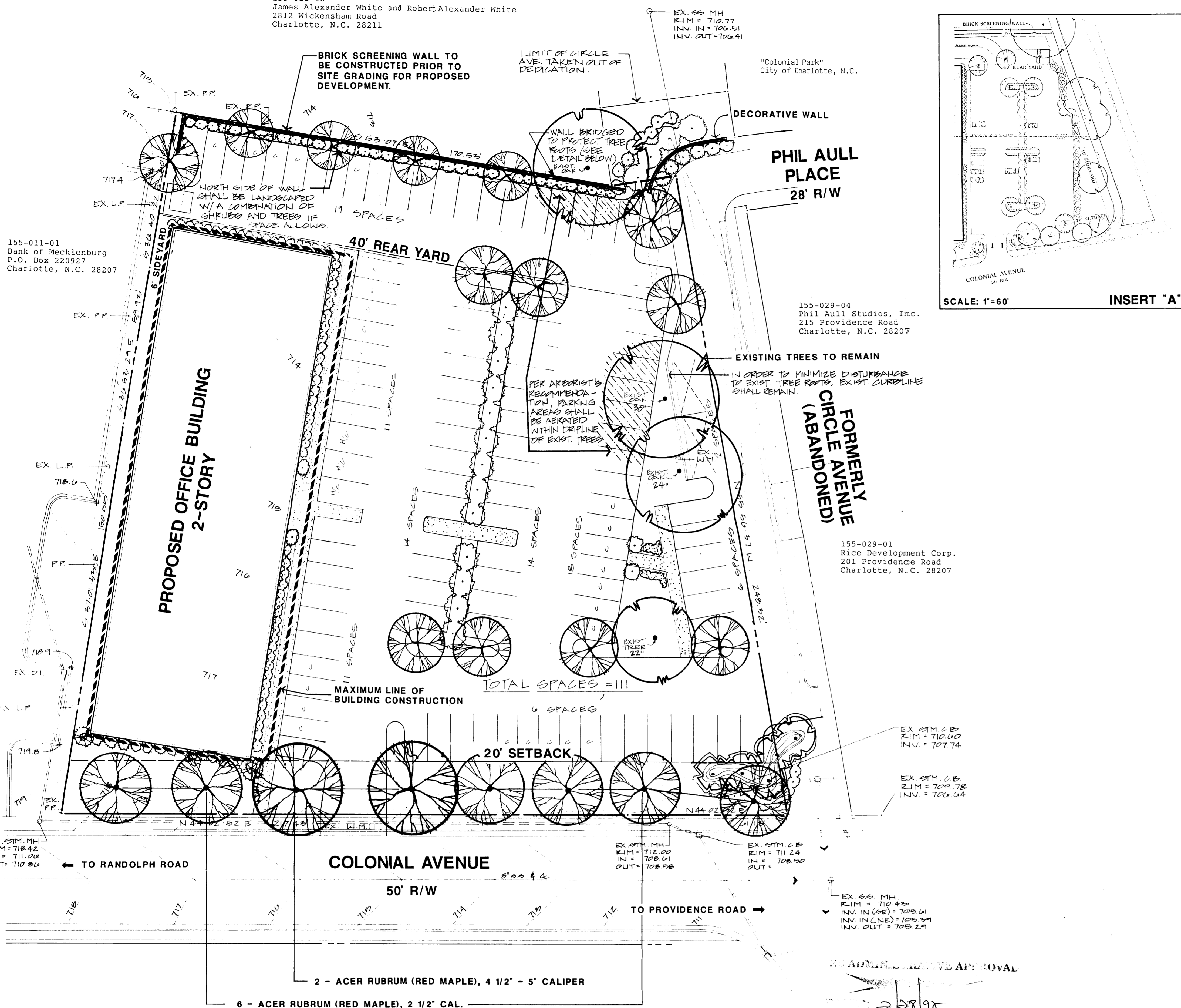


155-011-08
James Alexander White and Robert Alexander White
2812 Wickensham Road
Charlotte, N.C. 28211



DEVELOPMENT DATA

Site Area (INCLUDES R/W ABANDONMENT) **1.39 AC.**
Existing Zoning **O-15,R-6 M.F.**
Proposed Zoning **O-6 (CD)**
Max. Building Area **23,500 S.F. (GROSS)**
Min. Provided Parking **1 SP. / 200 S.F. OFFICE AREA**

GENERAL NOTES

- AT THE TIME OF THE FILING OF THIS PETITION CIRCLE AVENUE IS A DEDICATED PUBLIC ROADWAY ADJACENT TO THE SITE WHICH IS PERMANENTLY TERMINATED, THROUGH THE USE OF A METAL BARRICADE, AT ITS INTERSECTION WITH COLONIAL AVENUE. THIS SITE PLAN DEPICTS THE PROPOSED DEVELOPMENT OF THE SITE IN THE EVENT THAT A FURTHER CLOSURE OR ABANDONMENT OF CIRCLE AVENUE IS APPROVED BY A DULY ADOPTED RESOLUTION OF THE CHARLOTTE CITY COUNCIL. THE PROPOSED PERMANENT OF CIRCLE AVENUE EXTENDS FROM ITS INTERSECTION WITH COLONIAL AVE. SOUTH TO THE POINT LABELLED "PROPOSED PERMANENT TERMINATION". PETITIONER AGREES TO UNDERTAKE TO FILE SUCH ABANDONMENT PETITION AFTER THE FILING OF THIS REZONING PETITION SHOULD THE PETITIONER DETERMINE THAT REASONABLE SUPPORT FOR ABANDONMENT EXISTS AMONG THE CONTIGUOUS AND AFFECTED PROPERTY OWNERS. PETITIONER ALSO AGREES TO PROVIDE SUCH COUNSEL AND ADVICE AS IS NECESSARY TO INSURE THAT SUCH ABANDONMENT PETITION IS PURSUED AND PROSECUTED WITH REASONABLE DISPATCH.
- IMPROVEMENTS WITHIN THE ABANDONED CIRCLE AVENUE RIGHT-OF-WAY WHICH ARE OUTSIDE THE PETITIONER'S PROPOSED WESTERN PROPERTY LINE WILL REQUIRE THE CONSENT OF THE PROPERTY OWNERS OF TAX PARCELS 155-011-08, 155-029-01 & 04 AND THE CITY OF CHARLOTTE. THE PETITIONER SHALL SEEK SUCH CONSENTS CONTEMPORANEOUSLY WITH THE PURSUIT OF THE ABANDONMENT PETITION. THE PETITIONER SHALL ALSO SEEK CROSS EASEMENTS, OR OTHER APPROPRIATE AGREEMENTS, FROM THE OWNERS OF PARCELS 155-029-01 & 04 TO ALLOW FOR VEHICULAR MOVEMENT BETWEEN THE THREE PARCELS FOLLOWING THE ABANDONMENT. THE PETITIONER AGREES TO MAKE ALL ON-SITE AND OFF-SITE IMPROVEMENTS REFLECTED ON THIS SITE PLAN WITHIN THE ABANDONED RIGHT-OF-WAY AT ITS OWN EXPENSE, ASSUMING ALL THE CONTINGENCIES ADDRESSED IN THESE DEVELOPMENT NOTES ARE MET AND THE ABANDONMENT PETITION IS APPROVED.
- THE DEVELOPMENT DEPICTED HEREIN REPRESENTS THE SITE PLAN PREFERRED BY PETITIONER. IN THE EVENT THAT THE RIGHT-OF-WAY ABANDONMENT, EASEMENTS OR AGREEMENTS AS DESCRIBED IN NOTES 1 AND 2 ABOVE ARE NOT SUCCESSFULLY COMPLETED AS DESCRIBED, THE PARKING CONFIGURATION AND EDGE OF THE SITE ADJACENT TO CIRCLE AVENUE WILL BE DEVELOPED BY PETITIONER WITHIN THE EXISTING PROPERTY LINE AS DEPICTED IN INSERT "A".
- EXISTING TREES THAT WILL REMAIN ARE IDENTIFIED ON THE SITE PLAN, AND WILL BE PROTECTED DURING CONSTRUCTION AND GRADING THROUGH THE USE OF ADEQUATE BARRIERS, STAKING, ETC. ALL PROVISIONS OF THE CHARLOTTE TREE ORDINANCE (CHAPTER 21, CHARLOTTE CITY CODE) SHALL BE OBSERVED.
- THE SITE WILL BE USED FOR DEVELOPMENT OF A MEDICAL OFFICE BUILDING CONTAINING CLINICS, MEDICAL, DENTAL, OR DOCTOR'S OFFICES AND RELATED USES.
- ALL SIGNAGE SHALL BE DEVELOPED IN ACCORDANCE WITH APPLICABLE ORDINANCE STANDARDS CONTAINED IN THE CHARLOTTE CITY CODE SECTIONS 3047 & 2100, ET SEQ.
- THE SITE WILL CONTAIN ONE DRIVEWAY ACCESS FOR INGRESS AND EGRESS ONTO COLONIAL AVENUE. NO VEHICULAR ACCESS WILL BE PROVIDED TO OR FROM THE SITE TO ANY PORTION OF CIRCLE AVENUE WHICH IS NOT ABANDONED. THE ENTRANCE AND EXIT SHOWN ON THE SITE PLAN SHALL BE CONSTRUCTED IN CONFORMITY WITH ALL DRIVEWAY REGULATIONS OF THE CITY OF CHARLOTTE.
- THIS SITE PLAN IS INTENDED TO DEPICT THE GENERAL LOCATIONS OF ALL STRUCTURES, AREAS, AND USES. FINAL BUILDING FOOTPRINT, PARKING LAYOUT, AND ENTRANCE/EXIT ARE SUBJECT TO NON-MATERIAL ADJUSTMENTS UPON FINALIZATION OF SITE AND ARCHITECTURAL PLANS. THE ENDS OF THE OFFICE BUILDING WILL BE DESIGNED WITH A SENSITIVITY TO THE SCALE OF THE ADJOINING RESIDENTIAL PROPERTY.
- ACCESSORY FEATURES AND STRUCTURES NORMALLY ASSOCIATED WITH THE ALLOWED USES SHALL BE PERMITTED IN ACCORDANCE WITH CHARLOTTE CITY CODE SEC. 3044.
- THE PROPERTY OWNER SHALL CONTRACT WITH ITS GARBAGE REMOVAL SERVICE TO LIMIT GARBAGE PICKUPS AT THE SITE TO BETWEEN 8:30 A.M. AND 5:30 P.M. IN ORDER TO MINIMIZE NOISE IMPACT ON THE ADJACENT NEIGHBORHOOD. THE DUMPSTER ON THE SITE SHALL BE APPROPRIATELY SCREENED FROM ADJACENT PROPERTIES. MEDICAL WASTES WILL NOT BE DISPOSED OF IN THE DUMPSTER, BUT WILL BE HANDLED IN ACCORDANCE WITH N.C. GEN. STAT. SECTION 130A, EX. SEQ., AND REGULATIONS ADOPTED PURSUANT TO SUCH STATUTES.
- PETITIONER, OR ITS SUCCESSOR/S IN INTEREST, SHALL BE REQUIRED TO INCLUDE A PROVISION IN LEASES WITH ALL TENANTS WHO OCCUPY THE PROPOSED OFFICE BUILDING WHICH PROHIBITS TENANTS AND THEIR EMPLOYEES FROM PARKING IN ANY PUBLIC RIGHT-OF-WAY ADJACENT TO ANY RESIDENTIALLY ZONED PARCELS ALONG CIRCLE AVENUE.
- BOUNDARY AND TOPOGRAPHIC INFORMATION WAS PROVIDED BY SURVEY PERFORMED BY GENERAL SURVEYORS, P.A., DATED NOVEMBER 15, 1988.
- ALL PARKING WILL BE PROVIDED IN CONFORMITY WITH THE CHARLOTTE CITY CODE, SEC. 2000, ET SEQ., AND SEC. 3048. SUBGRADE PARKING WILL BE PROVIDED IN CONFORMITY WITH SEC. 3048.2 AND SEC. 2014, AND WILL CONTAIN APPROXIMATELY 35 SPACES.
- THE BRICK SCREENING WALL ALONG SOUTHERLY BOUNDARY OF THE SITE SHALL EXTEND INTO THE FORMER CIRCLE AVE. R/W AS SHOWN ON PLAN. THE CURVED "DECORATIVE WALL" WILL BE DESIGNED IN SUCH A WAY AS TO BE COMPLEMENTARY IN APPEARANCE TO THE BRICK SCREENING WALL; THE HEIGHT OF THIS "DECORATIVE WALL" IS NOT YET DETERMINED.

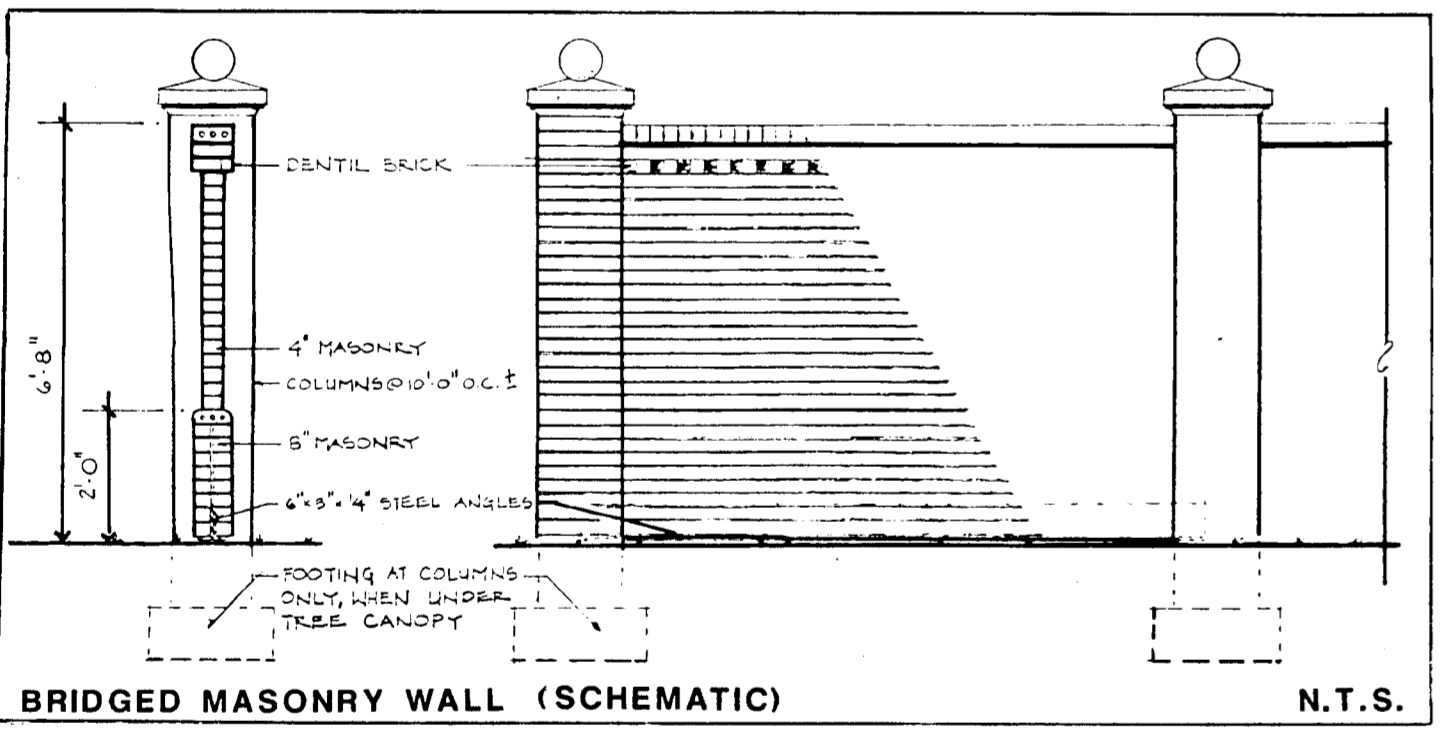
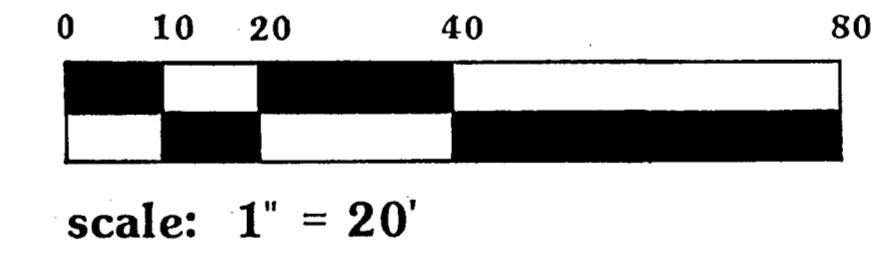
REVISED ZONING PLAN FOR: ADMINISTRATIVE APPROVAL

3/7/90 REV. COLONIAL AVE. TREE PLANTING
10/10/89-PER CMPC REVIEW
REV. 10/4/89-ADD INSERT "A"

TURNBULL DESIGN GROUP, P.A.
2207 EAST SEVENTH STREET
CHARLOTTE, NORTH CAROLINA 28204
(704)375-8154

8920	Job No.	File No.
PLAN	Scale:	1" = 20'
PROFILE	Hor.	
	Vert.	
At Bullt	Date	
Surveyed By	Designed By	Drawn By
	Project-Eng.	Approved By
		Date

COLONIAL-PROVIDENCE MEDICAL BUILDING
REVISION TO PETITION NO. 89-12



CHARLOTTE-MECKLENBURG PLANNING COMMISSION INTER-OFFICE COMMUNICATION

DATE: March 22, 1990
TO: Robert Brandon, Zoning Administrator
FROM: Martin R. Claxton, Planning Director
SUBJECT: Administrative Approval for Petition #89-12 by Ralph Kier
Tax Parcel #155-011-03, 04, 05, 06, 07

Enclosed is a revised plan for the above mentioned petition. The petition has been revised to show a new landscape treatment along Colonial Avenue. The originally approved plan had two maples that were to be saved. One of the maples was removed by a contractor who was moving a house from the property. The other maple had been removed by Duke Power at an earlier date and did not exist at the time the rezoning was filed. This new plan was required to help mitigate the removal of the tree. This new landscape plan applies even if the property is developed as per insert 'A'.

Pursuant to my authority as outlined in the zoning ordinance, I am administratively approving this plan. Please use it when evaluating requests for building permits.

MRC/RSM:sls
Enclosure

**Providence-Colonial
Medical
Building**

Charlotte,
North Carolina

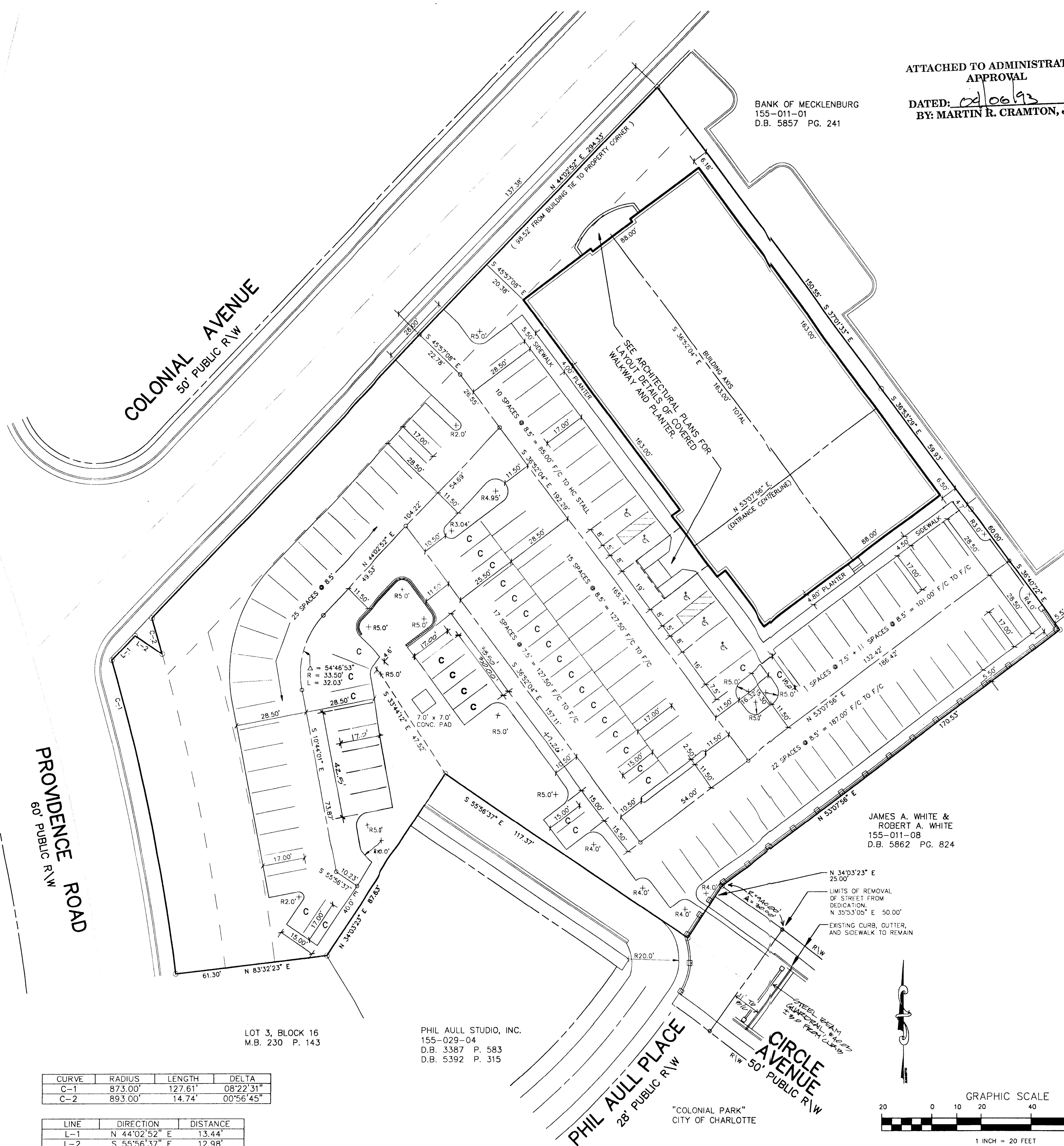
TURNBULL DESIGN GROUP, P.A.
717 SOUTH TORRENCE STREET
SUITE 301
CHARLOTTE, NORTH CAROLINA 28204
(704) 375-8154
FAX (704) 375-5563

Date: 6/24/92 Job No. 9209
Revisions:
6/25/92: GENERAL
8/28/92: REV. ZONING CODE SUM.
3/29/93: DEL. COMPACT SPACE

Sheet Number
C-1
Of 6 Total

ATTACHED TO ADMINISTRATIVE
APPROVAL
DATED: 02/06/93
BY: MARTIN R. CRAMTON, JR.

BANK OF MECKLENBURG
155-011-01
D.B. 5857 PG. 241



ZONING CODE SUMMARY
(Reproduce the following data on the site plan)

PROJECT NAME: Providence-Colonial Medical Building; 201 Providence Road; Charlotte, NC
OWNER: Providence Colonial Associates PHONE # 704/342-4046
PLANS PREPARED BY: Turnbull Design Group PHONE # 704/375-8154
ZONING: 0-6 (CD) D-2 Refer to JURISDICTION: Charlotte
PROPOSED USE: Medical office
BUILDING HEIGHT: 28 Feet, Stories: 2
BUILDING COVERAGE: 11.8% Gross Sq. Ft. Total Building
NOTE: 25,000 gross; 1,650 s.f. vertical space (not including partial penetration, 89-12)
LOT SIZE: 1.65 sq. ft. (approx) NUMBER OF UNITS/BUILDERS PER SECTION 89-12

YARD REQUIREMENTS:
Setback (front): 20 ft. from R/W, 25 ft. from C/L of R/W
Side Yard (L): 6 ft. Side Yard (R): 20 ft.
Rear Yard: 20 ft. (proposed future - 40 ft.)

REQUIRED BUFFERS:
Front: No / Yes ft. Rear: No / Yes ft.
Side (L): No / Yes ft. Side (R): No / Yes ft.

REQUIRED SCREENING:
Front: No / Yes Rear: No / Yes per petition No. 89-12
Side (L): No / Yes Side (R): No / Yes per petition No. 89-12
Parking Only? No / Yes

PAVEMENT COVERAGE: 1.25 (including hldgs) sq. ft. (acres)

PARKING DATA (specify requirement)
(Example) Warehouse Sq. Ft. 21,000 ± [4,000] sq. ft. = 5.25 spaces
Accessory Office Sq. Ft. 2,000 ± [400] = 5 spaces
Total Spaces Required = 10

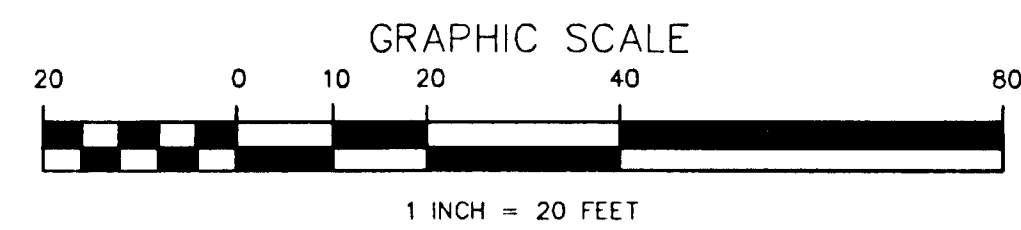
[] As Per petition 89-12 Zoning Ordinance Section No. petition 89-12

* Required: 125 Provided: 124 Handicap: 5 Compact: 30
Carpool: Loading Spaces: 5

*** ONE COMPACT SPACE DELETED AS PER CHARLOTTE SECTION 12.202 (2)**
ALL SIGNAGE WILL BE APPROVED AND PERMITTED SEPARATELY.

CURVE	RADIUS	LENGTH	DELTA
C-1	873.00'	127.61'	08°22'31"
C-2	893.00'	14.74'	00°56'45"

LINE	DIRECTION	DISTANCE
L-1	N 44°02'52" E	13.44'
L-2	S 55°56'37" E	12.98'



STAKING PLAN

**CHARLOTTE-MECKLENBURG
PLANNING COMMISSION
INTER-OFFICE COMMUNICATION**

MEMORANDUM

DATE: March 26, 1993

TO: Keith MacVean
Planning Commission

FROM: Scott L. Putnam
Transportation Engineering Division
Department of Transportation

SUBJECT: Request for a reduction in parking
201 Providence Road

Section 12.202 (2) of the Zoning Ordinance allows the Planning Commission Director with concurrence from the Charlotte Department of Transportation to reduce parking space requirements by up to 25%, if providing all of the required spaces would result in building demolition or tree removals. Mary Ann Beale of the Engineering Department has identified potential impacts to two existing trees if the approved parking lot is constructed as per plan (March 25, 1993 memorandum). Based on our review of the site plan and evaluation of alternatives, we have determined that impacts to the trees cannot be avoided without the loss of one required parking space. A reduction of one parking space from the total number of 125 required parking spaces will not unreasonably increase parking congestion along public streets in the vicinity or in parking lots on adjacent properties. Under these circumstances we can support a reduction of one required parking space.

Should you have questions or I can be of further assistance, please advise.

SLP:hll

Attachment

cc: R. D. Gillis
R. E. Goddard
R. S. Williams
M. A. Beale

DATE: April 6, 1993

TO: Robert Brandon
Zoning Administrator

FROM: Martin R. Cramton, Jr.
Planning Director

SUBJECT: Modification of parking requirement as per Section 12.202(2) for
201 Providence Road, Tax Parcel #155-011-03, 04-07

As per Section 12.202(2) of the Charlotte zoning regulations we have investigated the possibility of modifying the parking requirement for 201 Providence Road. Our investigation has revealed that by the elimination of one required parking space two existing trees on the site will have a better chance of survival.

The city's Urban Forestry staff which brought this possibility to our attention has verified that the elimination of the one parking space will increase the survivability of these two trees. We have also contacted the Department of Transportation and they have concluded that the elimination of one space from the required 125 will not adversely impact circulation on the surrounding public streets. Therefore, as per Section 12.202(2) we are approving the elimination of one required parking space from the total number of required parking spaces for 201 Providence Road.

MRCjr/EDW:sls

**CITY OF CHARLOTTE
Engineering Department
INTER-OFFICE MEMORANDUM**

March 24, 1993

To: Scott Putnam
Manager of Engineering Services Section Date: March 25, 1993

From: Mary Ann Beale
Urban Forester

Subject: 201 Providence Road, Providence Colonial Associates

There are two healthy trees (24 inch and 16 inch) located near the parking areas whose root systems will be jeopardized by the parking lot improvements. The parking spaces and curb and gutter are closer than the plan shows. In accordance with section 12.202 (2) of the Zoning Ordinance, which allows a 25% reduction in parking requirements, we support owner's request for a reduction. By eliminating one compact parking space, the parking can be located 4 to 5 feet away from the trees giving us a better chance of saving the trees.

Please don't hesitate to call me if you have any questions.

Walter Fields
Planning & Engineering Department
City of Charlotte
600 East Fourth Street
Charlotte, NC 28202

VIA: Teletypewriter

Re: 201 Providence Road

Dear Mr. Fields:

Providence Colonial Associates is currently developing a medical facility located at 201 Providence Road and it has come to our attention that this property has two 24" oak trees which are too close to one parking space.

In order to preserve these two trees this parking space will have to be eliminated. At the present time we are currently at code, therefore, we are respectfully requesting to lose one parking space in order to preserve these two trees.

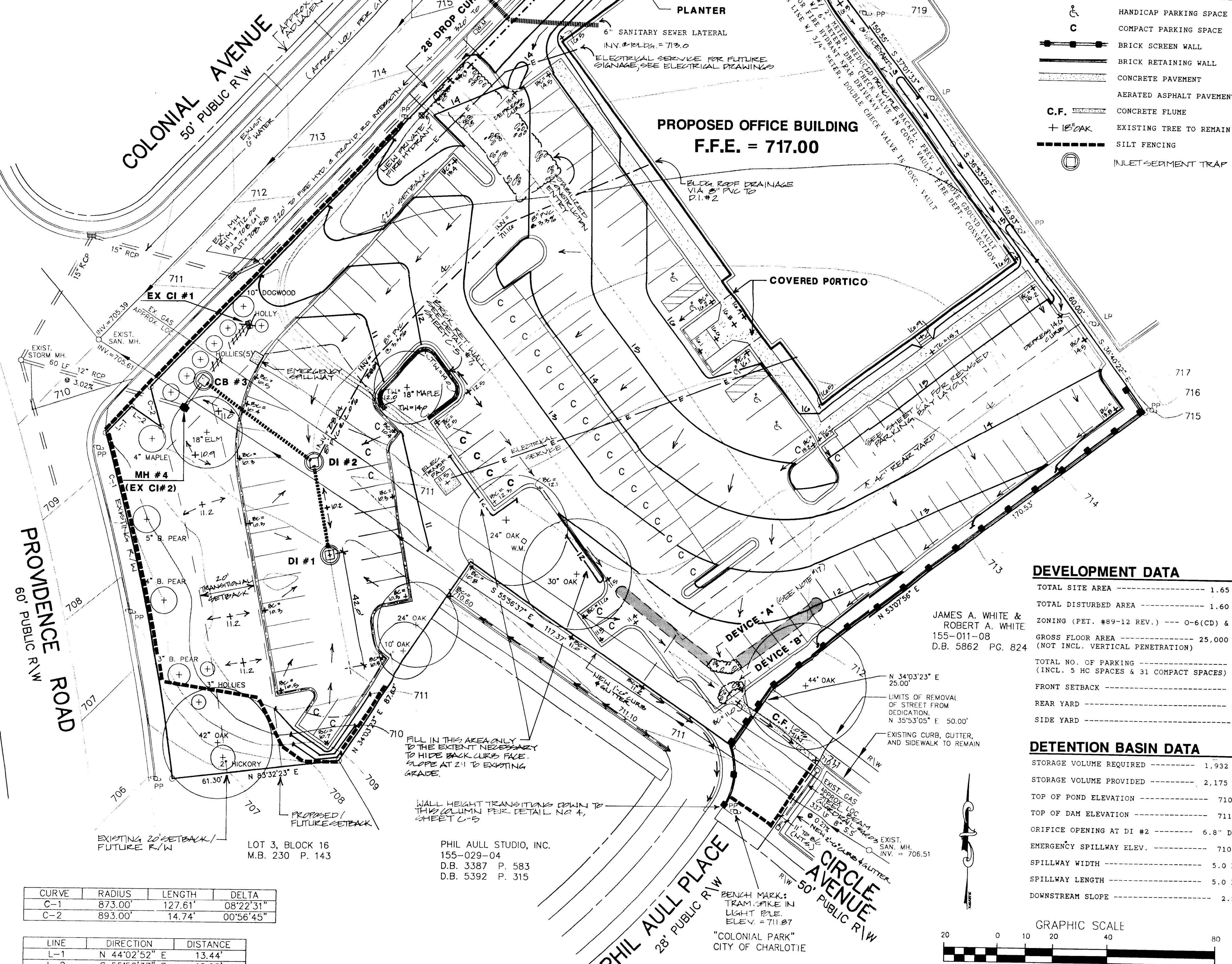
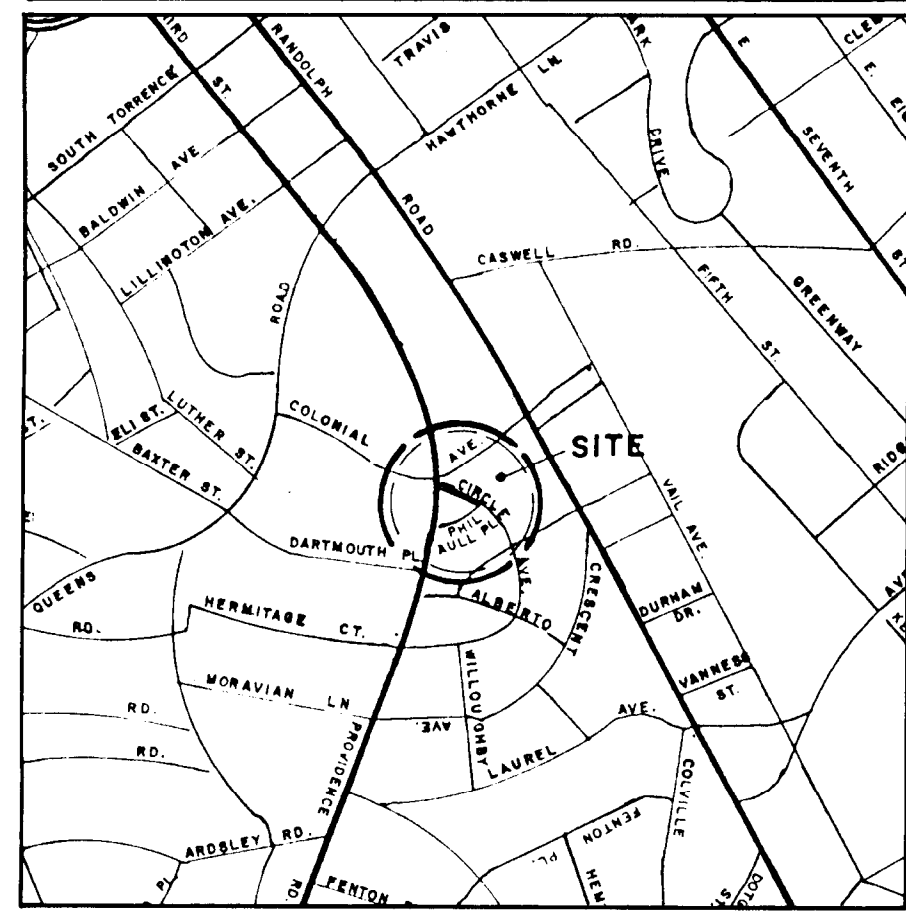
As time is of importance in this matter, a quick response to this issue is appreciated.

Sincerely,

Diane Rivers
Brackett's Company, Inc.
Agent for Providence Colonial Associates

cc: Robert Brandon
Meck. County Bldg. Standards
Mary Anne Beale
Engineering Dept.

LOCATION MAP



SYMBOL / LEGEND

- 715 EXISTING CONTOUR
- 15 PROPOSED CONTOUR
- F.F.E. FINISH FLOOR ELEVATION
- H.P. + HIGH POINT
- 00.0 + SPOT ELEVATION
- T.C. TOP OF CURB
- B.C. BOTTOM OF CURB
- T.W. TOP OF WALL
- B.W. BASE OF WALL
- DIRECTION OF SURFACE FLOW
- EXISTING STORM DRAINAGE PIPE
- PROPOSED STORM DRAINAGE PIPE
- D.I. □ DROP INLET
- C.B. ▣ SLAB-TYPE CATCH BASIN
- LIMITS OF DETENTION AREA
- ⊕ HANDICAP PARKING SPACE
- ⊕ COMPACT PARKING SPACE
- BRICK SCREEN WALL
- BRICK RETAINING WALL
- CONCRETE PAVEMENT
- AERATED ASPHALT PAVEMENT
- C.F. CONCRETE FLUME
- + 15' OAK EXISTING TREE TO REMAIN
- SILT FENCING
- ⊕ INLET SEDIMENT TRAP

GENERAL NOTES

1. BOUNDARY, TOPOGRAPHIC AND EXISTING SITE INFORMATION FROM SURVEY PREPARED BY GERALD ELLIS, NCRLS #L-2535, DATED APRIL 29, 1992.
2. ALL GENERAL NOTES APPEARING ON THE REVISED ZONING PLAN (PETITION #89-12 REV.) BY ATKINSON, DYER, WATSON ARCHITECTS, P.A., DATED 2/24/92, SHALL APPLY FOR THIS PROJECT.
3. LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS ADVANCE NOTICE PRIOR TO START OF CONSTRUCTION.
4. NO DEMOLITION LANDFILLS WILL BE LOCATED ON THIS SITE.
5. ESTIMATED PROJECT COMPLETION DATE IS EARLY 1993.
6. SOIL TYPE IS CECIL-URBAN LAND COMPLEX (CUB), 2-8% SLOPES.
7. ALL PROPOSED ELEVATIONS SHOWN ARE TO FINISH GRADE.
8. CURB LINE SHOWN ON PLANS REPRESENTS FACE OF CURB.
9. EXISTING CONTOURS SHOWN ARE AT 1 FOOT INTERVALS.
10. COORDINATE ALL CURB AND STREET GRADES AT DRIVEWAY ENTRANCE WITH CHARLOTTE ENGINEERING INSPECTOR.
11. ALL SUBSURFACE DRAINAGE PIPE SHALL BE EITHER C-75 OR C-76 REINFORCED CONCRETE PIPE (RCP) OR CORRUGATED METAL PIPE AS APPROVED BY THE CITY OF CHARLOTTE ENGINEERING DEPT.
12. IN ORDER TO INSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.50% SLOPE ON THE CURB.
13. THE CITY OF CHARLOTTE ENGINEERING DEPT. HAS NOT REVIEWED THE STRUCTURAL STABILITY OF ANY RETAINING WALLS ON THE SITE AND DOES NOT ASSUME RESPONSIBILITY FOR THEM.
14. BRICK SCREEN WALL FROM NORTHEAST PROPERTY CORNER TO FORMER R/W OF CIRCLE AVENUE IS TO BE BUILT PRIOR TO SITE GRADING. THE PORTION OF THE WALL THAT SPANS THE FLUME AREA AS WELL AS THE CURVED PORTION CAN BE BUILT PER CONTRACTORS SCHEDULE.
15. GRADING MORE THAN ONE ACRE WITHOUT A PERMIT OR GRADING OUTSIDE THE LIMITS SHOWN IS A VIOLATION OF CITY CODE AND IS SUBJECT TO AN IMMEDIATE FINE OF \$1000.00, PLUS ADDITIONAL FINES OF UP TO \$500.00 PER DAY.
16. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
17. PROVIDE A LONG 1/2" HIGH BERM WITH RIP-RAP AND GRAVEL SEDIMENT FILTER UNTIL CURB & GUTTER IS INSTALLED (DEVICE "A"). ONCE THE CURBING AND FLUME IS IN PLACE AND UNTIL THE PLACEMENT OF PARKING BASE COURSE, PROVIDE A STONE FILTER RING AT FLUME ENTRANCE (DEVICE "B").
18. WHERE NECESSARY, CONSTRUCTION OF THE FOLLOWING ITEMS SHALL BE IN ACCORDANCE WITH THE CURRENT CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL OR N.C. D.O.T. STDS AS SHOWN:

2'-6" CURB AND GUTTER	10.17
1'-6" CURB AND GUTTER	10.17
CONCRETE SIDEWALK	10.22
DROP CURB TYPE DRIVEWAY	10.24
WHEELCHAIR RAMP	10.33
BRICK CATCH BASIN / FRAME, GRATE & HOOD	23.01/20.02
SLAB-TYPE CATCH BASIN	20.13/20.14
BLOCK MANHOLE	20.09/20.10
BRICK DROP INLET	40.07
STEEL BEAM TYPE GUARDRAIL	40.03
CONCRETE CONTROL MONUMENTS	40.14
PLANTING DETAIL-LARGE MATURING TREE	40.15
PLANTING DETAIL-SMALL MATURING TREE	40.16
TREE PROTECTION DETAIL	40.16

DEVELOPMENT DATA

TOTAL SITE AREA	1.65 AC.
TOTAL DISTURBED AREA	1.60 AC.
ZONING (PET. #89-12 REV.)	O-6(CD) & O-2
GROSS FLOOR AREA	25,000 SF. (NOT INCL. VERTICAL PENETRATION)
TOTAL NO. OF PARKING	125 (INCL. 5 HC SPACES & 31 COMPACT SPACES)
FRONT SETBACK	20'
REAR YARD	40'
SIDE YARD	6'

DETENTION BASIN DATA

STORAGE VOLUME REQUIRED	1,932 CF.
STORAGE VOLUME PROVIDED	2,175 CF.
TOP OF POND ELEVATION	710.60
TOP OF DAM ELEVATION	711.10
ORIFICE OPENING AT DI #2	6.8" DIA.
EMERGENCY SPILLWAY ELEV.	710.60
SPILLWAY WIDTH	5.0 FT.
SPILLWAY LENGTH	5.0 FT.
DOWNSTREAM SLOPE	2.50%

STORM DRAINAGE DATA

STRUCTURE	RIM/LIP	INV. IN	INV. OUT
DI #1	710.00	---	708.20
DI #2	710.00	708.04	707.84
CB #3	710.50	707.15	706.95
MH #4	710.50	706.64	706.64
EX. CI #1	710.60	---	707.74
EX. CI #2	709.78	706.64	706.64

FROM	TO	LENGTH	SIZE	GRADE
DI #1	DI #2	32 LF	12" RCP	0.50%
DI #2	CB #3	48 LF	12" RCP	1.44%
CB #3	MH #4	10 LF	12" RCP	3.06%

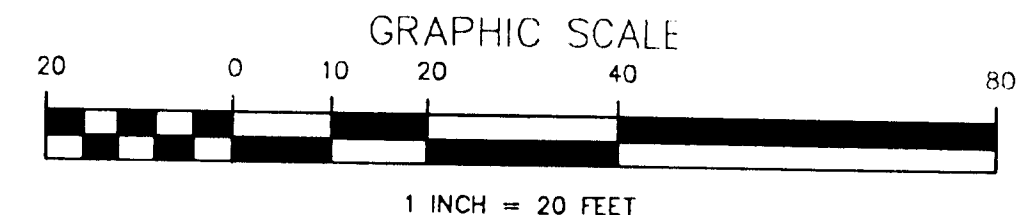
- STORM DRAINAGE NOTES:**
1. ALL PROPOSED 12" RCP TO BE CLASS 4 PIPE.
 2. EXISTING CI #1 AND PIPE TO THE NEW CB #3 IS TO BE REMOVED.
 3. EXISTING CI #2 IS TO BE MODIFIED TO STORM MANHOLE #4.

JAMES A. WHITE & ROBERT A. WHITE
155-011-08
D.B. 5862 PG. 824

PHIL AULL STUDIO, INC.
155-029-04
D.B. 3387 P. 583
D.B. 5392 P. 315

CURVE	RADIUS	LENGTH	DELTA
C-1	873.00'	127.61'	08°22'31"
C-2	893.00'	14.74'	00°56'45"

LINE	DIRECTION	DISTANCE
L-1	N 44°02'52" E	13.44'
L-2	S 55°56'37" E	12.98'



SITE, GRADING, STORM DRAINAGE, DETENTION, & EROSION CONTROL PLAN



**Atkinson
Dyer
Watson**

5101 Monroe Road
Charlotte, North Carolina 28205
704/568-5382
704/568-7739
FAX 704/568-7739

**Providence-
Colonial
Medical
Building**

Charlotte,
North Carolina

TURNBULL DESIGN GROUP, P.A.

717 SOUTH TORRENCE STREET
SUITE 301
CHARLOTTE, NORTH CAROLINA 28209
(704) 375-8154
FAX (704) 375-5563

Date: 5/29/92 Job No. 9209

Revisions:
6/15/92: PER ENG. DEPT. REVIEW
6/30/92: GENERAL
7/8/92: GENERAL
8/14/92; 8/31/92: BLDG. STDS.
3/2/93: DEL. COMPACT SPACE

Sheet Number
C-2
Of 6 Total