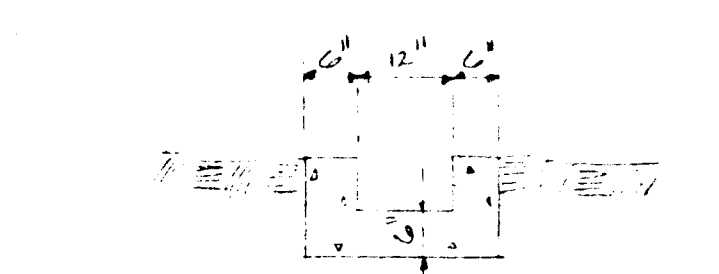
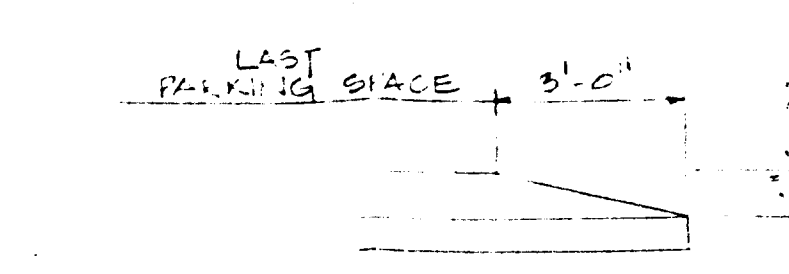


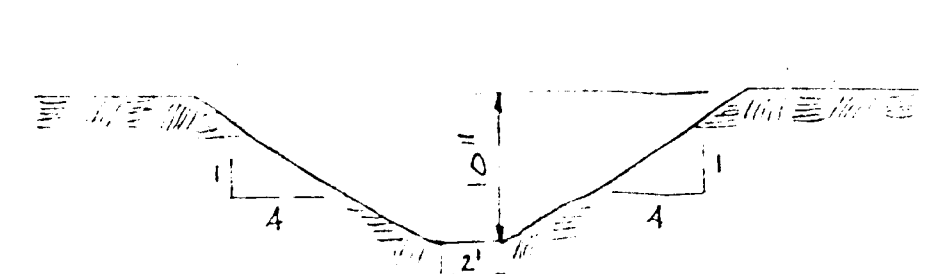
ACCESS ROAD CROSS SECTION  
N.T.S.



1 CURB CUT DETAIL  
N.T.S.

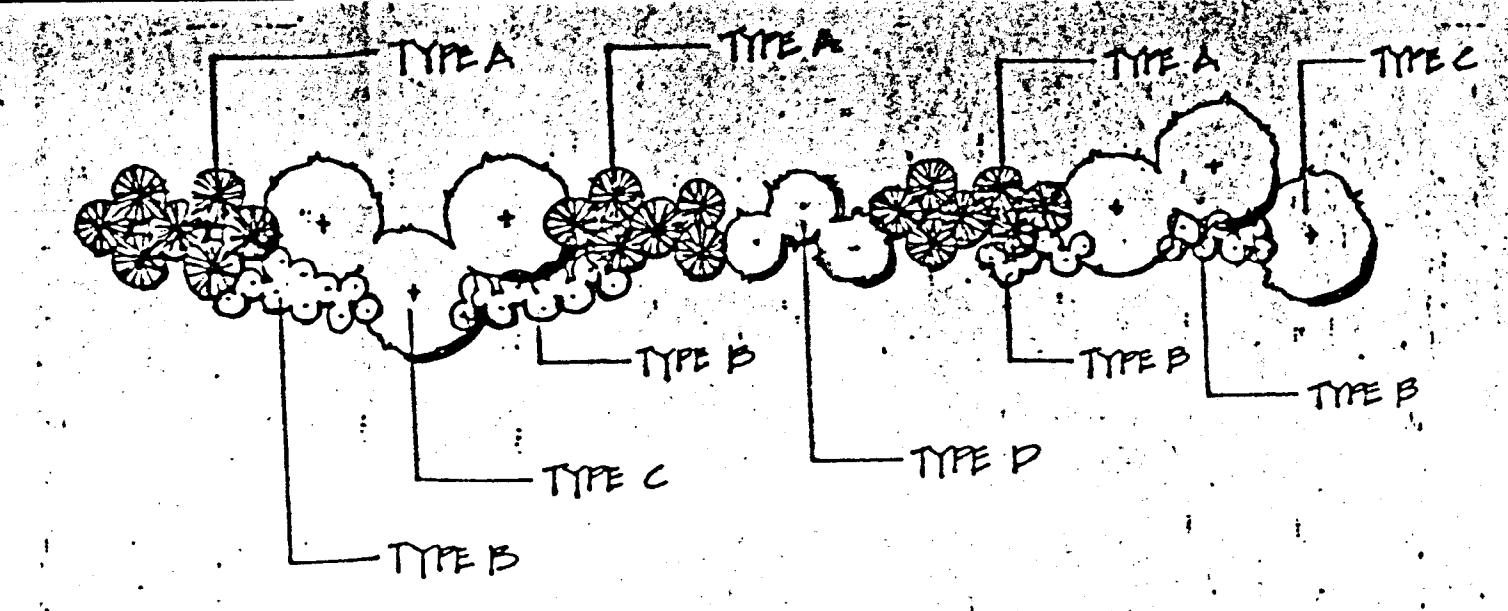


2 PARKING LOT DETAIL  
N.T.S.

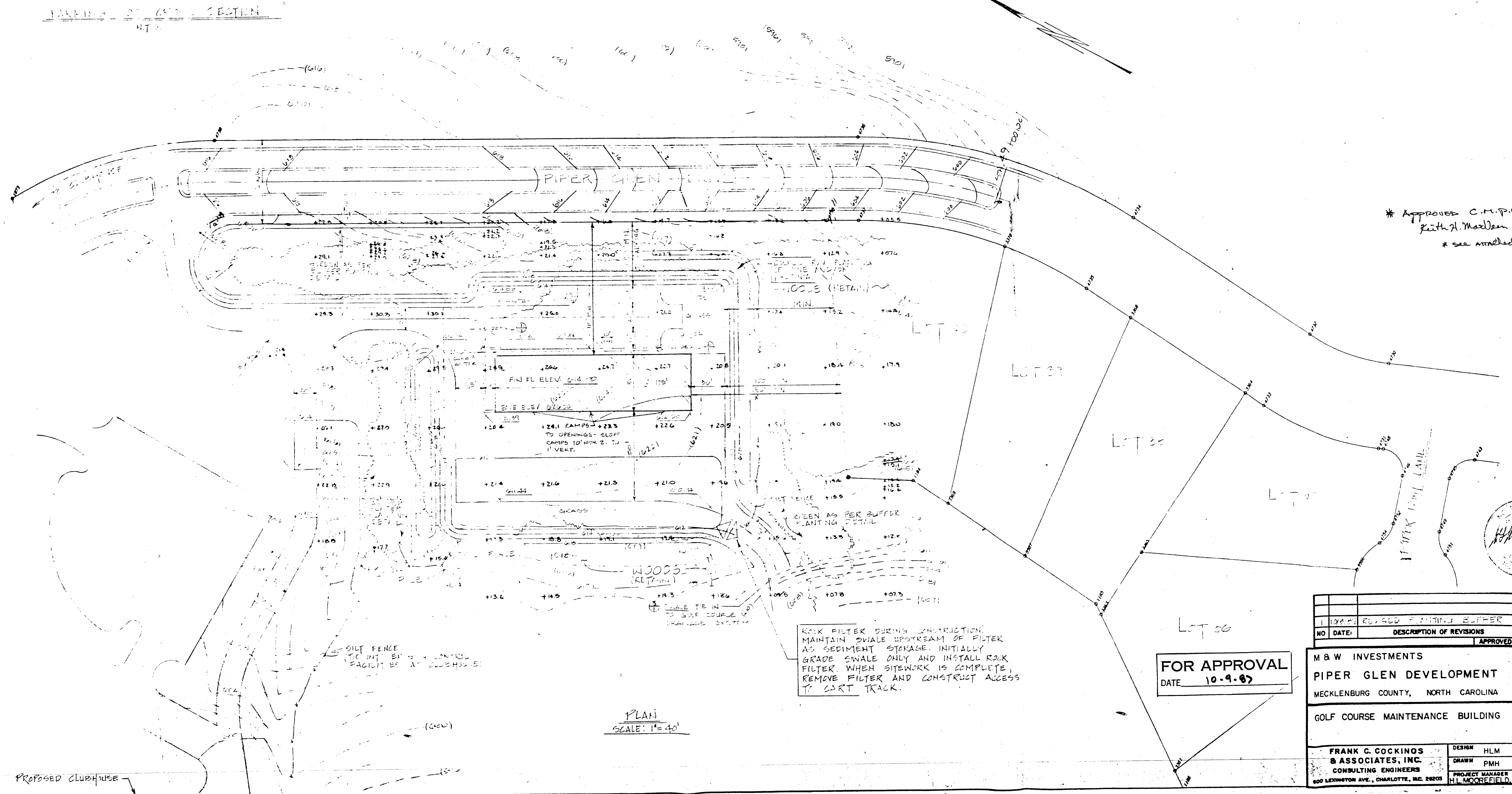


3 SWALE CROSS SECTION  
N.T.S.

PARKING LOT CROSS SECTION  
N.T.S.



TYPICAL BUFFER PLANTING PLAN  
(FOR SCREENING AND NOISE CONTROL)



\* Approved C.M.P.C.  
Keith A. MacVean  
\* see attached letter.

ROCK FILTER DURING CONSTRUCTION  
MAINTAIN SWALE UPSTREAM OF FILTER  
AS SEDIMENT STORAGE. INITIALLY  
GRADE SWALE ONLY AND INSTALL ROCK  
FILTER WHEN SITEWORK IS COMPLETE.  
REMOVE FILTER AND CONSTRUCT ACCESS  
TO COURT TRACK.

FOR APPROVAL  
DATE 10-9-87

PLAN  
SCALE: 1" = 40'

NO.	DATE	DESCRIPTION OF REVISIONS	APPROVED	MADE	APP.
1	10-9-87	REVISIONS BUFFER	OLD		

M & W INVESTMENTS  
PIPER GLEN DEVELOPMENT  
MECKLENBURG COUNTY, NORTH CAROLINA

GOLF COURSE MAINTENANCE BUILDING

FRANK C. COCKINOS & ASSOCIATES, INC.  
CONSULTING ENGINEERS  
800 LEGIONWAY AVE., CHARLOTTE, N.C. 28203

DESIGN: HLM  
DRAWN: PMH  
PROJECT MANAGER: H.L. MOOREFIELD, JR. DE

DATE: 8-25-87  
COMD. NO.: 452.011  
SCALE: 1" = 40'  
SHEET NO.: 1 OF 1

CHARLOTTE-MECKLENBURG  
PLANNING COMMISSION  
INTER-OFFICE COMMUNICATION

DATE: October 27, 1987  
FROM: Keith H. MacVean  
Senior Site Planner

TO: Sam McCoy  
Building Standards

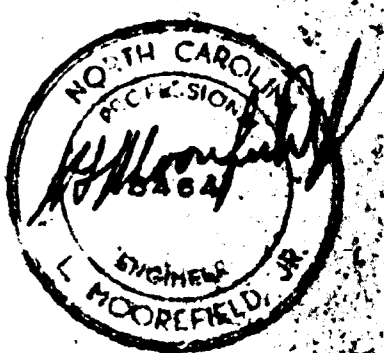
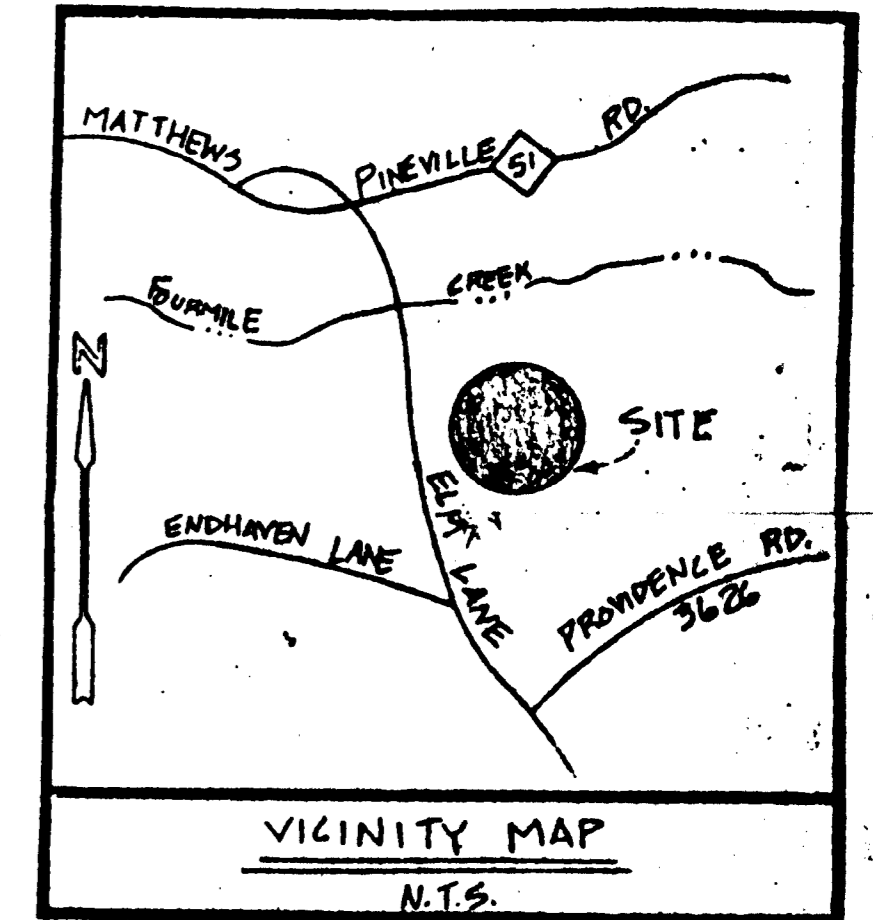
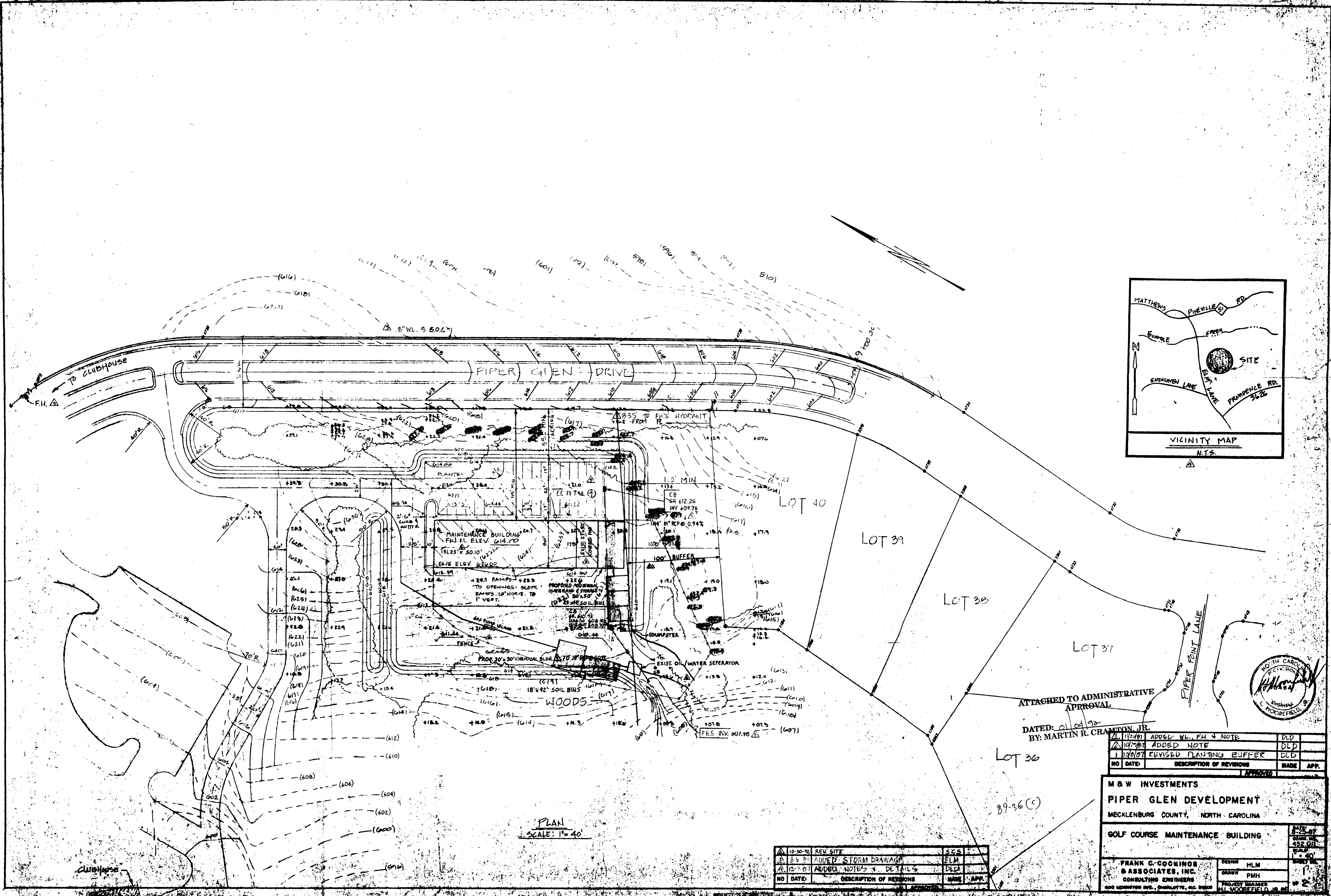
SUBJECT:

Enclosed is a site plan for the golf course maintenance shed at Piper Glen. Since the shed has been located near proposed single family units, we have required the developer to provide screening and label minimum setbacks and yards. The enclosed site plan details our minimum requirements. These minimum requirements are in addition to any requirements you may have.

The "typical buffer planting plan" is to be used as noted and in all areas where existing vegetation is inadequate to provide screening and noise protection to adjoining properties. Adjoining properties is also intended to include all views from the public street.

KH:mjl  
Enclosure  
cc: Frank C. Cockinos  
File





ATTACHED TO ADMINISTRATIVE APPROVAL  
 DATED: 01/04/92  
 BY: MARTIN R. CRANSTON, JR.

NO	DATE	DESCRIPTION OF REVISIONS	MADE	APP.
2	11/28/81	ADDED WL. FH & NOTE		DLB
1	10/7/81	ADDED NOTE		DLB
1	10/6/81	REVISED PLANTING BUFFER		DLB

PLAN  
 SCALE: 1" = 40'

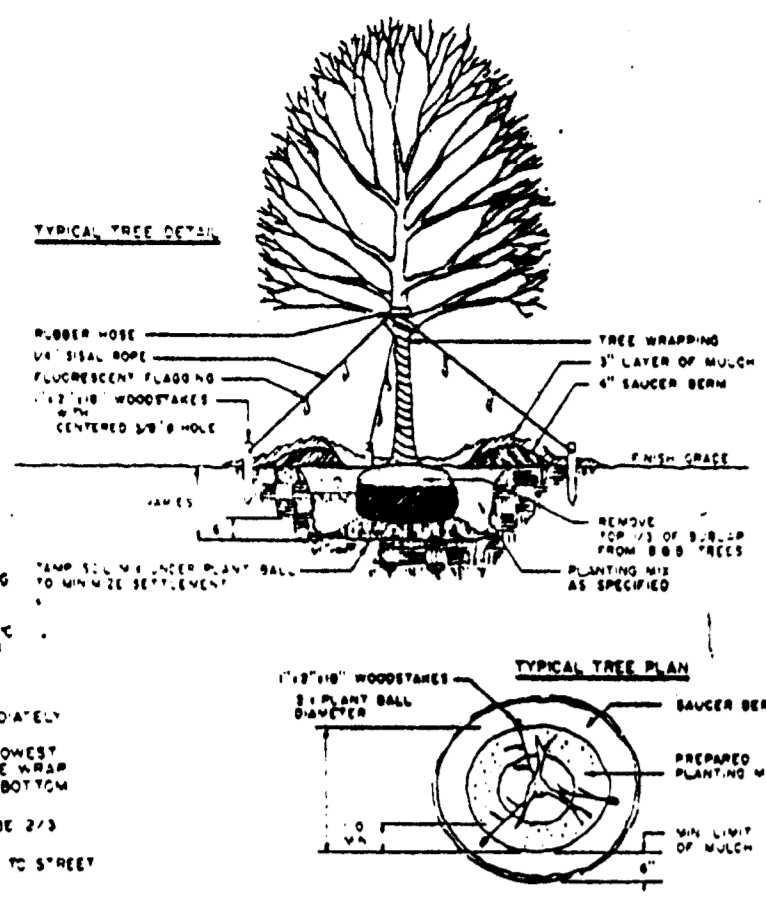
NO	DATE	DESCRIPTION OF REVISIONS	MADE	APP.
A	10-30-82	REV SITE	SCS	
A	1-5-81	ADDED STORM DRAINAGE	SLM	
A	12-7-81	ADDED NOTES & DETAILS	DLB	

**M & W INVESTMENTS**  
**PIPER GLEN DEVELOPMENT**  
 MECKLENBURG COUNTY, NORTH CAROLINA

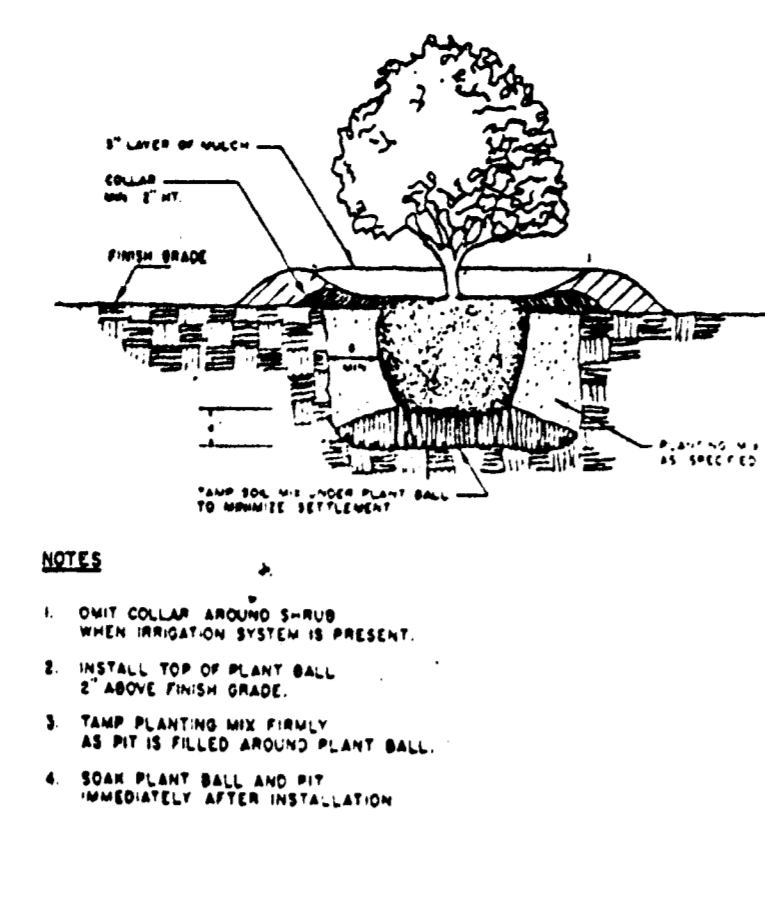
**GOLF COURSE MAINTENANCE BUILDING**

DATE: 8-25-87	SCALE: 1" = 40'
DESIGN: HLM	DRAWN: PMH
PROJECT MANAGER: H.L. MOOREFIELD, JR.	

**FRANK C. COCKINOS & ASSOCIATES, INC.**  
 CONSULTING ENGINEERS  
 800 MONROE ST., CHARLOTTE, N.C. 28202



- NOTES**
1. USE 1/2" WIDTH NYLON STRAPPING WITH 1/2" SPACING FOR 3/4" DIA. HOSE
  2. REMOVE ALL TRUNK BRUSH AND BRANCHES FROM PLANT BALL
  3. INSTALL TOP OF PLANT BALL 2" ABOVE FINISH GRADE
  4. SOAK PLANT BALL AND FIT IMMEDIATELY AFTER INSTALLATION
  5. WRAP TREES FROM GROUND TO LOWEST BRANCHES IN 1/2" DIA. OF TREE. WRAP BRANCHES FROM TOP AND BOTTOM WITH 1/2" STRIPS ONLY
  6. LEAVE 1/2" GAPS BETWEEN STRIPS TO BE 2/3" TO 1" APART
  7. PLACE 2" WOODSTAKES PARALLEL TO STREET



- NOTES**
1. Omit collar around shrubs when irrigation system is present.
  2. INSTALL TOP OF PLANT BALL 2" ABOVE FINISH GRADE.
  3. TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND PLANT BALL.
  4. SOAK PLANT BALL AND FIT IMMEDIATELY AFTER INSTALLATION.

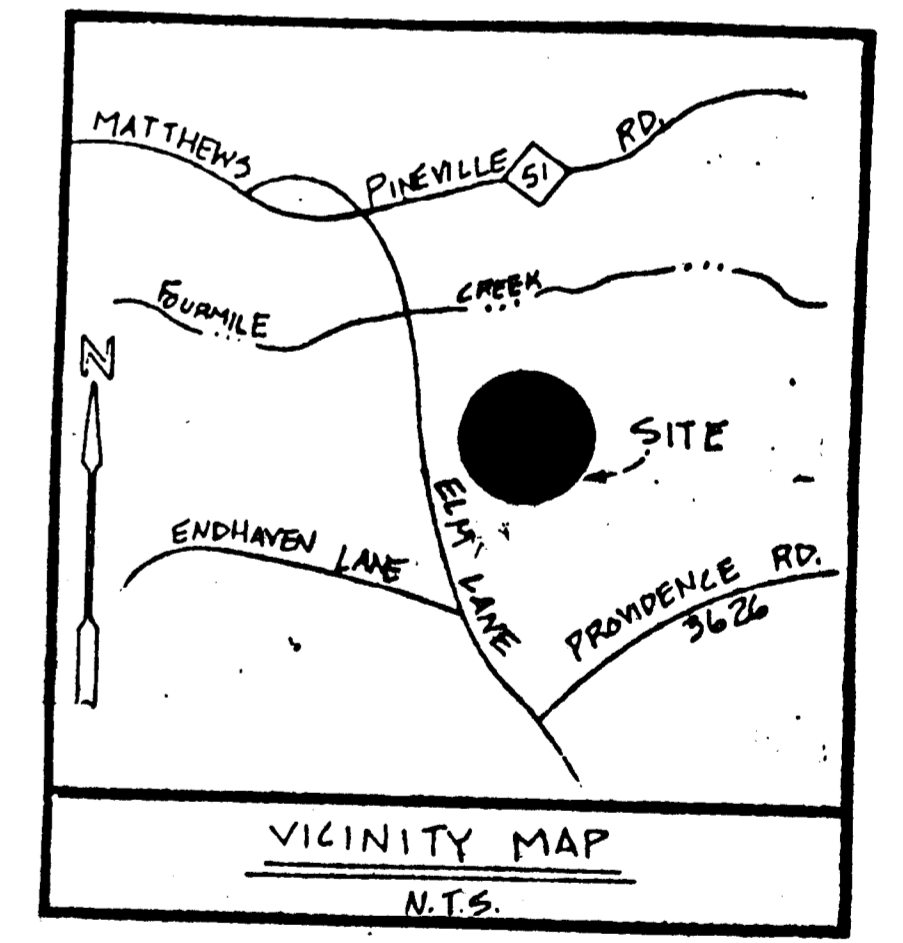
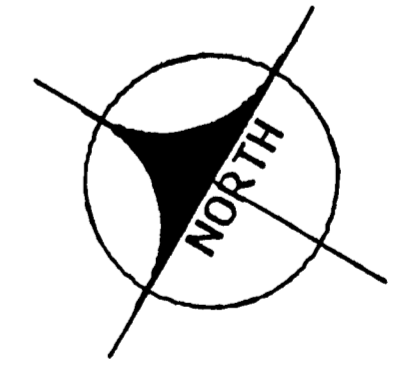
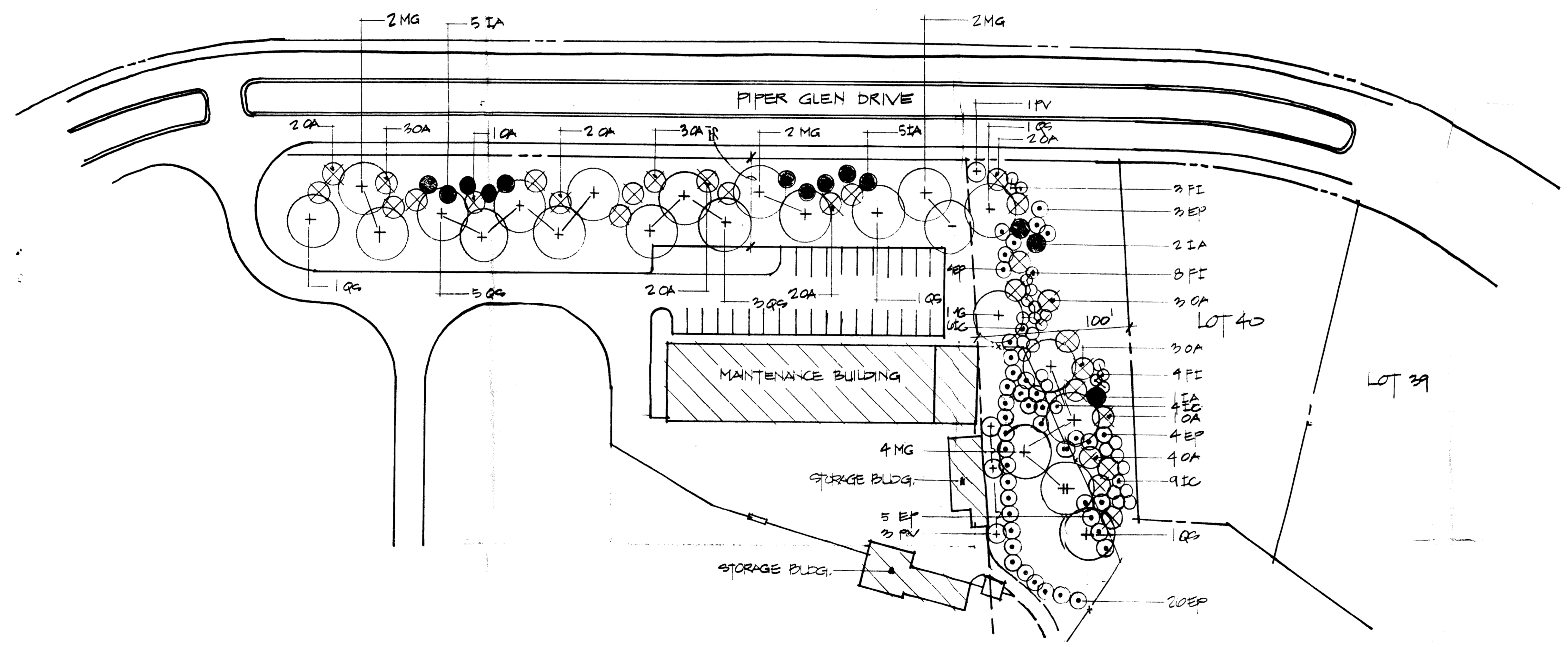
**1 TREE PLANTING DETAIL**  
NOT TO SCALE

**2 SHRUB PLANTING DETAIL**  
NOT TO SCALE

**Plant Schedule**

ABB.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE & SPEC.
<i>Trees</i>				
IA	13	Ilex attenuata 'Fosteri'	Foster's Holly	1.5" cal.
MG	11	Magnolia grandiflora	Southern Magnolia	2.5" cal.
OA	28	Oxydendrum arboreum	Sourwood	1.5" cal.
PV	4	Pinus virginiana	Virginia Pine	2.5" cal.
QS	12	Quercus shumardi	Shumard Oak	2.5" cal.
<i>Shrubs</i>				
EP	41	Elaeagnus pungens 'Fruitlandi'	Elaeagnus	36" hgt. & spr.
FI	15	Forsythia intermedia 'Spectabilis'	Border Forsythia	36" hgt. & spr.
IC	19	Ilex cornuta 'Burfordi'	Burford Holly	30" hgt. & spr.

**Buffer Requirements:**  
 Along Piper Glen Drive (460 LF) = 41 trees at 16 large and 25 small  
 Along Lot 40 (300LF) = 27 trees at 11 large and 16 small; 60 shrubs



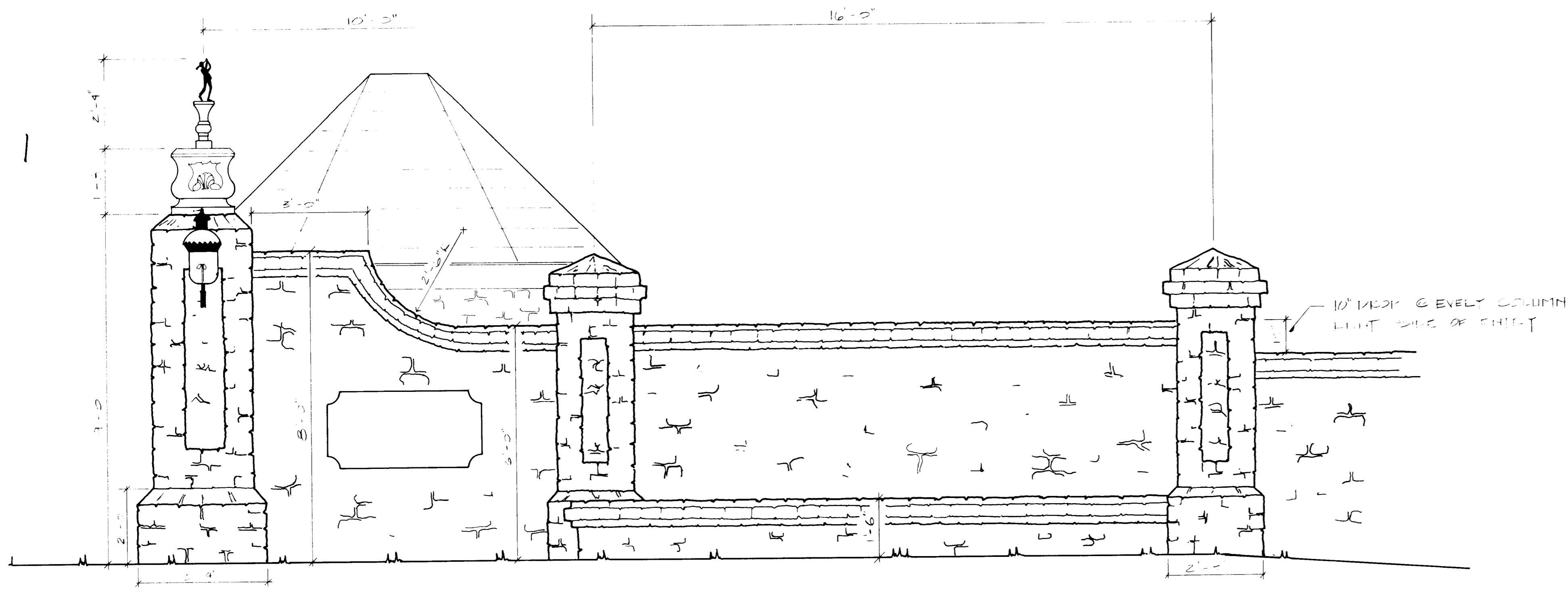
PIPER GLEN  
 MECKLENBURG COUNTY, NORTH CAROLINA

PLANTING PLAN  
 for  
 GOLF COURSE MAINTENANCE BUILDING

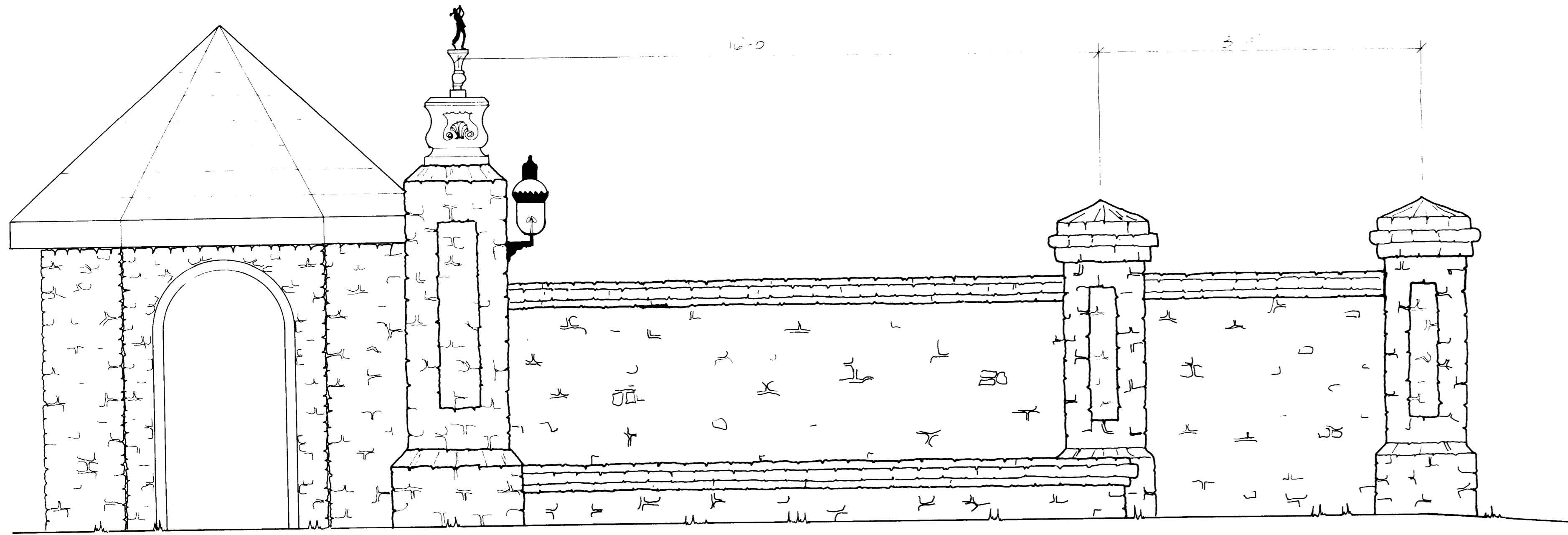
Prepared by:  
**Edward D. Stone, Jr. & Associates**  
 Planners and Landscape Architects  
 Charlotte, North Carolina

SCALE: 1" = 40'  
 DATE: NOVEMBER 30, 1992

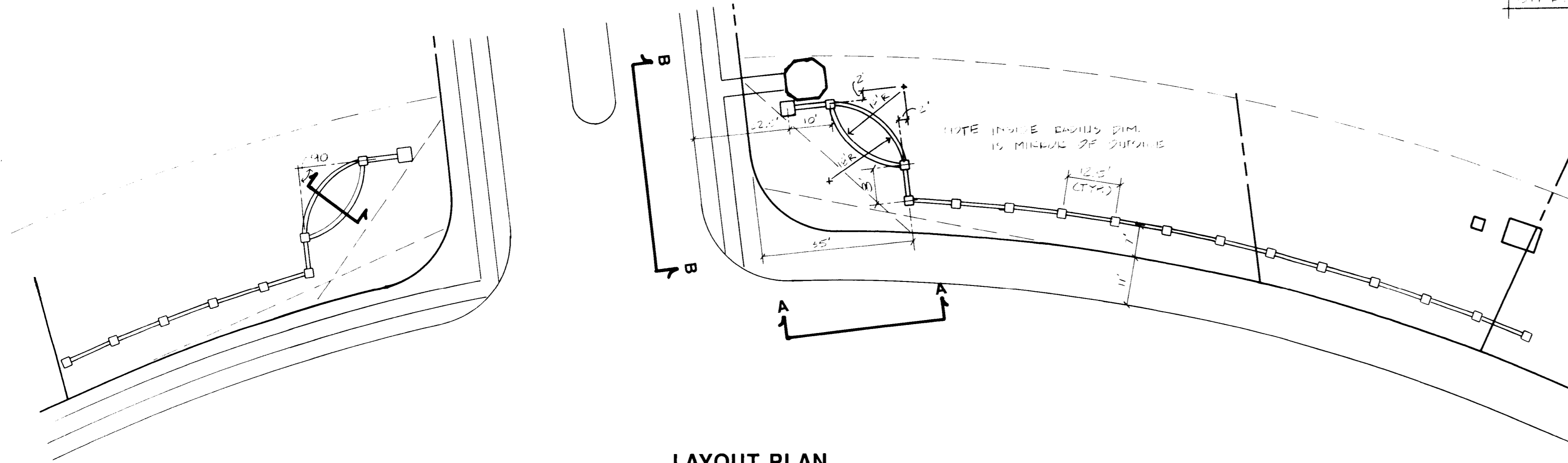




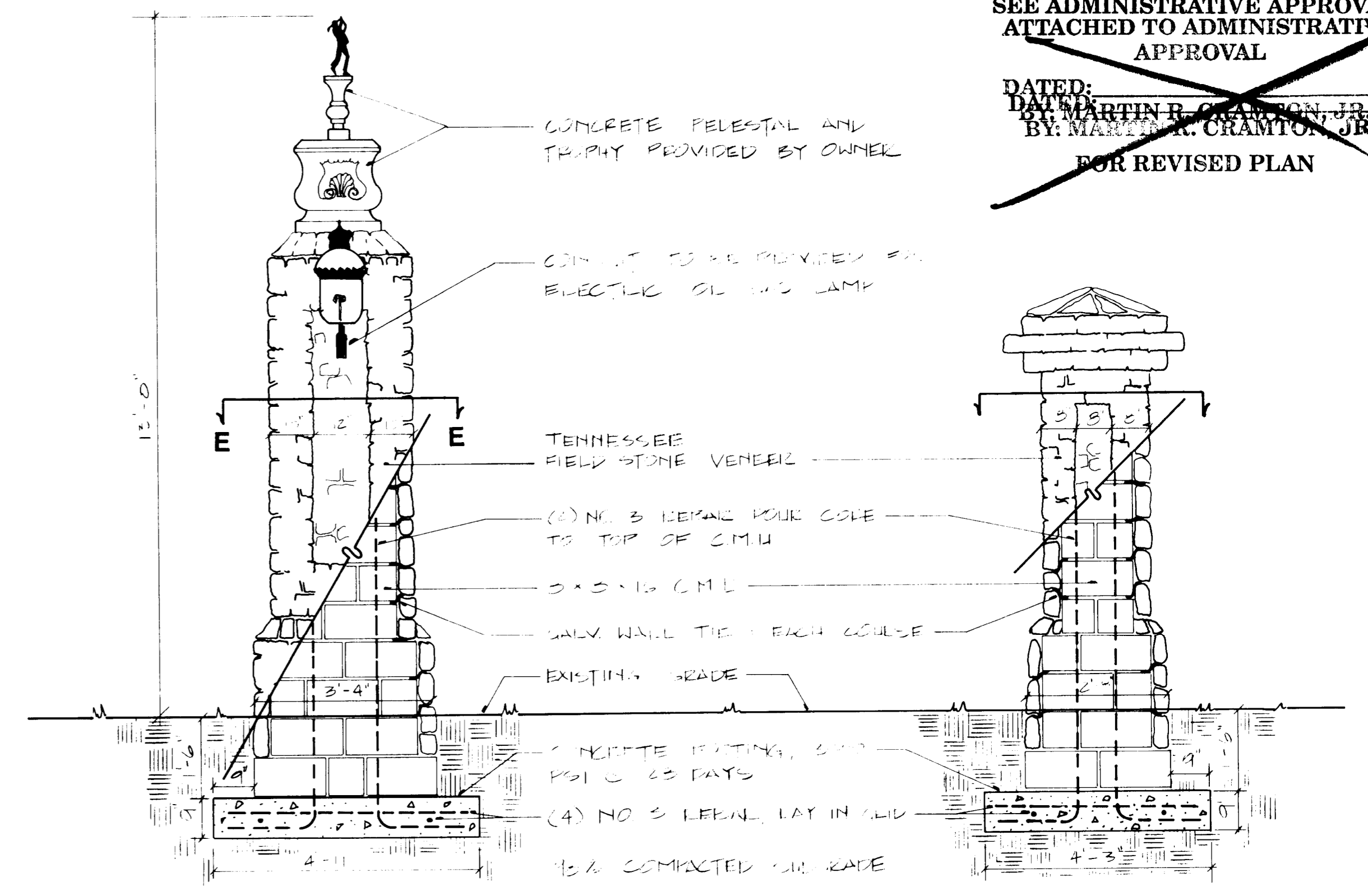
WALL ELEVATION A-A



WALL ELEVATION B-B

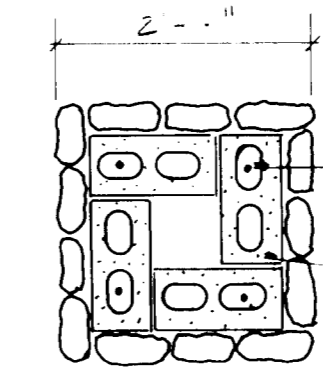


LAYOUT PLAN  
SCALE: 1"=20'

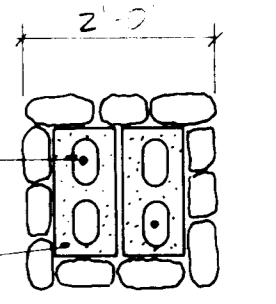


COLUMN SECTION C-C

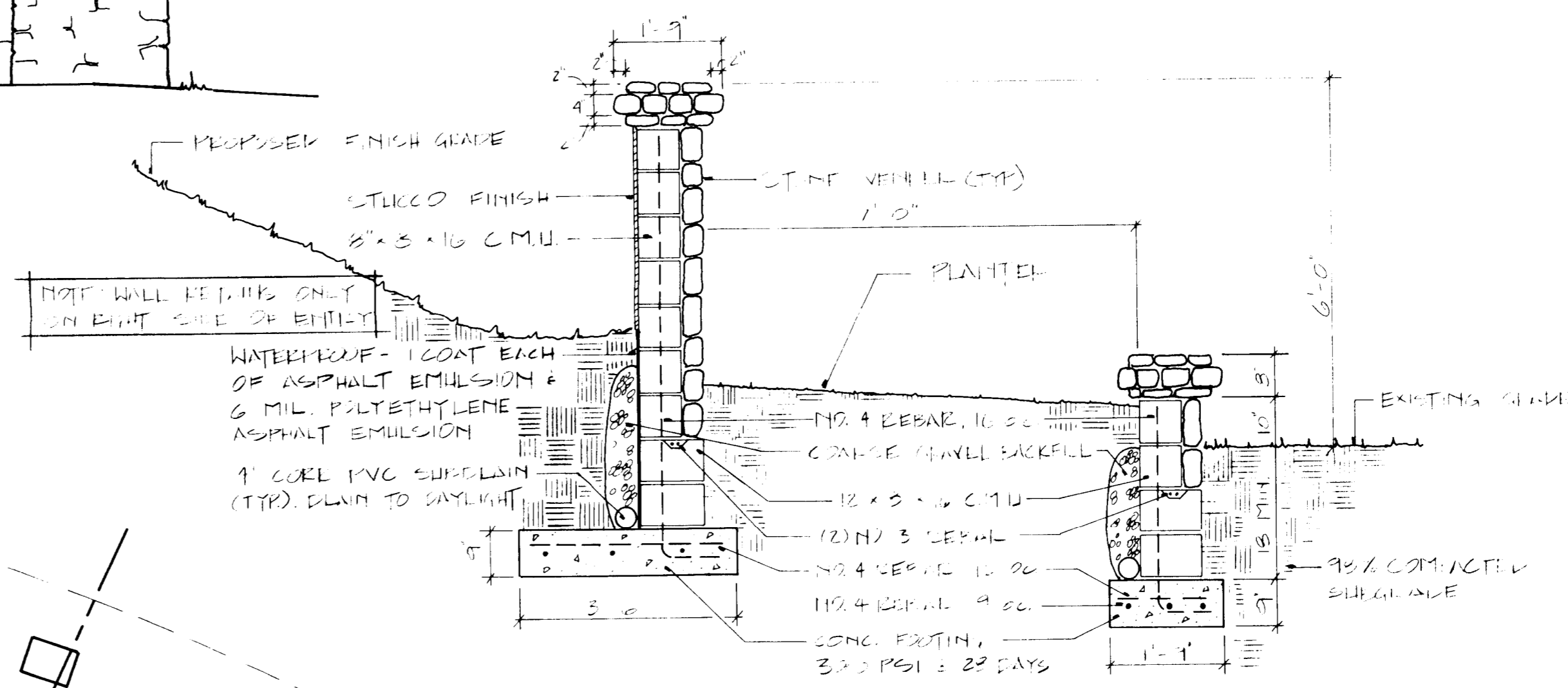
COLUMN SECTION D-D



SECTION E-E



SECTION F-F



WALL SECTION G-G

ENTRY WALL DETAILS

**LINKSIDE VILLAGE**

ATTACHED TO ADMINISTRATIVE APPROVAL

at PIPER GLEN APPROVAL  
DATED: 05/01/92  
BY: MARTIN R. CRAMTON, JR.

SEE ADMINISTRATIVE APPROVAL

DATE: \_\_\_\_\_  
BY: \_\_\_\_\_

FC: \_\_\_\_\_

Project No.: \_\_\_\_\_  
Date: NOV. 12, 1991 Scale: 1/2"=1'-0"

**RICHARD G. SANDERSON ASSOCIATES**

Landscape Architecture Land Planning

P.O. BOX 3041, CHARLOTTE, NC 28210 (704) 552-1584

Sheet \_\_\_\_\_ of \_\_\_\_\_

**CHARLOTTE-MECKLENBURG  
PLANNING COMMISSION**

**INTER-OFFICE COMMUNICATION**

DATE: May 1, 1992

TO: Robert Brandon  
Zoning Administrator

FROM: *Martin R. Cramton, Jr.*  
Martin R. Cramton, Jr.  
Planning Director

SUBJECT: Zoning Committee approval of modifications to the R-20MF innovative plan for Linkside Village at Piper Glen, Tax Parcel #225-001-01, 225-001-03, 07, 225-021-01, 225-031-01, 225-041-01, 225-001-01.

Attached is a plan for Linkside Village at Piper Glen. The plan shows the location of a small entrance building located within the 40.0' buffer. The Zoning Committee approved this building within the buffer at its April 27th meeting. Please use this plan when evaluating requests for building permits.

MRC/jk/RM:sls

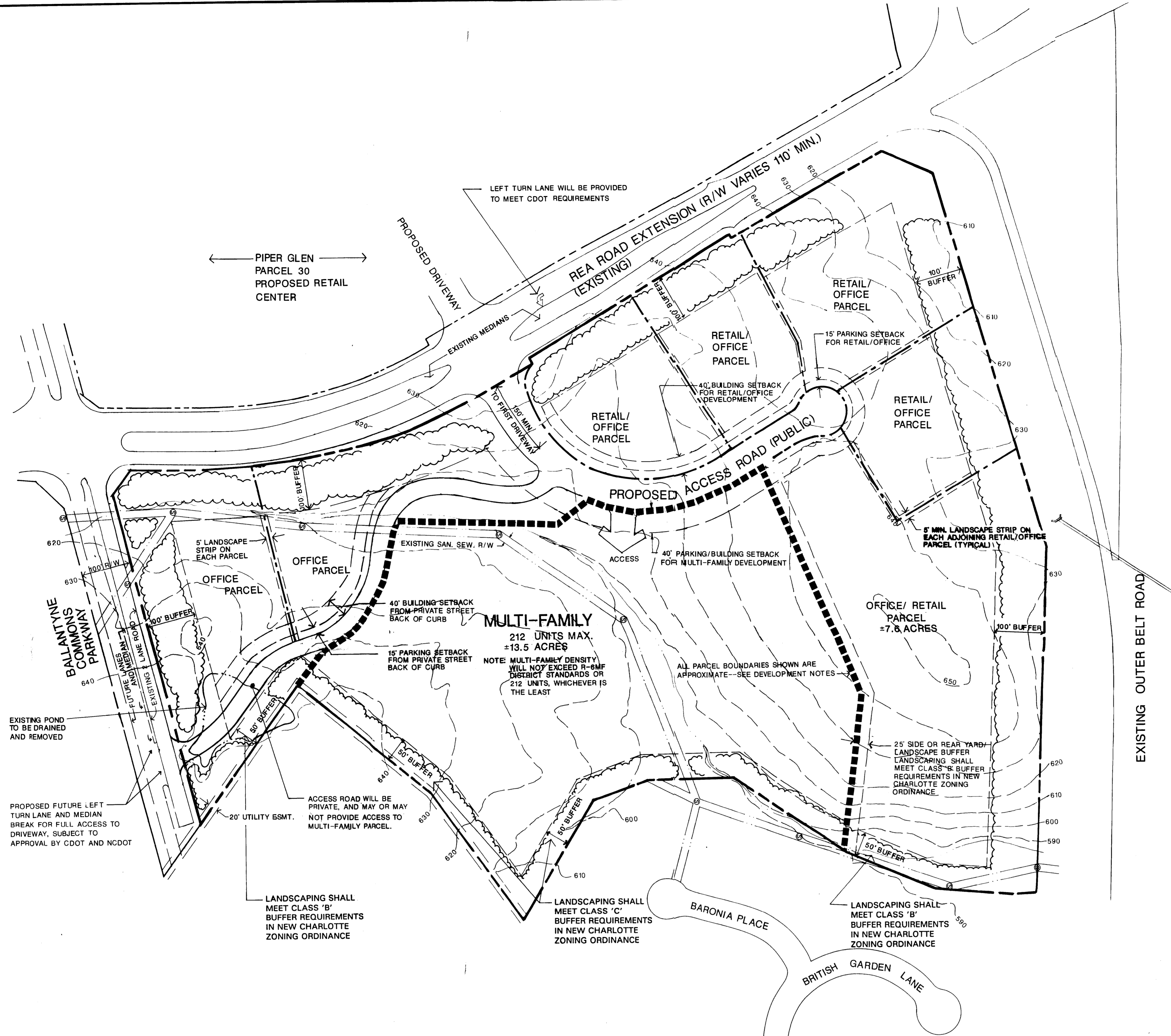
Attachment

**DEVELOPMENT DATA FOR PARCEL 31:**

EXISTING ZONING: B-1 SCD  
 TOTAL SITE AREA: ±38.4 ACRES  
 MAXIMUM RETAIL USES: 50,000 S.F.  
 MAXIMUM OFFICE USES: 350,000 S.F.  
 MAXIMUM RESIDENTIAL USES: 393 UNITS  
 MAXIMUM BLDG. HEIGHT: 6 STORIES

**DEVELOPMENT NOTES FOR PARCEL 31:**

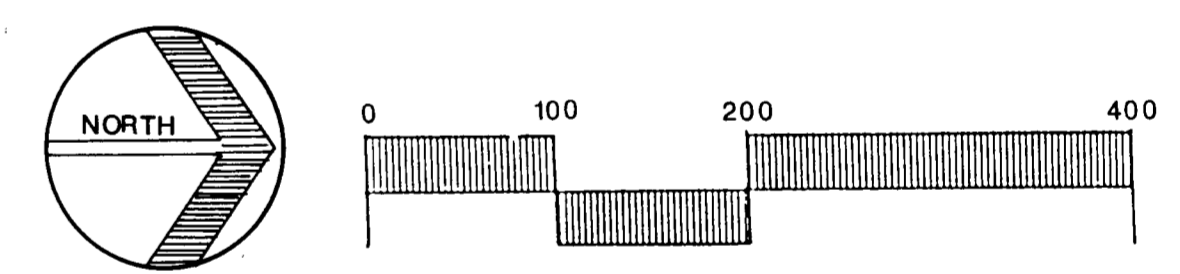
- This plan represents a general concept for development, intended to show circulation and land use relationships. Specific site plans for each parcel will be submitted for Planning Commission approval at a later date, providing more detailed information about building/parking configurations, landscaping, signage, and buffer area treatments.
- Parcel boundaries shown on this plan are approximate, and subject to adjustment based on development requirements for each specific parcel.
- All development within this site will conform with the performance standards established for the B-1 SCD District under the applicable zoning ordinances, and shall satisfy all requirements imposed thereunder with respect to setbacks, parking, buffers, screening, and circulation.
- All development will be subject to the amended and restated Concept Plan for the development of Piper Glen, dated February 17, 1986.
- Commitment to Provide Public Street Transit Access: The applicant agrees to provide access, loading and unloading areas within Parcel 31 to accommodate public transportation and further agrees that all streets within this parcel which are designated for public transit access will be designed to accommodate bus turning requirements.
- The existing tree covers and natural vegetation within the buffer zones established for Parcel 31 along Rea Road Extension may be altered or removed provided the Applicant in advance of any such alteration or removal submits to the Charlotte-Mecklenburg Planning Director a landscaping plan for such buffer zones and obtains his approval of such plan.
- Parking Areas: Open parking lots on Parcel 31 will have interior landscaping and planted areas equal to at least 3% of their paved area.
- Free-standing tenant identification signs may not be located within the buffer zones established for Parcel 31.
- Development of Mixed-Use Center (Parcel 31):
  - Except as otherwise provided under subparagraphs (ii) and (iii) of this paragraph (i), construction of the Mixed Use Center on Parcel 31 cannot begin earlier than the date which is 18 months prior to the scheduled completion date of the Outer Belt Freeway between N.C. Highway 16 and Johnston Road. Such completion date shall be established by reference to the completion date specified in the contract or contracts awarded by NCDOT for such portion of the Outer Belt Freeway; or, if no completion date is so specified in such contract or contracts, then by a letter from the NCDOT addressed to the Charlotte-Mecklenburg Planning Commission setting forth the estimated date of completion for such portion of the Outer Belt Freeway.
  - Notwithstanding any provisions of subparagraph (i) of this paragraph to the contrary, building permits may be issued for the construction of up to 30,000 square feet of retail development, up to 150,000 square feet of office development and up to 200 multi-family dwelling units within the Mixed-Use Center approved for Parcel 31 at any time after contracts have been awarded for:
    - the construction to at least a two-lane facility of the proposed realignment of Providence Road West (Ballantyne Commons Parkway) between the point of demarcation from its existing alignment east of Parcel 31 and its proposed new point of intersection with realigned Providence Road West (Ballantyne Commons Parkway);
    - the construction of Rea Road Extension to at least a two-lane facility from Piper Glen Drive south to the point of its intersection with realigned Providence Road West (Ballantyne Commons Parkway);
 provided, however, that the final certificate of occupancy for any such development may not be issued until the above-described improvements to Rea Road Extension and Providence Road West (Ballantyne Commons Parkway) have been opened for use by the public.
  - Notwithstanding any provisions of subparagraphs (i) or (ii) of this paragraph to the contrary, construction of no more than 30,000 square feet of office development within the Mixed-Use Center approved for Parcel 31 may begin until two years after the earliest date on which construction of the Regional Shopping Center on Parcel 30 is allowed to begin under the provisions of Paragraph (i) of the "Amended and Restated Concept Plan for the Development of Piper Glen". Construction of the remaining 250,000 square feet of office development approved for Parcel 31 may proceed at any time after the end of such two years' period.



SEE ADMINISTRATIVE APPROVAL

DATED: Sept 25, 1995  
 BY: Martin R. Cramton, Jr.

FOR REVISED PLAN



Project Manager	TM
Drawn By	SMW
Checked By	
Date	12-1-94
Project Number	94044

Revisions	
1	12-9-94; INCREASE BUILDING SETBACKS FROM INTERIOR ROAD TO 40'.
2	1-4-95; SHOW PROPOSED LEFT TURN LANE FROM BALLANTYNE COMMONS PARKWAY
3	1-11-95; ADD YARDS/SETBACKS AND DEVELOPMENT NOTES.
4	1-27-95; ADDED BUFFER LANDSCAPING CRITERIA & OTHER NOTES PER CMPC REVIEW
5	3-22-95; EXTEND PRIVATE ACCESS ROAD AND REVISE PARCEL BOUNDARIES, MULTI-FAMILY UNITS.

**DPR ASSOCIATES, INC.**  
 Landscape Architects  
 Planners & Engineers  
 2036 East Seventh Street  
 Charlotte, NC 28204  
 704/332-1204

PRELIMINARY SITE PLAN  
 PIPER GLEN PARCEL 31  
 EASLAN CAPITAL OF CHARLOTTE  
 Scale: 1"=100'  
 Sheet Number: 1  
 Of 1 Total

**CHARLOTTE-MECKLENBURG PLANNING COMMISSION**  
 INTER-OFFICE COMMUNICATION

DATE: September 25, 1995  
 TO: Robert Brandon, Zoning Administrator  
 FROM: Martin R. Cramton, Jr., Planning Director

SUBJECT: Administrative Approval for Petition No. 89-36c by James A. Coates Tax Parcel #225-041-22.

Attached please find an approved site plan for Parcel 31 of the Piper Glen master plan. Per the Mecklenburg County Zoning Ordinance prior to 1992 the B-1 SCD zoning district required site plan approval by the Planning Director. This approved site plan stipulates that all additional development on sub-tracts of Parcel 31 shall receive specific site plan approval from the Planning Commission. Please note this condition when reviewing any subsequent requests for building permits and certificates of occupancy for all tracts of land which are a part of Parcel 31 (B-1 SCD) of the Piper Glen master plan.  
 MRC.Jr.:CV:jlb

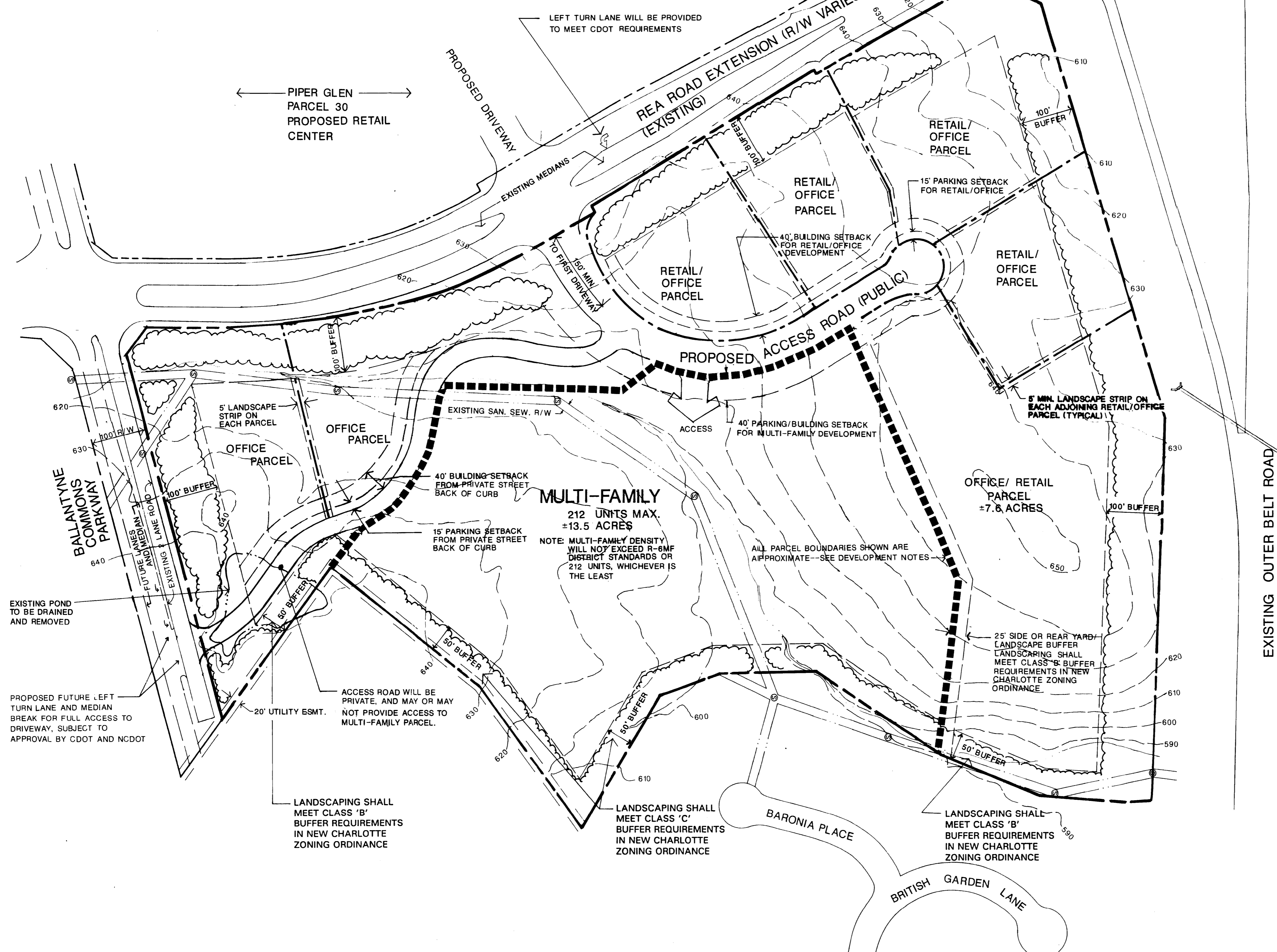


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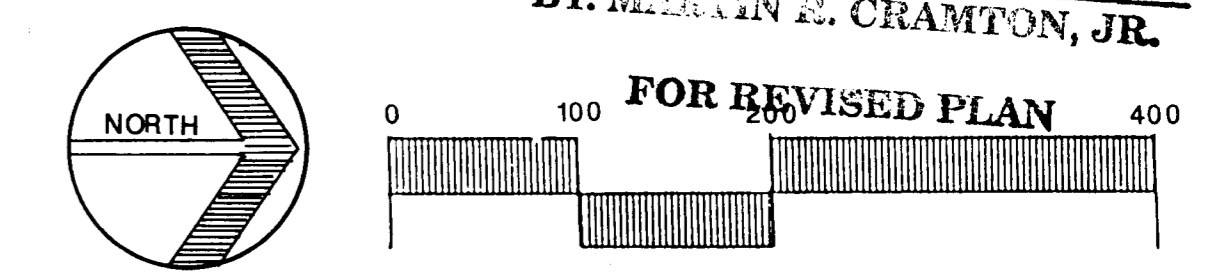
**DEVELOPMENT NOTES FOR PARCEL 31:**

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 provided, however, that the final certificate of occupancy for any such development may not be issued until the above-described improvements to Rea Road Extension and Providence Road West (Ballantyne Commons Parkway) have been opened for use by the public.
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SEE ADMINISTRATIVE APPROVAL

DATED: *Sept 25, 1995*  
 BY: *MARTIN R. CRAMTON, JR.*



Project Manager TM	Revisions
Drawn By SMW	1 12-9-94; INCREASE BUILDING SETBACKS FROM INTERIOR ROAD TO 40'.
Checked By	2 1-4-95; SHOW PROPOSED LEFT TURN LANE FROM BALLANTYNE COMMONS PARKWAY
Date 12-1-94	3 1-11-95; ADD YARDS/SETBACKS AND DEVELOPMENT NOTES.
Project Number 94044	4 1-27-95; ADDED BUFFER LANDSCAPING CRITERIA & OTHER NOTES PER CMPC REVIEW
	5 3-22-95; EXTEND PRIVATE ACCESS ROAD AND REVISE PARCEL BOUNDARIES, MULTI-FAMILY UNITS.

**DPR ASSOCIATES, INC.**  
 Landscape Architects  
 Planners & Engineers  
 2036 East Seventh Street  
 Charlotte, NC 28204  
 704/332-1204

**PRELIMINARY SITE PLAN**  
 PIPER GLEN PARCEL 31  
 EASLAN CAPITAL OF CHARLOTTE

Scale 1"=100'  
 Sheet Number 1  
 Of 1 Total

**CHARLOTTE-MECKLENBURG PLANNING COMMISSION**  
 INTER-OFFICE COMMUNICATION

DATE: September 25, 1995  
 FROM: *Martin R. Cramton, Jr.*  
 Planning Director  
 TO: Robert Brandon  
 Zoning Administrator

SUBJECT: Administrative Approval for Petition No. 89-36c by James A. Coates Tax Parcel #225-041-22.  
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*see Administrative Approval dated April 20, 2000 for latest plan*



Project Manager	TM
Drawn By	SMW
Checked By	SMW
Date	12-1-94
Project Number	94044

Revisions	1	12-9-94: INCREASE BUILDING SETBACKS FROM INTERIOR ROAD TO 40'.
	2	1-4-95: SHOW PROPOSED LEFT TURN LANE FROM BALLANTINE COMMONS PARKWAY
	3	1-11-95: ADD VANDS/STAIRS AND DEVELOPMENT NOTES.
	4	1-27-95: ADOPT BUFFER LANDSCAPING CRITERIA & OTHER NOTES PER CMPC REVIEW
	5	3-22-95: EXTEND PRIVATE ACCESS ROAD AND REVISE PARCEL BOUNDARIES, MULTI-FAMILY UNITS.

**DPR ASSOCIATES, INC.**  
 Landscape Architects  
 Planners & Engineers  
 2036 East Swenthin Street  
 Charlotte, NC 28204  
 704/332-1204

**DPR**  
 DESIGN-PLANNING-RESEARCH

**PRELIMINARY SITE PLAN**  
 PIPER GLEN PARCEL 31  
 EASTLAN CAPITAL OF CHARLOTTE

Scale 1"=100'  
 Sheet Number 1  
 Total 1

Project Manager  
 Drawn By  
 Checked By  
 Date  
 Project Number

Revisions  
 1  
 2  
 3  
 4  
 5

DPR ASSOCIATES, INC.  
 Landscape Architects  
 Planners & Engineers  
 2036 East Swenthin Street  
 Charlotte, NC 28204  
 704/332-1204

PRELIMINARY SITE PLAN  
 PIPER GLEN PARCEL 31  
 EASTLAN CAPITAL OF CHARLOTTE

Scale 1"=100'  
 Sheet Number 1  
 Total 1

DATE: Sept 25, 1995  
 BY: [Signature]

SEE ADMINISTRATIVE APPROVAL

- This plan represents a general concept for development, intended to show circulation and land use relationships. Specific site plans for each parcel will be submitted for Planning Commission approval at a later date, providing more detailed information about building, parking, configurations, landscaping, signage, and buffer area treatments.
- Parcel boundaries shown on this plan are approximate, and subject to adjustment based on development requirements for each specific parcel.
- All development within this site will conform with the performance standards established for B-1 SCD District under the applicable zoning ordinance, and shall satisfy all requirements imposed thereunder with respect to setbacks, parking, buffers, screening, and circulation.
- All development will be subject to the amended and restated Concept Plan for the development of Piper Glen, dated February 17, 1986.
- Commitment to provide Public Street Transit Access: The applicant agrees to provide access, loading and unloading areas within Parcel 31 to accommodate public transportation and further agrees that all streets within this parcel which are designated for public transit access will be designed to accommodate the turning requirements.
- The existing tree covers and natural vegetation within the buffer zones established for Parcel 31 along Rea Road Extension may be altered or removed provided the Applicant Planning Director a landscaping plan for such buffer zones and obtains the approval of NCOT for such portions of the Outer Belt Freeway, or if no completion in advance of any such alteration or removal, submit to the Charlotte-Mecklenburg Planning Director a landscaping plan for such buffer zones and obtains the approval of such plan.
- Parking Areas: Open parking lots on Parcel 31 will have interior landscaping and planted areas equal to at least 5% of their paved area.
- Pre-existing permit identification signs may not be located within the buffer zones established for Parcel 31.
- Development of Mixed-Use Center (Parcel 31):

**DEVELOPMENT DATA FOR PARCEL 31:**

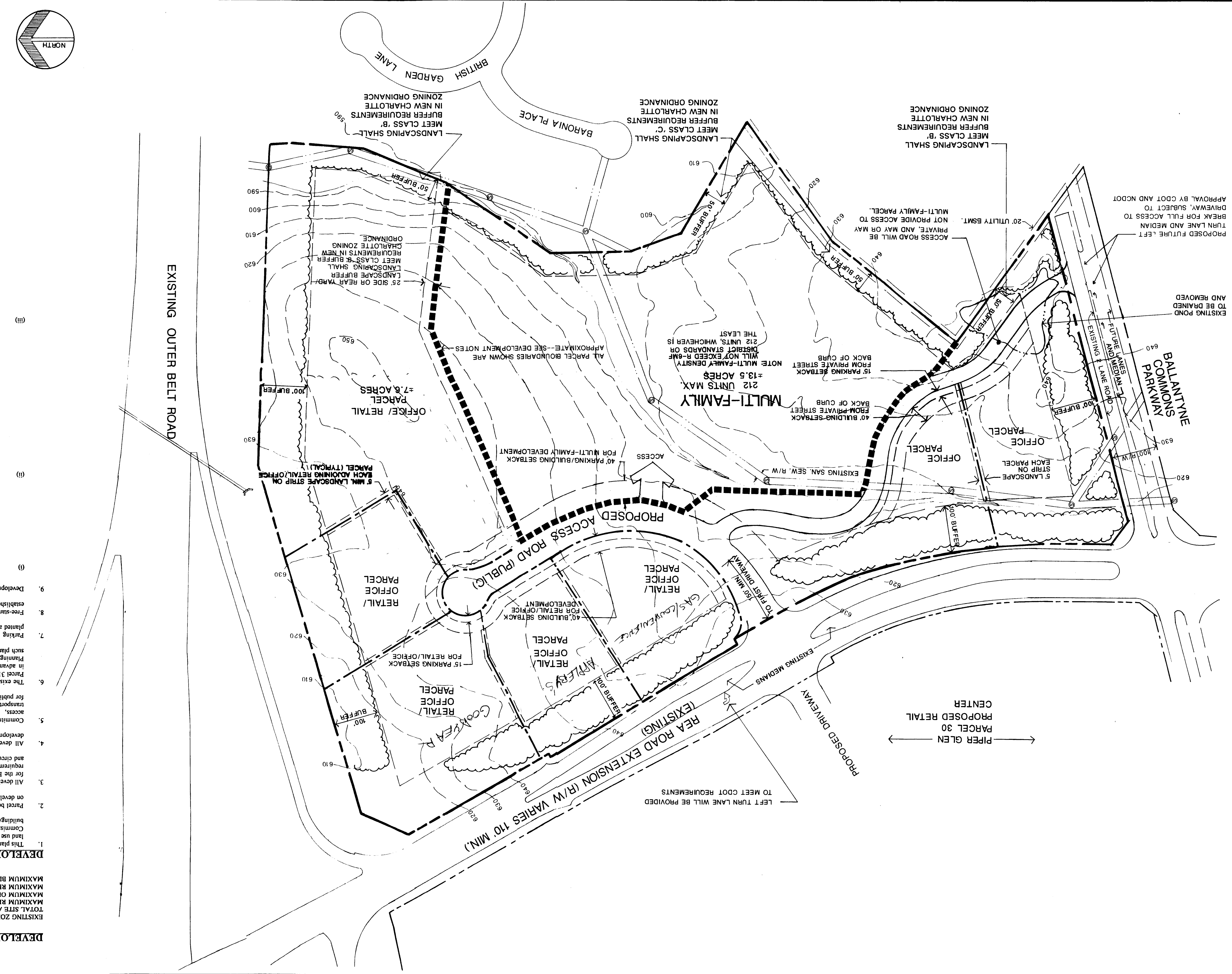
EXISTING ZONING:	B-1 SCD
TOTAL SITE AREA:	±38.4 ACRES
MAXIMUM RETAIL USES:	50,000 S.F.
MAXIMUM OFFICE USES:	500,000 S.F.
MAXIMUM RESIDENTIAL USES:	393 UNITS
MAXIMUM BLDG. HEIGHT:	6 STORIES

**DEVELOPMENT NOTES FOR PARCEL 31:**

Except as otherwise provided under subparagraphs (i) and (ii) of the paragraph (i) construction of the Mixed-Use Center on Parcel 31 cannot begin until the date which is 18 months prior to the scheduled completion date of the Outer Belt Freeway between N.C. Highway 16 and Johnson Road. Such completion date shall be established by reference to the completion date specified in the contract or contracts awarded by the Charlotte-Mecklenburg Planning Commission. If no completion date is specified in such contract or contracts, then by a letter from the NCOT addressed to the Charlotte-Mecklenburg Planning Commission setting forth the estimated date of completion for such portion of the Outer Belt Freeway.

Notwithstanding any provisions of subparagraph (i) of this paragraph up to 100,000 square feet of additional development, up to 150,000 square feet of office development and up to 200 multi-family dwelling units within the Mixed-Use Center approved for Parcel 31 at any time after contracts have been awarded for: (1) realignment of Providence Road West (Ballantyne Commons Parkway) between the point of demarcation from its existing alignment east of Parcel 31 and its proposed new point of intersection with Rea Road Extension to at least two-lane facility from Piper Glen Drive south to the point of its intersection with realigned Providence Road West (Ballantyne Commons Parkway); however, that the final certificate of occupancy for any such development may not be issued until the above-described improvements to Rea Road Extension and Providence Road West (Ballantyne Commons Parkway) have been opened for use by the public.

Notwithstanding any provisions of subparagraphs (i) or (ii) of this paragraph, if (a) the construction of no more than 300,000 square feet of office development within the Mixed-Use Center approved for Parcel 31 may begin until two years after the earliest date on which construction of the Regional Shopping Center on Parcel 30 is allowed under the provisions of Paragraph (e) of the amended and restated Concept Plan for the development of Piper Glen. Construction of the remaining 250,000 square feet of office development approved for Parcel 31 may proceed at any time after the end of such two-year period.



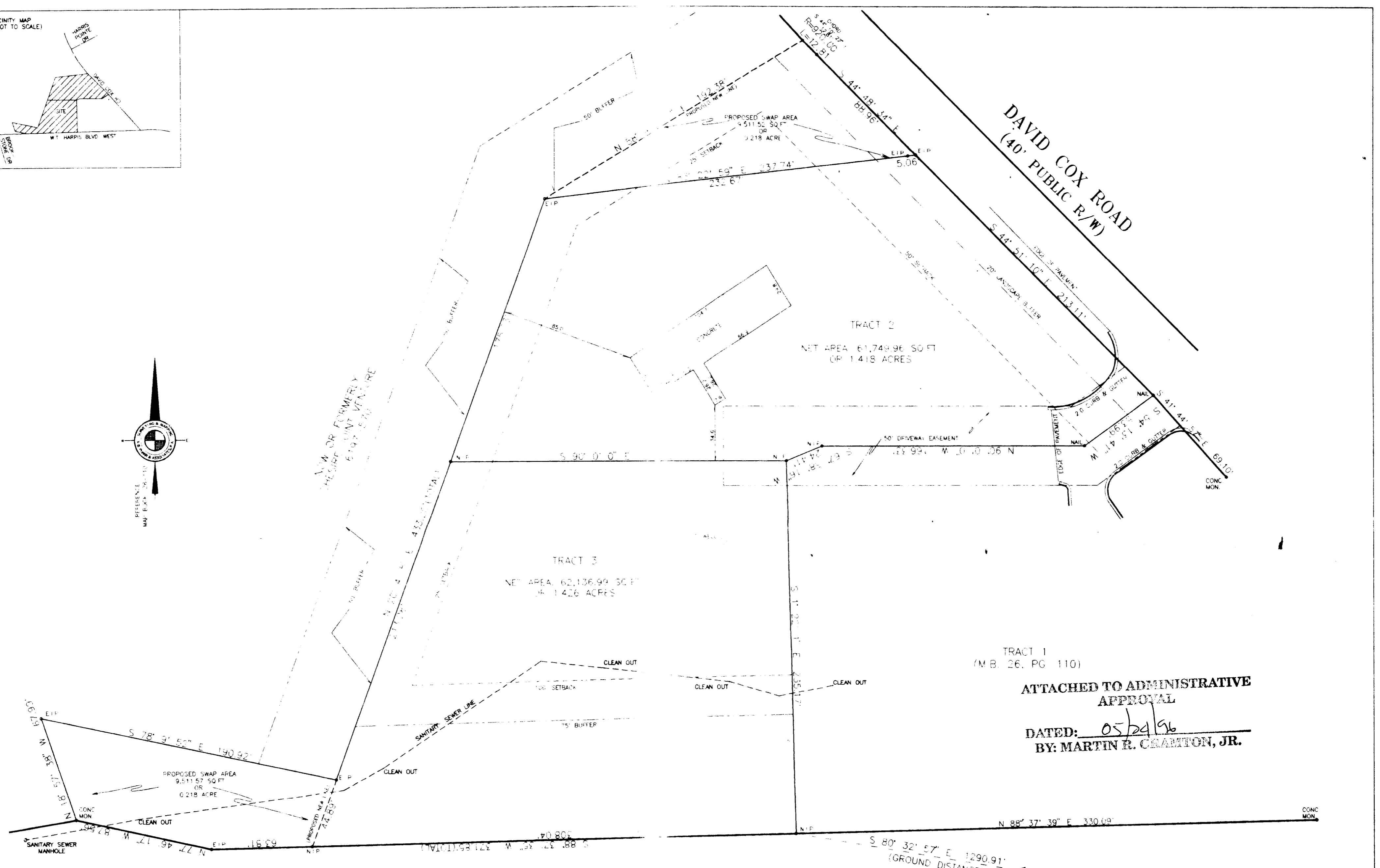
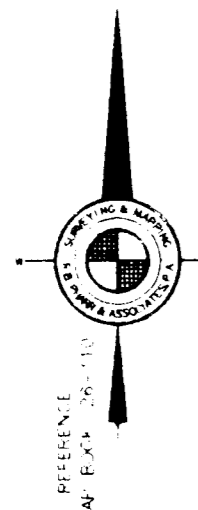
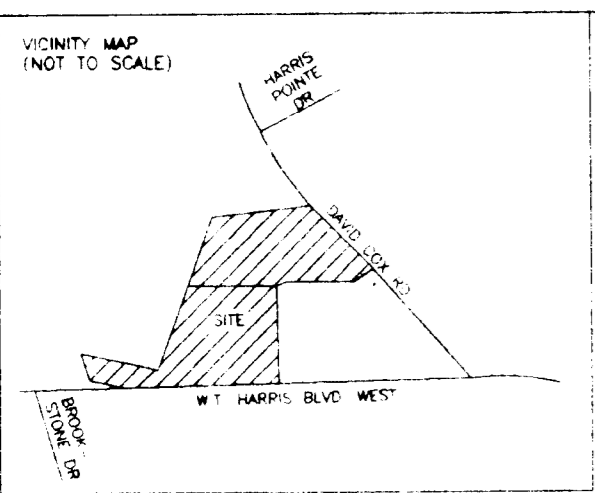
**CHARLOTTE-MECKLENBURG PLANNING COMMISSION**  
 INTER-OFFICE COMMUNICATION

DATE: September 25, 1995

FROM: Martin R. Canton, Jr., Planning Director  
 TO: Robert Brandon, Zoning Administrator

SUBJECT: #225-041-22  
 Administrative Approval for Petition No. 89-36c by James A. Coates Tax Parcel

MRCJL:CV:jib



ATTACHED TO ADMINISTRATIVE APPROVAL  
 DATED: 05/24/96  
 BY: MARTIN R. CRANTON, JR.

WEST W.T. HARRIS BOULEVARD  
 (200' PUBLIC R/W)

LEGEND  
 E.I.P. EXISTING IRON PIN  
 N.I.P. NEW IRON PIN  
 CONC. MON. CONCRETE MONUMENT

NOTE  
 1. SUBJECT PROPERTY ZONED B-1SCD PER REZONING PETITION 89-36(c) APPROVED ON 01-16-90 FOR MECKLENBURG COUNTY ABC BOARD (PETITIONER).  
 2. ALL NOTES (DEVELOPMENT STANDARDS) FROM THE REZONING PETITION ARE APPLICABLE TO THIS PROPERTY.  
 3. VEHICULAR ACCESS FROM TRACT 3 TO WEST W.T. HARRIS BOULEVARD IS PROHIBITED.

TOTAL AREA:  
 133,398.52 SQ. FT.  
 OR 3.062 ACRES

FLOOD CERTIFICATION  
 THIS IS TO CERTIFY THAT THE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAPS PREPARED BY THE FEDERAL AGENCY FEDERAL INSURANCE AND INVESTMENT CORPORATION FEBRUARY 3, 1973.  
 THIS IS TO CERTIFY THAT THE SURVEY WAS MADE UNDER THE PROVISIONS OF THE NORTH CAROLINA BOARD RULE 1600 (21 NCAC 56) AND THE ERROR OF CLOSURE FOR THIS PARCEL DOES NOT EXCEED THE SQUARE ROOT OF THE NUMBER OF THE SQUARE FEET OF THE SURVEYED AREA.

THIS PROPERTY IS NOT A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAPS PREPARED BY THE FEDERAL AGENCY FEDERAL INSURANCE AND INVESTMENT CORPORATION FEBRUARY 3, 1973.  
 THIS IS TO CERTIFY THAT THE SURVEY WAS MADE UNDER THE PROVISIONS OF THE NORTH CAROLINA BOARD RULE 1600 (21 NCAC 56) AND THE ERROR OF CLOSURE FOR THIS PARCEL DOES NOT EXCEED THE SQUARE ROOT OF THE NUMBER OF THE SQUARE FEET OF THE SURVEYED AREA.  
 SIGNED: C. Clark Neilson



REVISIONS		SURVEY PREPARED FOR	
OCTOBER 26, 1995 - COMPUTE AND SHOW DESCRIPTIONS ON PROPOSED SWAP AREAS		RANDALL P. WILLIS AND LUTHER G. CAUDLE	
OCTOBER 31, 1995 - COMPUTE NEW SWAP AREA AND SHOW DESCRIPTIONS		TRACTS 2 AND 3, ABC BOARD OF MECKLENBURG COUNTY CHARLOTTE, MECKLENBURG COUNTY, N.C.	
MAY 17, 1996 - TO SHOW 50' BUFFER ALONG NORTHEASTLY PROPERTY LINES		MAP BOOK 26, PAGE 110 TAX NUMBER: 027-132-11 & 12	
		R.B. PHARR & ASSOCIATES, P.A. SURVEYING & MAPPING 1900 E. SEVENTH STREET CHARLOTTE, NC 28204 TEL: (704) 376-2186	
SCALE: 1" = 40'	DATE: 08-16-95	FILE NO. XX-1916	JOB NUMBER: 37425

CHARLOTTE - MECKLENBURG PLANNING COMMISSION  
 INTER - OFFICE COMMUNICATION

TO: Robert Brandon  
 Zoning Administrator

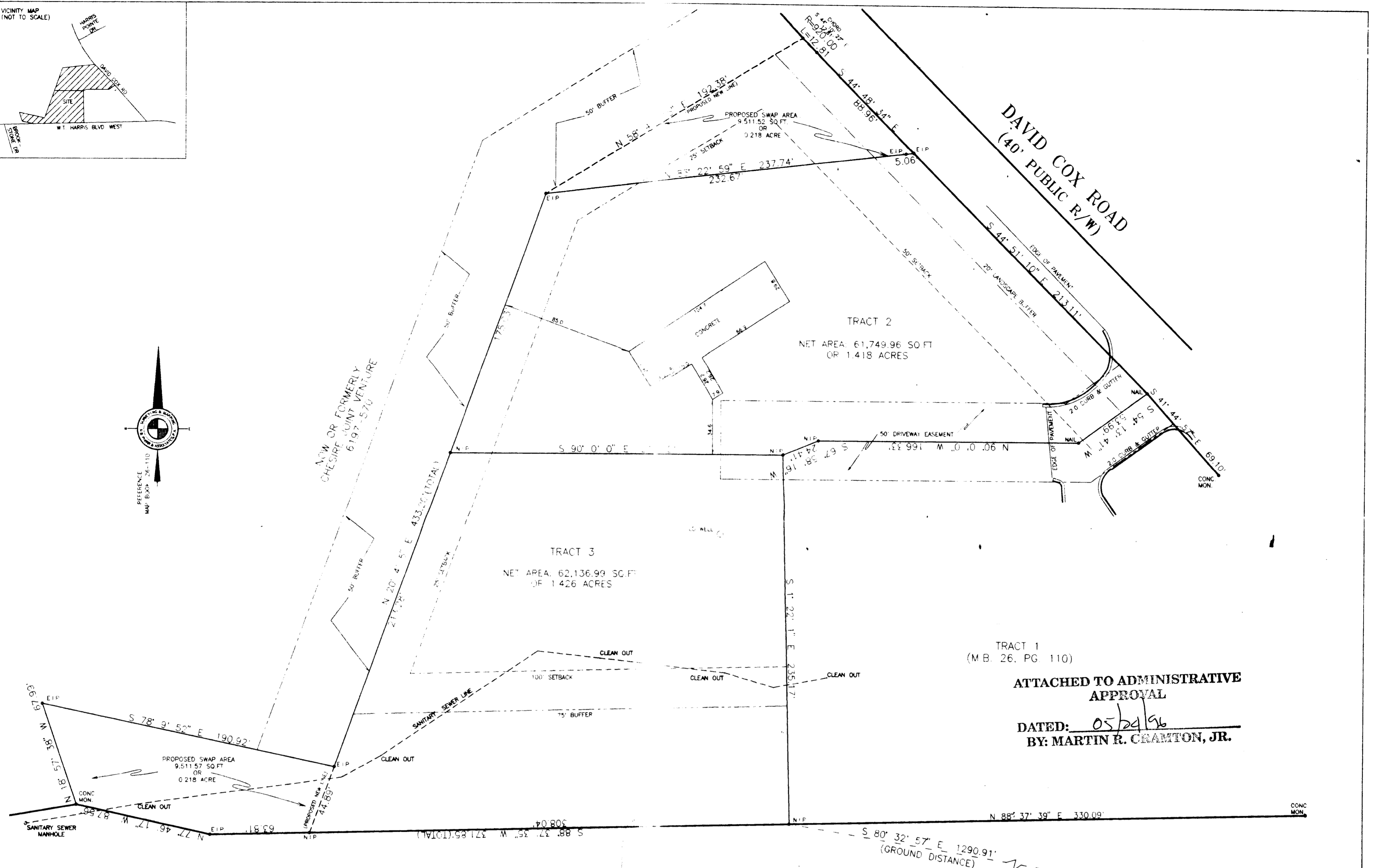
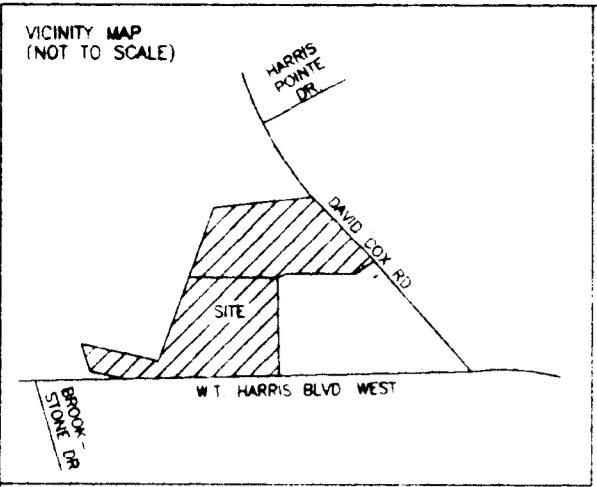
DATE: May 24, 1996

FROM: Martin R. Cranton, Jr.  
 Planning Director

SUBJECT: Administrative Approval for Petition No. 89-36(c) by Mecklenburg County ABC Board Tax Parcel # 027-132-01 and 87-46 (c) by NCF Financial Corp. 027-132-05

Attached is a survey showing the relocation of a common property line between these two conditional plans. The property line has been shifted in two areas as a result of a land swap between the two property owners. The attached survey indicates how the buffer (on petition no. 89-36(c)) has shifted as a result of the new property line. Since both properties are zoned for business uses and the buffer and yards are not been reduced I am administratively approving this change. Please use this memo and survey when evaluating requests for building permits and certificates of occupancy.





WEST W.T. HARRIS BOULEVARD  
(200' PUBLIC R/W)

LEGEND  
E.I.P. EXISTING IRON PIN  
N.I.P. NEW IRON PIN  
CONC. MON. CONCRETE MONUMENT

NOTE  
1. SUBJECT PROPERTY ZONED B-1SCD PER REZONING PETITION 89-36(C) APPROVED ON 01-16-90 FOR MECKLENBURG COUNTY ABC BOARD (PETITIONER)  
A) ALL NOTES (DEVELOPMENT STANDARDS) FROM THE REZONING PETITION ARE APPLICABLE TO THIS PROPERTY.  
2. VEHICULAR ACCESS FROM TRACT 3 TO WEST W.T. HARRIS BOULEVARD IS PROHIBITED

TOTAL AREA:  
133,398.52 SQ. FT.  
OR 3.062 ACRES

FLOOD CERTIFICATION  
THIS IS TO CERTIFY THAT THE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAPS PREPARED BY THE FEDERAL AGENCY FOR INSURANCE AND RISK MANAGEMENT FEBRUARY 3, 1993

THIS IS TO CERTIFY THAT THE SURVEY WAS MADE UNDER MY PERSONAL SUPERVISION AND THE IMPROVEMENTS, IF ANY, SHOWN HEREON THIS PLAT MEETS THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA AND THE ERROR OF CLOSURE FOR THIS PARCEL DOES NOT EXCEED ONE HUNDRED PARTS PER 10,000 FEET OF PERIMETER SURVEYED NOR 20 SECONDS TIMES THE SQUARE ROOT OF THE NUMBER OF SIDES TURNED

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SIGNED: *C. Clark Neilson*  
DATE: 16 DAY OF AUGUST 19 95



REVISIONS
OCTOBER 26, 1995 - COMPUTE AND SHOW DESCRIPTIONS ON PROPOSED SWAP AREAS
OCTOBER 31, 1995 - COMPUTE NEW SWAP AREA AND SHOW DESCRIPTIONS
MAY 17, 1996 - TO SHOW 50' BUFFER ALONG NORTHEASTERLY PROPERTY LINE

JOB NUMBER: 37425		
SURVEY PREPARED FOR <b>RANDALL P. WILLIS AND LUTHER G. CAUDLE</b> TRACTS 2 AND 3, ABC BOARD OF MECKLENBURG COUNTY CHARLOTTE, MECKLENBURG COUNTY, N.C. MAP BOOK 26, PAGE 110 TAX NUMBER: 027-132-11 & 12		
R.B. PHARR & ASSOCIATES, P.A. SURVEYING & MAPPING 1900 E. SEVENTH STREET CHARLOTTE, N.C. 28204 TEL. (704) 376-2186		
SCALE: 1"=40'	DATE: 08-16-95	FILE NO. XX-1916

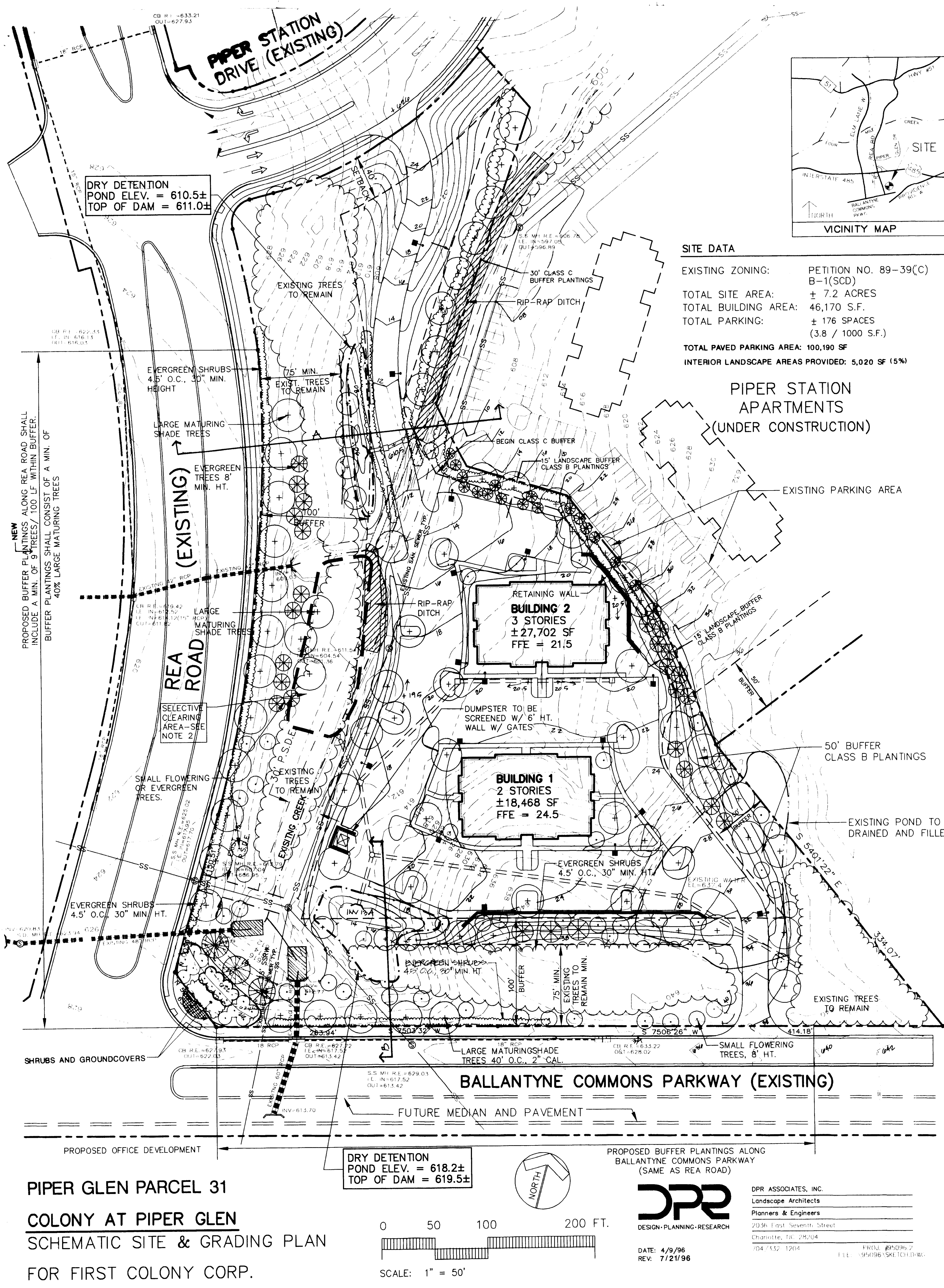
**CHARLOTTE-MECKLENBURG  
PLANNING COMMISSION**  
INTER-OFFICE COMMUNICATION

DATE: May 24, 1996  
FROM: *Martin R. Cramton, Jr.*  
Martin R. Cramton, Jr.  
Planning Director

TO: Robert Brandon  
Zoning Administrator

SUBJECT: Administrative Approval for Petition No. 89-36(c) by Mecklenburg County ABC Board  
Tax Parcel # 027-132-01 and 87-46 (c) by NCF Financial Corp. 027-132-05

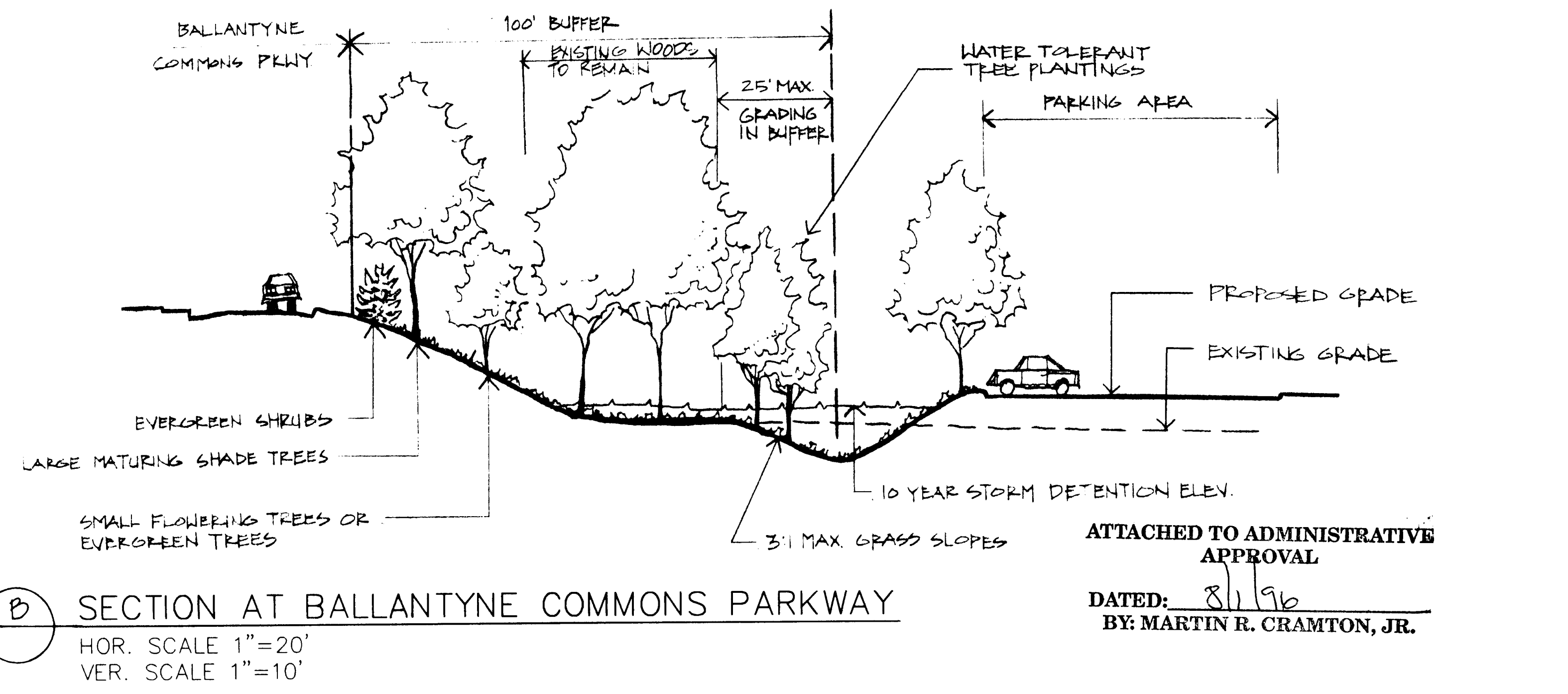
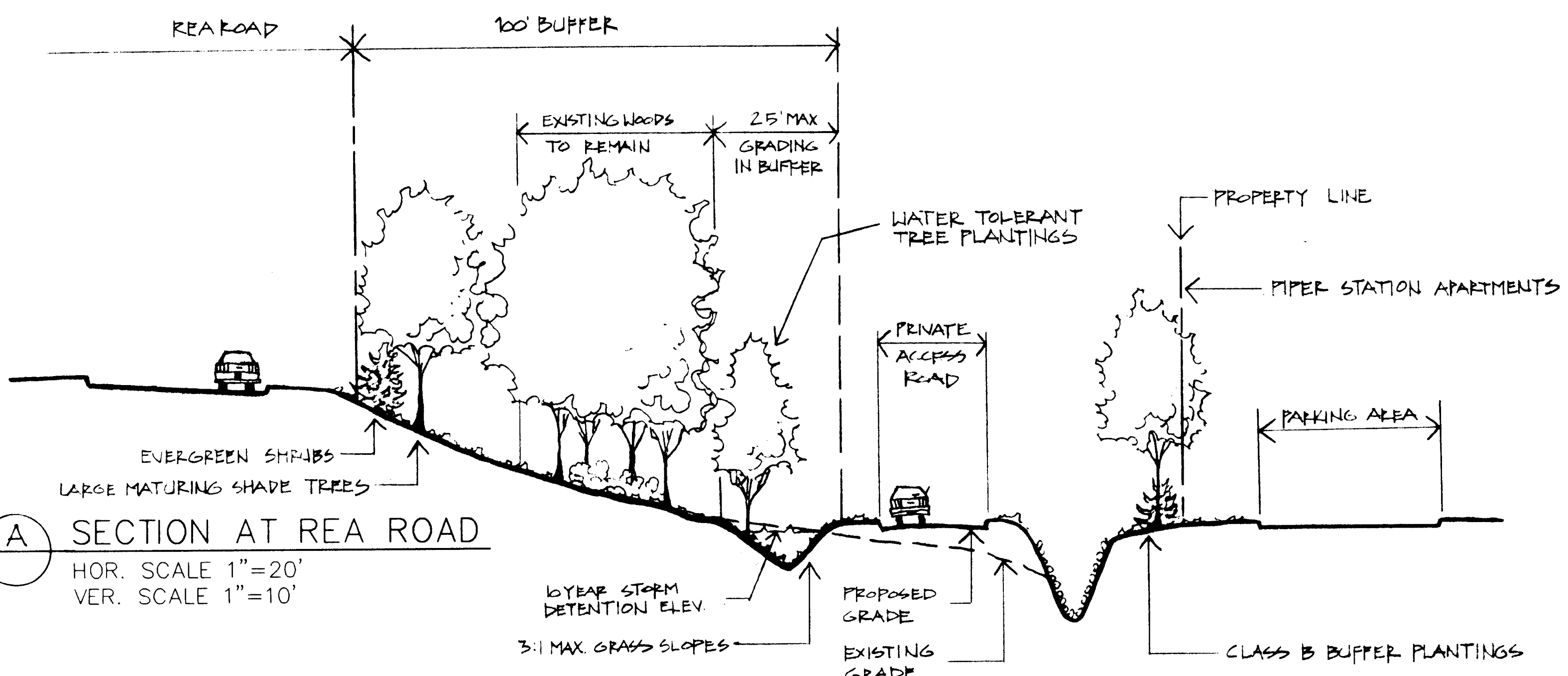
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PIPER GLEN PARCEL 31  
**COLONY AT PIPER GLEN**  
 SCHEMATIC SITE & GRADING PLAN  
 FOR FIRST COLONY CORP.

**SITE DATA**  
 EXISTING ZONING: PETITION NO. 89-39(C)  
 B-1(SCD)  
 TOTAL SITE AREA: ± 7.2 ACRES  
 TOTAL BUILDING AREA: 46,170 S.F.  
 TOTAL PARKING: ± 176 SPACES  
 (3.8 / 1000 S.F.)  
 TOTAL PAVED PARKING AREA: 100,190 SF  
 INTERIOR LANDSCAPE AREAS PROVIDED: 5,020 SF (5%)

**PIPER STATION APARTMENTS (UNDER CONSTRUCTION)**



ATTACHED TO ADMINISTRATIVE APPROVAL  
 DATED: 8/1/96  
 BY: MARTIN R. CRAMTON, JR.

**DEVELOPMENT NOTES FOR PARCEL 31:**

- This plan represents a general concept for development, intended to show circulation and land use relationships. Specific site plans for each parcel will be submitted for Planning Commission approval at a later date, providing more detailed information about building/parking configurations, landscaping, signage, and buffer area treatments.
- Parcel boundaries shown on this plan are approximate, and subject to adjustment based on development requirements for each specific parcel.
- All development within this site will conform with the performance standards established for the B-1 SCD District under the applicable zoning ordinances, and shall satisfy all requirements imposed thereunder with respect to setbacks, parking, buffers, screening, and circulation.
- All development will be subject to the amended and restated Concept Plan for the development of Piper Glen, dated February 17, 1986.
- Commitment to Provide Public Street Transit Access: The applicant agrees to provide access, loading and unloading areas within Parcel 31 to accommodate public transportation and further agrees that all areas within this parcel which are designated for public transit access will be designed to accommodate bus turning requirements.
- The existing tree covers and natural vegetation within the buffer zones established for Parcel 31 along Rea Road Extension may be altered or removed provided the Applicant in advance of any such alteration or removal submits to the Charlotte-Mecklenburg Planning Director a landscaping plan for such buffer zones and obtains his approval of such plan.
- Parking Areas: Open parking lots on Parcel 31 will have interior landscaping and planted areas equal to at least 5% of their paved area.
- Free-standing tenant identification signs may not be located within the buffer zones established for Parcel 31.
- Development of Mixed-Use Center (Parcel 31):

(i) Except as otherwise provided under subparagraphs (i) and (ii) of this paragraph (i), construction of the Mixed-Use Center on Parcel 31 cannot begin earlier than the date which is 18 months prior to the scheduled completion date of the Outer Belt Freeway between N.C. Highway 16 and Johnston Road. Such completion date shall be established by reference to the completion date specified in the contract or contracts awarded by NCDOT for such portion of the Outer Belt Freeway; or, if no completion date is so specified in such contract or contracts, then by a letter from the NCDOT addressed to the Charlotte-Mecklenburg Planning Commission setting forth the estimated date of completion for such portion of the Outer Belt Freeway.

(ii) Notwithstanding any provisions of subparagraph (i) of this paragraph to the contrary, building permits may be issued for the construction of up to 30,000 square feet of retail development, up to 150,000 square feet of office development and up to 200 multi-family dwelling units within the Mixed-Use Center approved for Parcel 31 at any time after contracts have been awarded for:

- the construction to at least a two-lane facility of the proposed realignment of Providence Road West (Ballantyne Commons Parkway) between the point of demarcation from its existing alignment east of Parcel 31 and its proposed new point of intersection with Elm Lane West;
- the construction of Rea Road Extension to at least a two-lane facility from Piper Glen Drive south to the point of its intersection with realigned Providence Road West (Ballantyne Commons Parkway).

provided, however, that the final certificate of occupancy for any such development may not be issued until the above-described improvements to Rea Road Extension and Providence Road West (Ballantyne Commons Parkway) have been opened for use by the public.

(iii) Notwithstanding any provisions of subparagraphs (i) or (ii) of this paragraph to the contrary, construction of no more than 300,000 square feet of office development within the Mixed-Use Center approved for Parcel 31 may begin until two years after the earliest date on which construction of the Regional Shopping Center on Parcel 30 is allowed to begin under the provisions of Paragraph (c) of the "Amended and Restated Concept Plan for the Development of Piper Glen". Construction of the remaining 250,000 square feet of office development approved for Parcel 31 may proceed at any time after the end of such two-year period.

**NOTES**  
 1. GRADED SLOPES SHALL NOT EXCEED 3:1 IN ANY BUFFER AREA.  
 2. SELECTIVE CLEARING WILL BE PERMITTED IN THE AREA OUTLINED TO REMOVE EXISTING TREES AND SHRUBS LESS THAN 3" IN TRUNK DIAMETER, AND TO REMOVE LIMBS UP TO 6' ABOVE EXISTING GROUND LEVEL.

**PLAN LEGEND**

- (+) LARGE MATURING TREE, 2" CAL.
- (X) EVERGREEN TREE, 2" MIN. CAL.
- (.) SMALL FLOWERING OR EVERGREEN TREE, 2" MIN. CAL.
- LIGHT FIXTURE, 20' MAX. HEIGHT, W/SHIELDING TO DIRECT LIGHT DOWNWARD

**CHARLOTTE-MECKLENBURG PLANNING COMMISSION**  
 INTER-OFFICE COMMUNICATION

TO: Robert Brandon, Zoning Administrator

DATE: August 1, 1996

FROM: Martin R. Cramton, Jr., Planning Director

SUBJECT: Administrative Approval for Petition No. 89-36P by James A. Coates Tax Parcel # 225-041-22 Specific Approval of Development of Parcel #31.

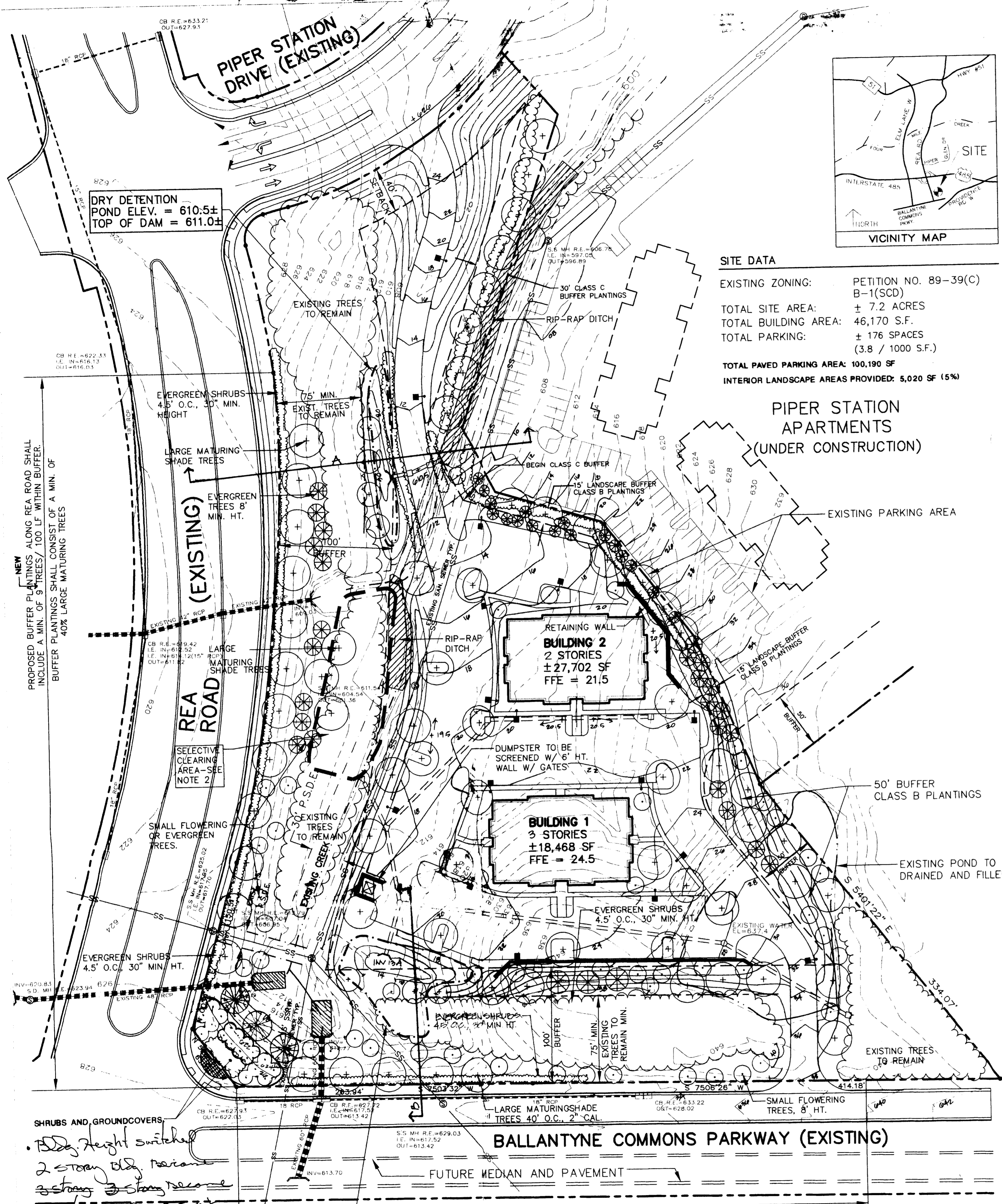
Attached is a specific plan for a portion of Parcel 31 of Piper Glen. This specific plan shows how two office buildings will be built on the site. These two office buildings will have a total of 46,170 square feet of office space. This plan also shows how the buffers will be landscaped and how much of the buffers maybe disturbed and re-landscaped. Since this plan is consistent with the conditions of the approved conditional plan and was approved by the Zoning Committee at its July 22nd meeting we are administratively approving this revised plan. Please use this attached plan when evaluating requests for building permits and certificates of occupancy.

6/17 - PDD's height switched.  
 27th. corner of

DPR ASSOCIATES, INC.  
 Landscape Architects  
 Planners & Engineers  
 2730 W. Tenth Street  
 Charlotte, N.C. 28204  
 704-375-1204 FAX: 704-375-1205

DATE: 4/9/96  
 REV: 7/21/96





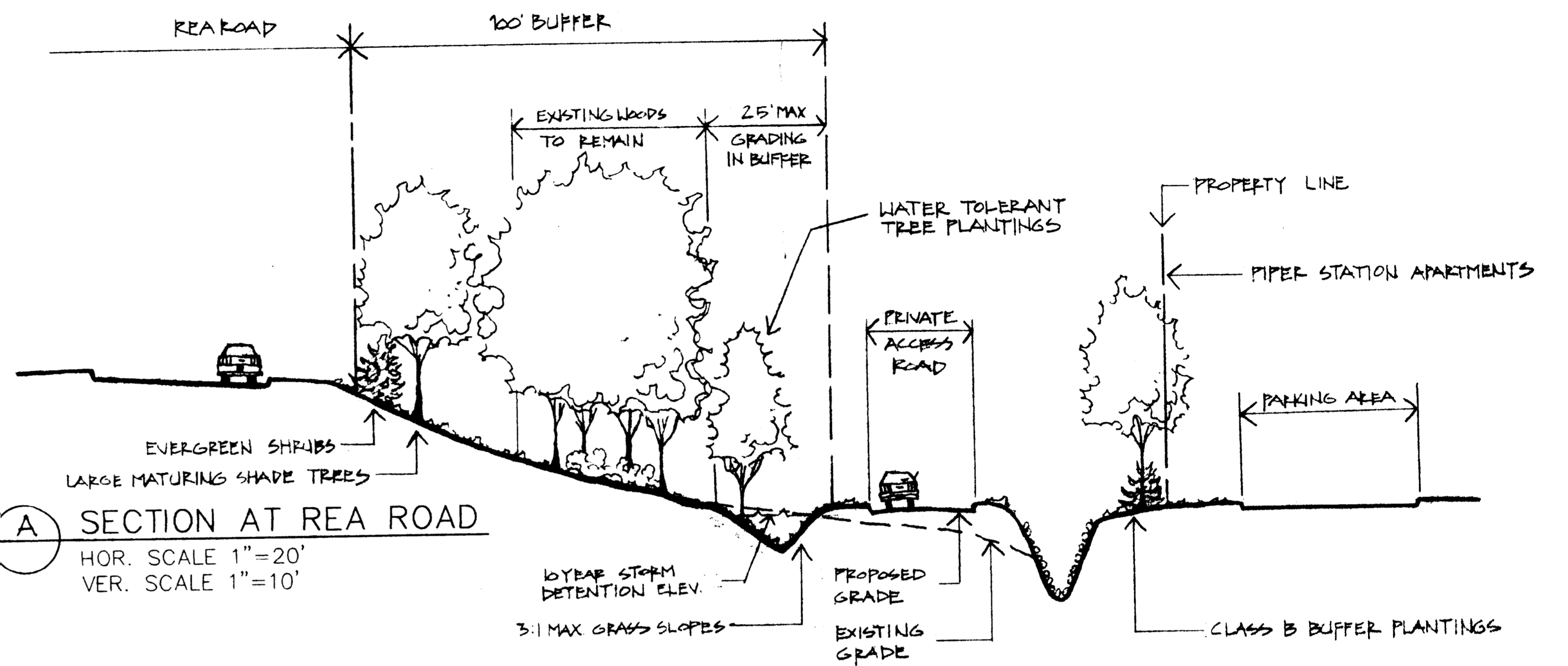
**SITE DATA**

EXISTING ZONING: PETITION NO. 89-39(C)  
B-1(SCD)

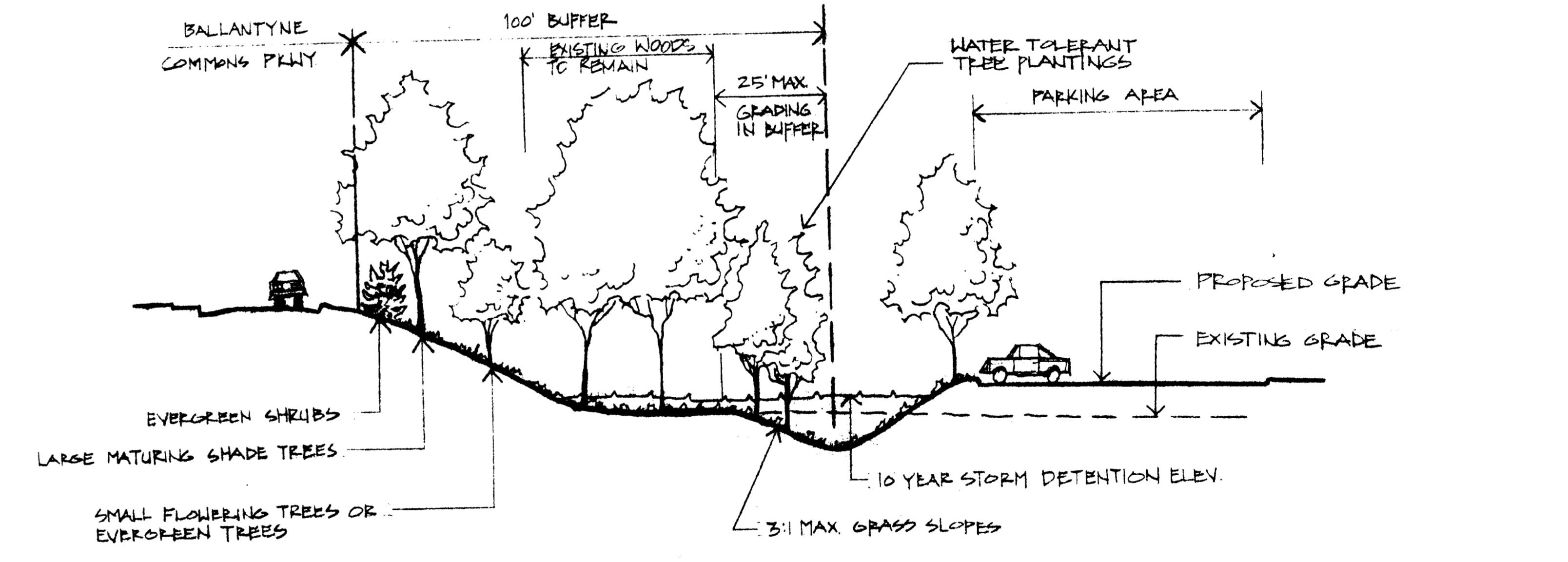
TOTAL SITE AREA: ± 7.2 ACRES  
TOTAL BUILDING AREA: 46,170 S.F.  
TOTAL PARKING: ± 176 SPACES  
(3.8 / 1000 S.F.)

TOTAL PAVED PARKING AREA: 100,190 SF  
INTERIOR LANDSCAPE AREAS PROVIDED: 5,020 SF (5%)

**PIPER STATION APARTMENTS (UNDER CONSTRUCTION)**



**A SECTION AT REA ROAD**  
HOR. SCALE 1"=20'  
VER. SCALE 1"=10'



**B SECTION AT BALLANTYNE COMMONS PARKWAY**  
HOR. SCALE 1"=20'  
VER. SCALE 1"=10'

**DEVELOPMENT NOTES FOR PARCEL 31:**

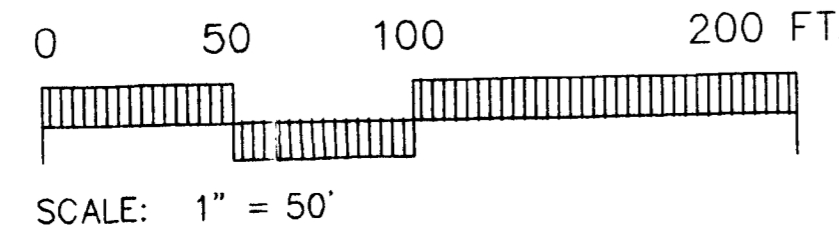
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  - All development will be subject to the amended and restated Concept Plan for the development of Piper Glen, dated February 17, 1986.
  - Commitment to Provide Public Street Transit Access: The applicant agrees to provide access, loading and unloading areas within Parcel 31 to accommodate public transportation and further agrees that all streets within this parcel which are designated for public transit access will be designed to accommodate bus turning requirements.
  - The existing tree covers and natural vegetation within the buffer zones established for Parcel 31 along Rea Road Extension may be altered or removed provided the Applicant in advance of any such alteration or removal submits to the Charlotte-Mecklenburg Planning Director a landscaping plan for such buffer zones and obtains his approval of such plan.
  - Parking Areas: Open parking lots on Parcel 31 will have interior landscaping and planted areas equal to at least 5% of their paved area.
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- (ii) Notwithstanding any provisions of subparagraph (i) of this paragraph to the contrary, building permits may be issued for the construction of up to 30,000 square feet of retail development, up to 150,000 square feet of office development and up to 200 multi-family dwelling units within the Mixed-Use Center approved for Parcel 31 at any time after contracts have been awarded for:
- the construction of at least a two-lane facility of the proposed realignment of Providence Road West (Ballantyne Commons Parkway) east of the point of demarcation from its existing alignment east of Parcel 31 and its proposed new point of intersection with Elm Lane West;
  - the construction of Rea Road Extension to at least a two-lane facility from Piper Glen Drive south to the point of its intersection with realigned Providence Road West (Ballantyne Commons Parkway);
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- (iii) Notwithstanding any provisions of subparagraphs (i) or (ii) of this paragraph to the contrary, construction of no more than 300,000 square feet of office development within the Mixed-Use Center approved for Parcel 31 may begin until two years after the earliest date on which begin under the provisions of Paragraph (e) of the "Amended and Restated Concept Plan for the Development of Piper Glen". Construction of the remaining 250,000 square feet of office development approved for Parcel 31 may proceed at any time after the end of such two years' period.

- NOTES**
- GRADED SLOPES SHALL NOT EXCEED 3:1 IN ANY BUFFER AREA.
  - SELECTIVE CLEARING WILL BE PERMITTED IN THE AREA OUTLINED TO REMOVE EXISTING TREES AND SHRUBS LESS THAN 3" IN TRUNK DIAMETER, AND TO REMOVE LIMBS UP TO 8' ABOVE EXISTING GROUND LEVEL.

- PLAN LEGEND**
- ⊕ LARGE MATURING TREE, 2" CAL.
  - ⊗ EVERGREEN TREE, 2" MIN. CAL.
  - ⊙ SMALL FLOWERING OR EVERGREEN TREE, 2" MIN. CAL.
  - LIGHT FIXTURE - 20' MAX HEIGHT, W/SHIELDING TO DIRECT LIGHT DOWNWARD

SHRUBS AND GROUNDCOVERS:  
• 8' height switches  
• 2 story 8' height bariana  
• 3 story 8' height bariana  
• 3 story 8' height bariana  
PROPOSED OFFICE DEVELOPMENT  
R.M. 6/1/97

**PIPER GLEN PARCEL 31**  
**COLONY AT PIPER GLEN**  
**SCHEMATIC SITE & GRADING PLAN**  
FOR FIRST COLONY CORP.

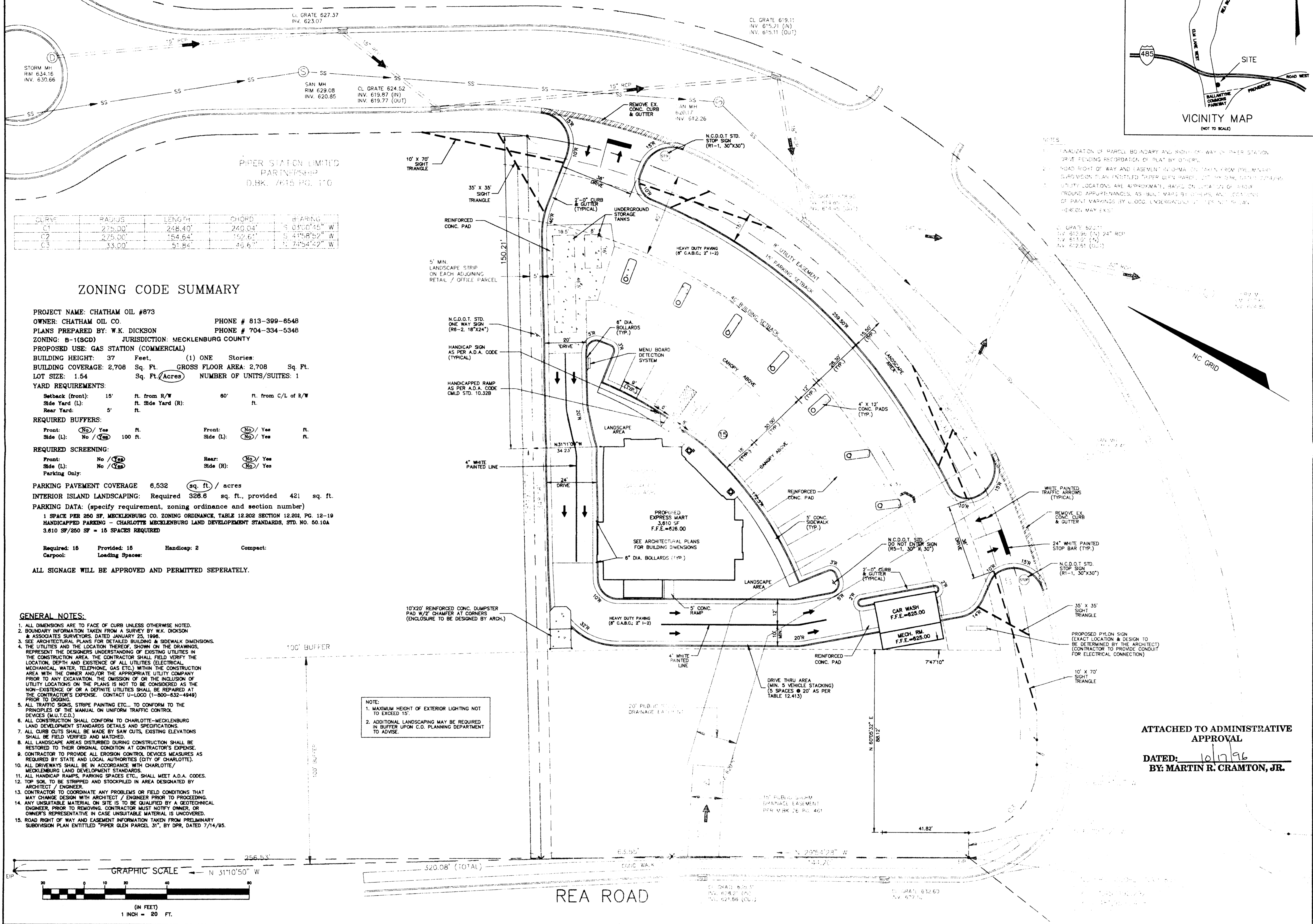


**DPR ASSOCIATES, INC.**  
Landscape Architects  
Planners & Engineers  
2036 East Seventh Street  
Charlotte, NC 28204  
704.332.1704

DATE: 4/9/96  
REV: 7/21/96  
9/25/96: CHANGE BUDG 1 TO 3 STORIES, BUDG 2 TO 2 STORIES



# PIPER STATION DRIVE



CURVE	PIVOT	LENGTH	CHORD	BEARING
C1	275.00'	248.40'	240.04'	S 01°04'48" W
C2	275.00'	154.64'	102.64'	S 47°48'52" W
C3	33.00'	51.84'	46.64'	N 7°54'42" W

## ZONING CODE SUMMARY

PROJECT NAME: CHATHAM OIL #873  
 OWNER: CHATHAM OIL CO. PHONE # 813-399-8548  
 PLANS PREPARED BY: W.K. DICKSON PHONE # 704-334-5348  
 ZONING: B-1(SCD) JURISDICTION: MECKLENBURG COUNTY  
 PROPOSED USE: GAS STATION (COMMERCIAL)  
 BUILDING HEIGHT: 37 Feet. (1) ONE Stories:  
 BUILDING COVERAGE: 2,708 Sq. Ft. GROSS FLOOR AREA: 2,708 Sq. Ft.  
 LOT SIZE: 1.54 Sq. Ft./Acres NUMBER OF UNITS/SUITES: 1

YARD REQUIREMENTS:  
 Setback (front): 15' ft. from R/W 60' ft. from C/L of R/W  
 Side Yard (L): 5' ft. Side Yard (R): 5' ft.  
 Rear Yard: 5' ft.

REQUIRED BUFFERS:  
 Front:  No /  Yes ft. Front:  No /  Yes ft.  
 Side (L):  No /  Yes 100 ft. Side (R):  No /  Yes ft.

REQUIRED SCREENING:  
 Front:  No /  Yes ft. Rear:  No /  Yes ft.  
 Side (L):  No /  Yes ft. Side (R):  No /  Yes ft.  
 Parking Only:  No /  Yes ft.

PARKING PAYMENT COVERAGE 6,532 sq. ft. / acres

INTERIOR ISLAND LANDSCAPING: Required 328.6 sq. ft., provided 421 sq. ft.

PARKING DATA: (specify requirement, zoning ordinance and section number)  
 1 SPACE PER 250 SF, MECKLENBURG CO. ZONING ORDINANCE TABLE 12.202 SECTION 12.204, PG. 12-19  
 HANDICAPPED PARKING - CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS, STD. NO. 50.10A  
 5.610 SF/250 SF = 15 SPACES REQUIRED

Required: 16 Provided: 16 Handicap: 2 Compact: 2  
 Carpool: Loading Spaces:

ALL SIGNAGE WILL BE APPROVED AND PERMITTED SEPARATELY.

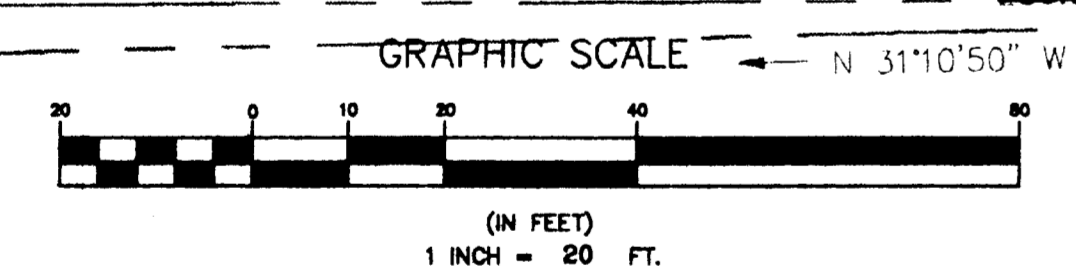
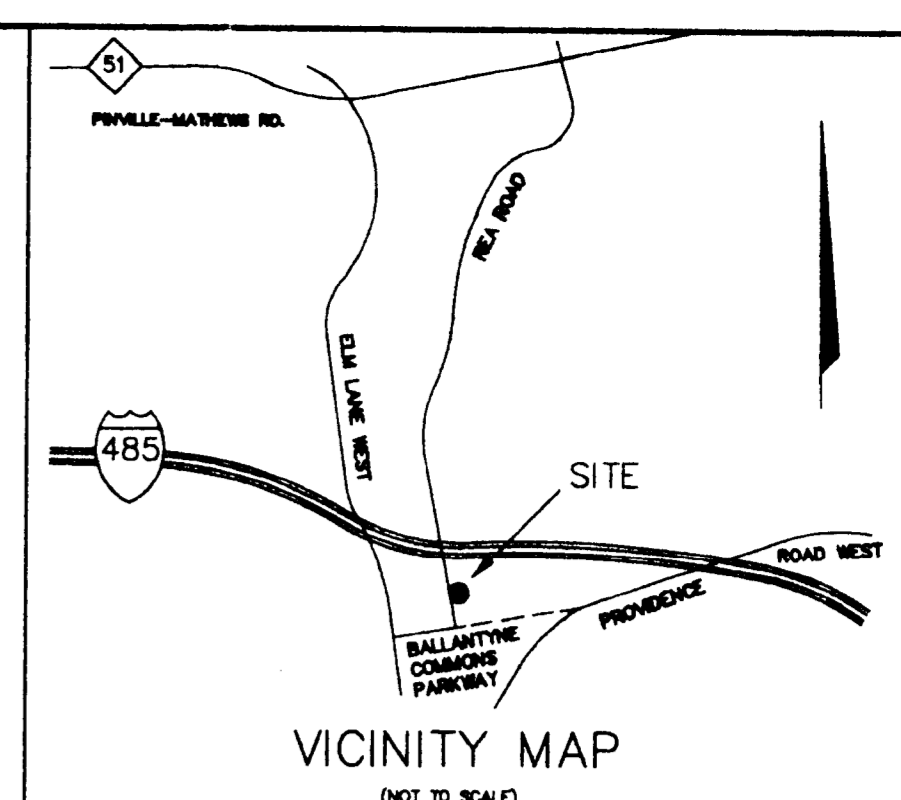
### GENERAL NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- BOUNDARY INFORMATION TAKEN FROM A SURVEY BY W.K. DICKSON & ASSOCIATES SURVEYORS DATED JANUARY 25, 1996.
- SEE ARCHITECTURAL PLANS FOR DETAILED BUILDING & SIDEWALK DIMENSIONS.
- THE UTILITIES AND THE LOCATION THEREOF, SHOWN ON THE DRAWINGS, REPRESENT THE DESIGNER'S UNDERSTANDING OF EXISTING UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, DEPTH AND EXISTENCE OF ALL UTILITIES (ELECTRICAL, MECHANICAL, WATER, TELEPHONE, GAS ETC.) WITHIN THE CONSTRUCTION AREA WITH THE OWNER AND/OR THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY EXCAVATION. THE OMISSION OF OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NON-EXISTENCE OF OR A DEFERRED UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. CONTACT U-LOCO (1-800-832-4444) PRIOR TO EXCAVATING.
- ALL TRAFFIC SIGNS, STRIPE PAINTING ETC., TO CONFORM TO THE PRINCIPLES OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- ALL CONSTRUCTION SHALL CONFORM TO CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS DETAILS AND SPECIFICATIONS.
- ALL CURB CUTS SHALL BE MADE BY SAW CUTS. EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.
- ALL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT CONTRACTOR'S EXPENSE.
- CONTRACTOR TO PROVIDE ALL EROSION CONTROL DEVICES MEASURES AS REQUIRED BY STATE AND LOCAL AUTHORITIES (CITY OF CHARLOTTE).
- ALL DRIVEWAYS SHALL BE IN ACCORDANCE WITH CHARLOTTE/MECKLENBURG LAND DEVELOPMENT STANDARDS.
- ALL HANDICAP RAMP, PARKING SPACES ETC., SHALL MEET A.D.A. CODES.
- TOP SOIL TO BE STRIPPED AND STOCKPILED IN AREA DESIGNATED BY ARCHITECT / ENGINEER.
- CONTRACTOR TO COORDINATE ANY PROBLEMS OR FIELD CONDITIONS THAT MAY CHANGE DESIGN WITH ARCHITECT / ENGINEER PRIOR TO PROCEEDING.
- ANY UNSUITABLE MATERIAL ON SITE IS TO BE QUALIFIED BY A GEOTECHNICAL ENGINEER. PRIOR TO REMOVAL, CONTRACTOR MUST NOTIFY OWNER OR OWNER'S REPRESENTATIVE IN CASE UNSUITABLE MATERIAL IS UNCOVERED.
- ROAD RIGHT OF WAY AND EASEMENT INFORMATION TAKEN FROM PRELIMINARY SUBDIVISION PLAN ENTITLED "PIPER GLEN PARCEL 31", BY DPR, DATED 7/14/95.

NOTE:  
 1. MAXIMUM HEIGHT OF EXTERIOR LIGHTING NOT TO EXCEED 15'.  
 2. ADDITIONAL LANDSCAPING MAY BE REQUIRED IN BUFFER UPON C.O. PLANNING DEPARTMENT TO ADVISE.

- NOTES:
- TRAVELATION OF PARCEL BOUNDARY AND RIGHT OF WAY OF PIPER STATION DRIVE FOLLOWING RECORDS OF THAT BY OTHERS.
  - ROAD RIGHT OF WAY AND EASEMENT IN DIMENSION FROM PRELIMINARY SUBDIVISION PLAN ENTITLED "PIPER GLEN PARCEL 31" AND "PIPER GLEN PARCEL 32".
  - UTILITY LOCATIONS ARE APPROXIMATE, BASED ON LOCATION OF HANDS FOUND APPROPRIATELY. AS-BUILT MARKS BY UTILITIES WILL CORRECT LOCATION OF PAINT MARKINGS BY U.O.D. UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED MAY EXIST.

CL GRATE 527.37  
 INV. 623.07  
 CL GRATE 624.52  
 INV. 619.87 (IN)  
 INV. 619.77 (OUT)



## REA ROAD

### CHARLOTTE-MECKLENBURG PLANNING COMMISSION INTER-OFFICE COMMUNICATION

DATE: October 17, 1996  
 FROM: Martin R. Cramton, Jr. Planning Director  
 TO: Robert Brandon Zoning Administrator

SUBJECT: Administrative Approval for Petition No. 89-36(c) Tax Parcel # 225-041-22 Specific Approval of Development of Parcel # 31.

Attached is a specific plan for Davenport's convenience store. This plan was approved by the Zoning Committee of the Planning Commission at its September 23rd meeting. This approval does not include approval of the signage for the building or a drive-thru window. This approval is for the "shell" only. Please use this plan when evaluating request for building permits and certificates of occupancy.

ATTACHED TO ADMINISTRATIVE APPROVAL  
 DATED: 10/17/96  
 BY: MARTIN R. CRAMTON, JR.

Overcash & Demmitt Architects  
 227 West Trade Street, Suite 2000 - Charlotte, North Carolina 28202

W.K. DICKSON  
 Planning Director  
 1000 North Tryon Street, Suite 2000 - Charlotte, NC 28202

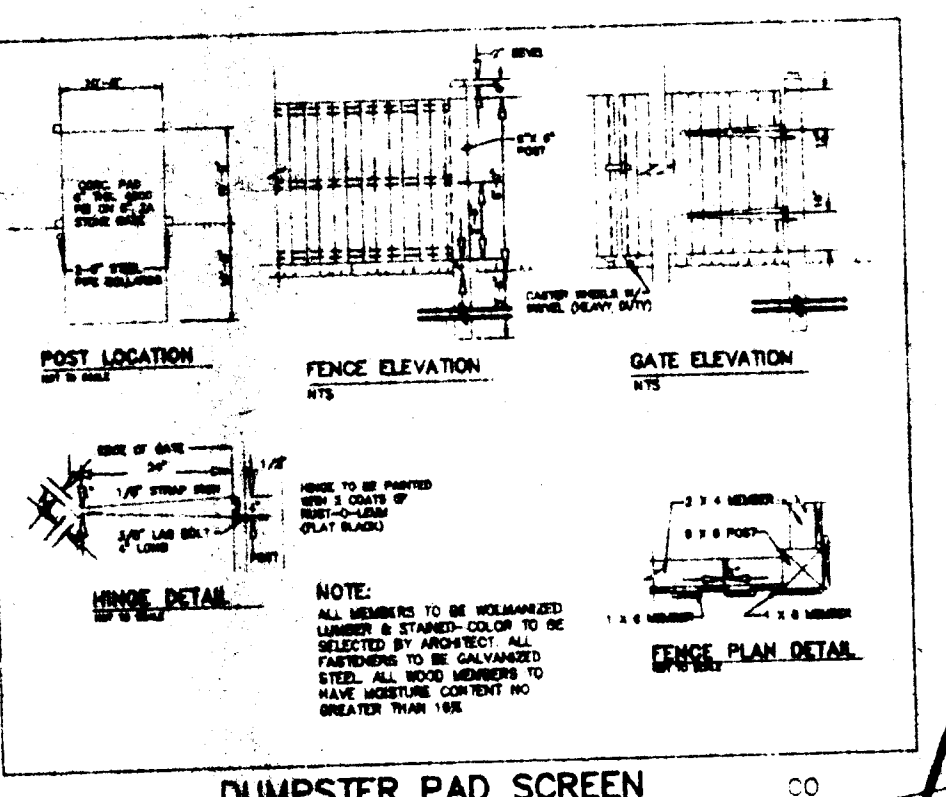
EXPRESS MART  
 5200 PIPER STATION DR.  
 CHARLOTTE, NORTH CAROLINA  
 SITE PLAN

Project Engineer: K.S. Caldwell  
 Designer: P. Workman  
 Checker: P. Workman  
 Date Drawn: SEPT. 8, 1996  
 Reviewer: [Signature]  
 L.A. NO. 96312.10  
 C-1

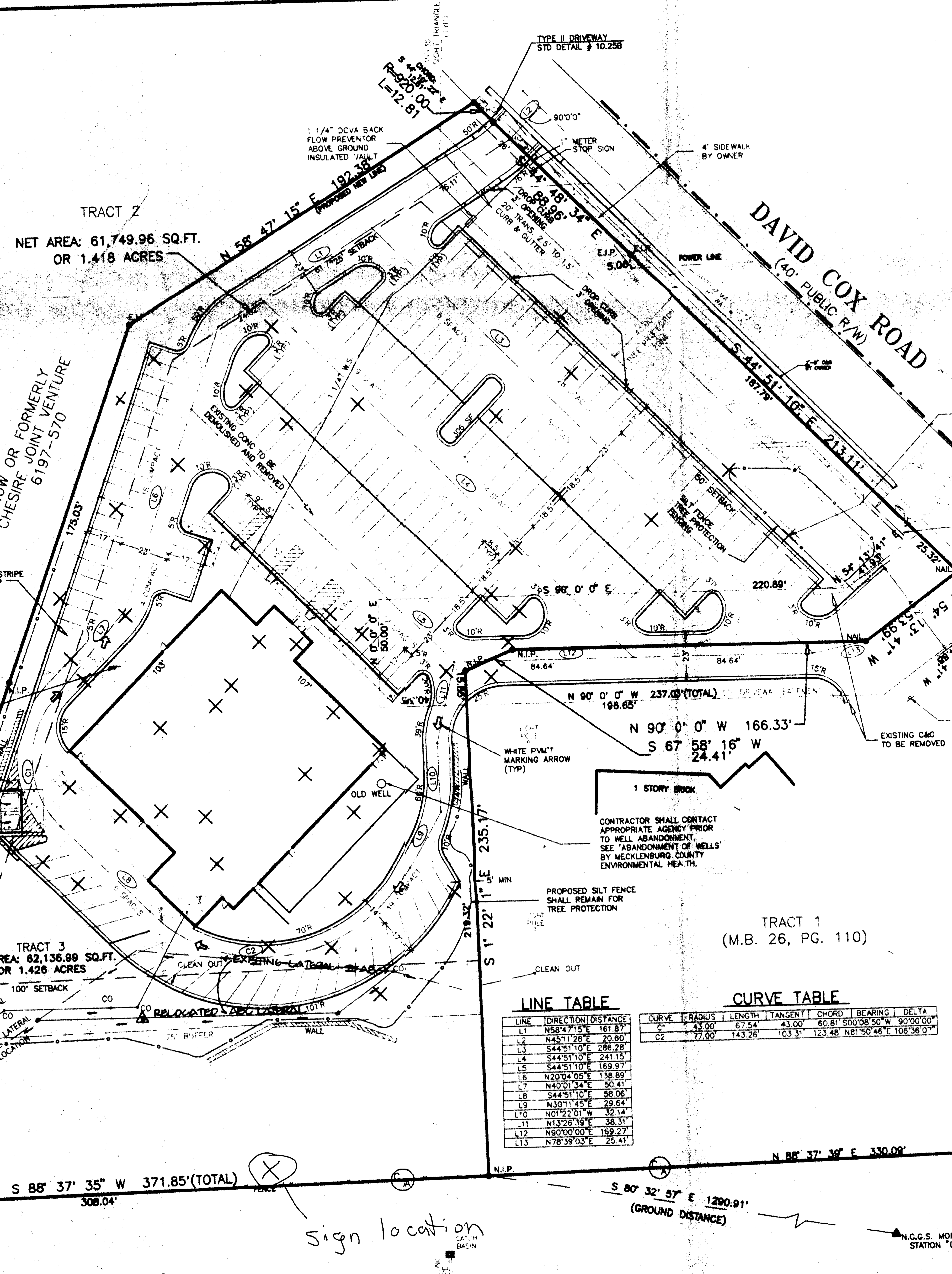


**GENERAL NOTES**

1. TOPOGRAPHIC AND ELEVATION DATA PROVIDED BY THE LAND OWNER.
2. OWNER'S NOTES:
  - ADVISORY: ALL UTILITIES SHOULD BE DEPTH DETERMINED PRIOR TO CONSTRUCTION.
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3. PERMITS:
  - CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF CHARLOTTE AND THE STATE OF NORTH CAROLINA PRIOR TO COMMENCEMENT OF WORK.
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4. CONSTRUCTION:
  - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
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5. UTILITIES:
  - CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
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6. ENVIRONMENTAL:
  - CONTRACTOR SHALL CONTACT APPROPRIATE AGENCIES PRIOR TO WELL ABANDONMENT.
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7. TRAFFIC:
  - CONTRACTOR SHALL MAINTAIN TRAFFIC FLOW AT ALL TIMES.
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8. SCHEDULING:
  - CONTRACTOR SHALL MAINTAIN SCHEDULING RECORDS AT ALL TIMES.
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9. RECORDS:
  - CONTRACTOR SHALL MAINTAIN ALL RECORDS AND DRAWINGS AT ALL TIMES.
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10. FINISHING:
  - CONTRACTOR SHALL COMPLETE ALL FINISHING WORK AT ALL TIMES.
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- LEGEND**
- E.I.P. EXISTING IRON PIN
  - N.I.P. NEW IRON PIN
  - CONG. MON. CONCRETE MONUMENT
  - N.C.G.S. NORTH CAROLINA GEODETIC SURVEY
  - CONT. ACCESS



**LINE TABLE**

LINE NO.	DIRECTION	DISTANCE
L1	N 85° 47' 15" E	116.87'
L2	N 45° 12' 28" E	20.80'
L3	S 44° 51' 10" E	246.28'
L4	S 44° 51' 10" E	241.15'
L5	N 80° 04' 00" E	136.89'
L6	N 40° 01' 30" E	50.41'
L7	N 40° 01' 30" E	50.41'
L8	N 40° 01' 30" E	50.41'
L9	N 30° 14' 45" E	29.64'
L10	N 0° 00' 00" E	33.74'
L11	N 73° 58' 19" W	38.31'
L12	N 80° 00' 00" E	192.27'
L13	N 78° 59' 03" E	23.44'

**CURVE TABLE**

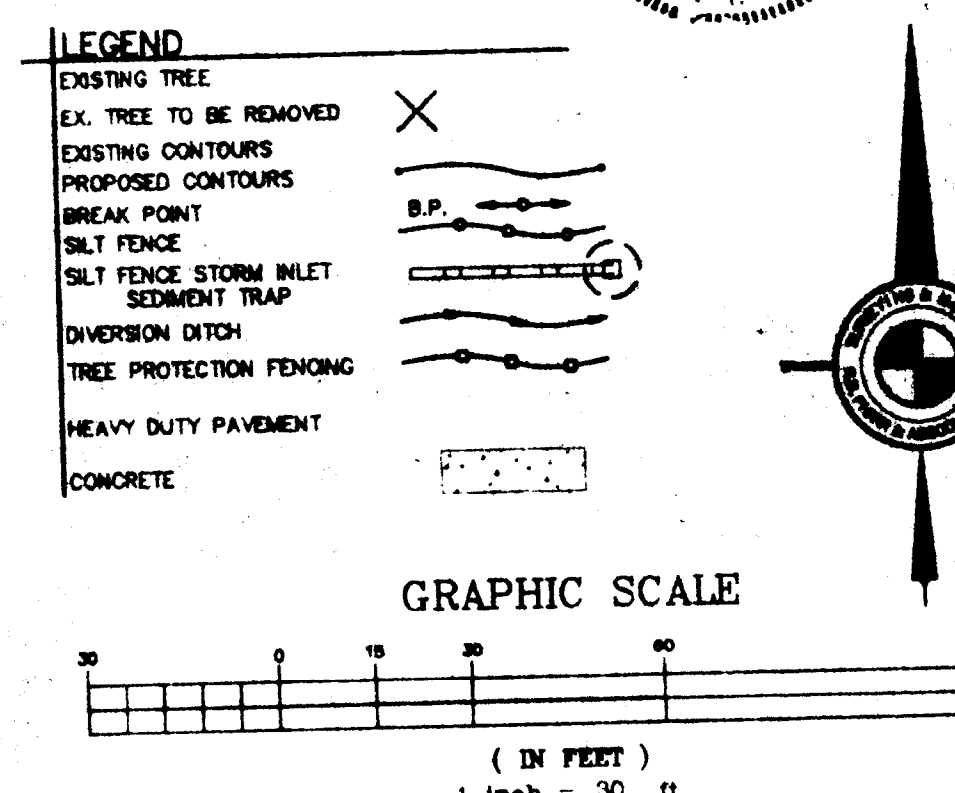
CURVE NO.	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	43.00'	67.54'	43.00'	80.81'	S 00° 00' 00" W	90° 00' 00"
C2	77.00'	143.26'	103.51'	153.48'	N 70° 00' 00" W	108.96° 00'

**CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS**

CURB & GUTTER	10.17
CONCRETE SIDEWALK	10.22
COMMERCIAL DROP CURB TYPE II D/W WITH PLANTING STRIP	10.258
WHEEL CHAIR RAMP IN MIDDLE OF BLOCK	10.33
BRICK CATCH BASIN - 15" TO 34" PIPES	20.01
FRAME & GRATE @ HOOD	20.02
BRICK DROP INLET	20.13
FRAME & GRATE FOR DROP INLET	20.14
PARKING STANDARDS	40.18

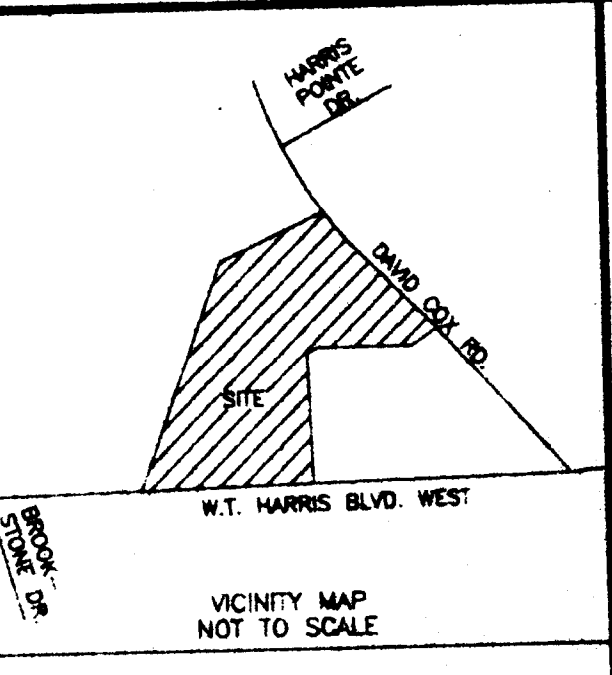
**SCHEDULE OF DRAWINGS**

C1 SITE & STAKING PLAN
C2 GRADING, DRAINAGE & EROSION CONTROL PLAN
C3 LANDSCAPE PLAN
C4 DETAILS
C5 DETAILS
C6 SURVEY & EXISTING CONDITIONS



**SITE TABULATION**

EXISTING ZONING	BISCD
SETBACKS	
FRONT YARD	50'
SIDE YARD	25'
REAR YARD	100'
PROPOSED BLDG	
BUILDING SF	11,315 SF
DECK SF	1,504 SF
TOTAL	12,819 SF
REQUIRED PARKING	
REGULAR (1 SPACE PER 75 SF)	171
HANDICAP	168
PROPOSED PARKING	
REGULAR	171
COMPACT (25% OF REG PKG=43)	41
HANDICAP	6



- GENERAL UTILITY NOTES:**
1. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
  2. ALL UTILITIES SHALL BE DEPTH DETERMINED PRIOR TO CONSTRUCTION.
  3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
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  20. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.

ATTACHED TO ADMINISTRATIVE APPROVAL

DATE: 2/11/97

BY: MARTIN R. CRAMTON, JR.

Midtown  
Sundries sign

**CHARLOTTE-MECKLENBURG PLANNING COMMISSION INTER-OFFICE COMMUNICATION**

DATE: February 11, 1997

TO: Robert Brandon  
Zoning Administrator

FROM: Martin R. Cramton, Jr.  
Planning Director

SUBJECT: Administrative Approval for Petition No. 89-36(c) by Mecklenburg County ABC Board Tax Parcel # 027-132-01

Attached is a drawing showing a detached sign for Midtown Sundries located at the above mentioned site. This sign will be located within the 75 foot buffer setback along West W. T. Harris Boulevard. The sign will be five feet behind the right-of-way. Since this sign meets the intent of the conditional plan we are administratively approving this proposed sign. Please use this drawing when evaluating requests for sign permits and certificates of occupancy.

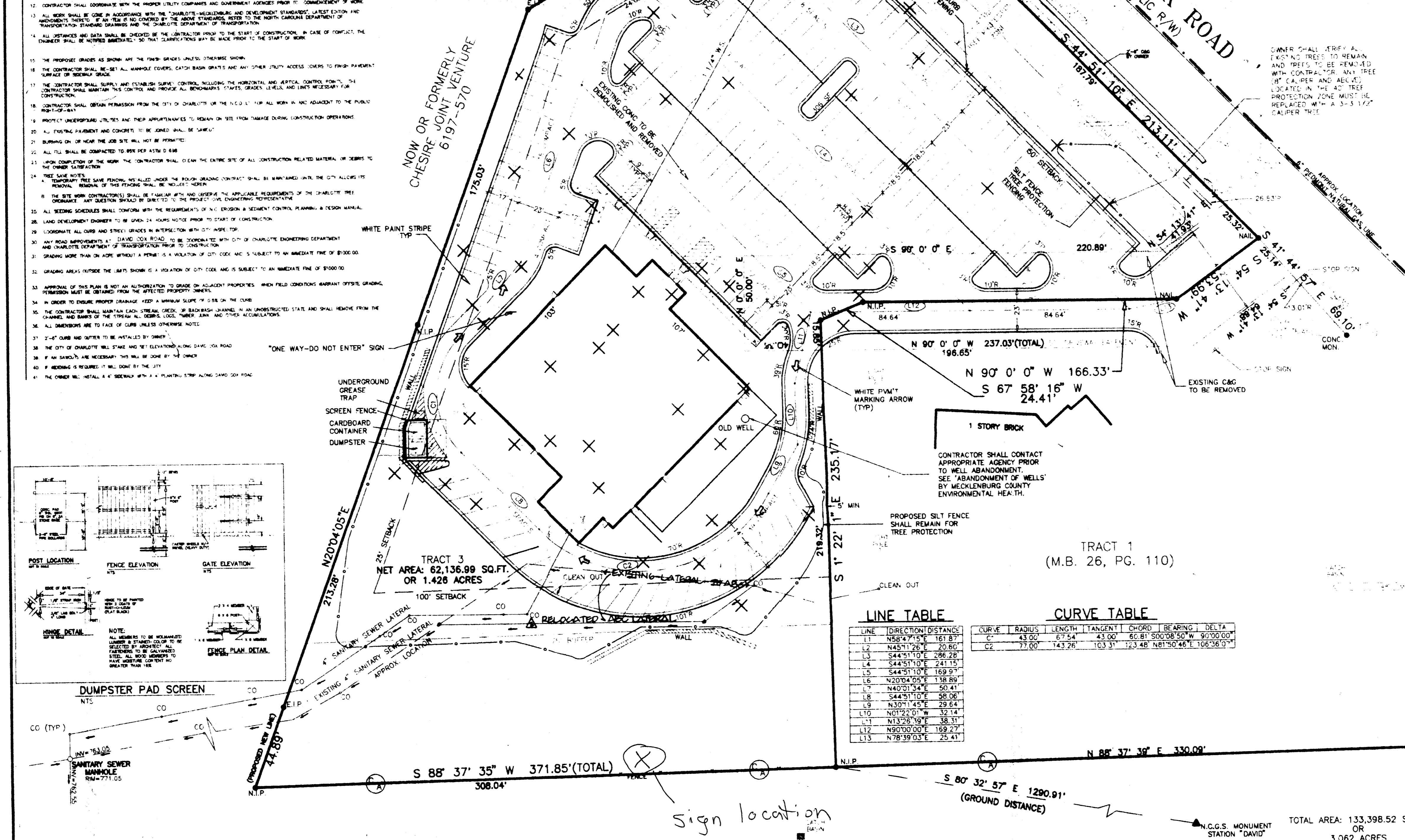
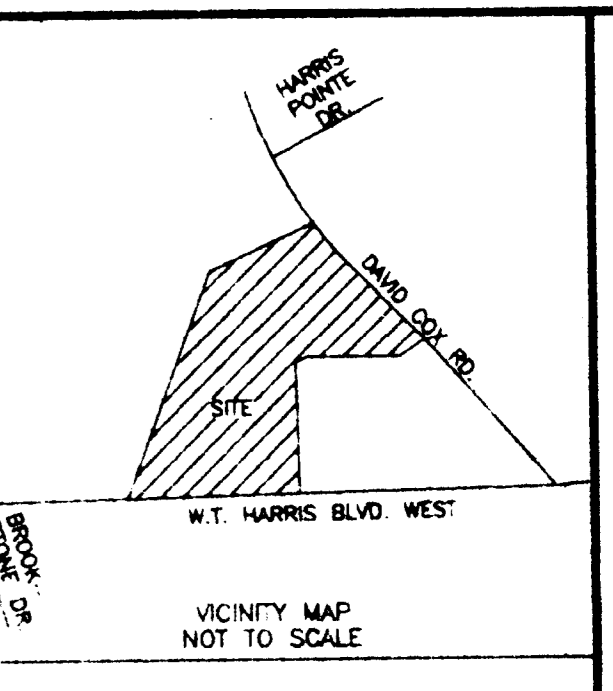


**GENERAL NOTES**

1. CONSTRUCTION AND FINISHING SURVEY DATA PROVIDED BY THE APPROVED SURVEYOR IS TO BE USED AS SHOWN.
2. OWNER'S UTILITIES: ALL UTILITIES SHOWN ON THIS PLAN ARE TO BE MAINTAINED AND PROTECTED. ANY CHANGES TO UTILITIES SHALL BE APPROVED BY THE CITY ENGINEER AND THE UTILITIES PROVIDER PRIOR TO CONSTRUCTION.
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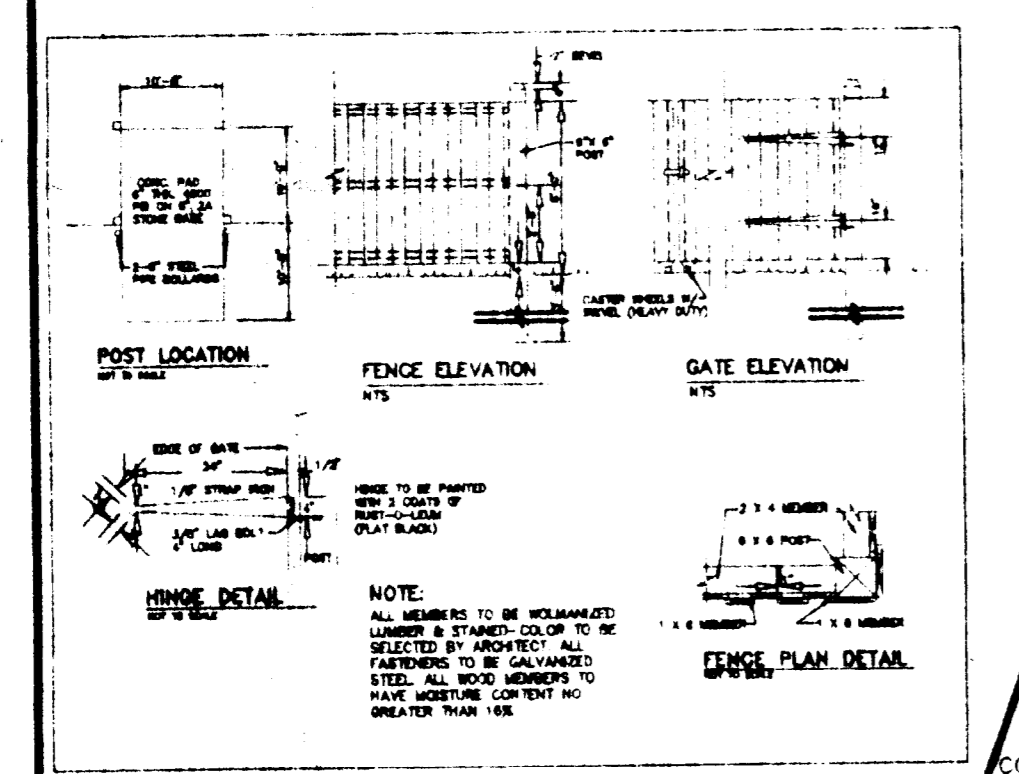
**SITE TABULATION**

EXISTING ZONING	BISCD
SETBACKS	
FRONT YARD	50'
SIDE YARD	25'
REAR YARD	100'
PROPOSED BLDG	11,315 SF
DECK SF	1,504 SF
TOTAL	12,819 SF
REQUIRED PARKING	171
REGULAR (1 SPACE PER 75 SF)	168
HANDICAP	3
PROPOSED PARKING	171
REGULAR	124
COMPACT (25% OF REG. PAC-43)	41
HANDICAP	6



**GENERAL UTILITY NOTES:**

1. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. IN CASE OF CONFLICT, THE CONTRACTOR SHALL CONTACT THE UTILITIES PROVIDER FOR VERIFICATION.
2. ALL UTILITIES SHALL BE MAINTAINED AND PROTECTED. ANY CHANGES TO UTILITIES SHALL BE APPROVED BY THE CITY ENGINEER AND THE UTILITIES PROVIDER PRIOR TO CONSTRUCTION.
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**LINE TABLE**

LINE	DIRECTION/DISTANCE	CURVE 1 RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
L1	N45°12'28" E 20.80'	0	20.80	0	0	45.00	90.00
L2	S44°50'00" W 20.80'	0	20.80	0	0	45.00	90.00
L3	S44°50'00" W 16.95'	0	16.95	0	0	45.00	90.00
L4	N20°00'00" E 11.80'	0	11.80	0	0	45.00	90.00
L5	N40°00'00" E 50.41'	0	50.41	0	0	45.00	90.00
L6	S45°00'00" W 20.80'	0	20.80	0	0	45.00	90.00
L7	N20°00'00" E 11.80'	0	11.80	0	0	45.00	90.00
L8	N20°00'00" E 11.80'	0	11.80	0	0	45.00	90.00
L9	N20°00'00" E 11.80'	0	11.80	0	0	45.00	90.00
L10	N20°00'00" E 11.80'	0	11.80	0	0	45.00	90.00
L11	N20°00'00" E 11.80'	0	11.80	0	0	45.00	90.00
L12	N20°00'00" E 11.80'	0	11.80	0	0	45.00	90.00
L13	N20°00'00" E 11.80'	0	11.80	0	0	45.00	90.00

**CURVE TABLE**

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	43.00	97.54	43.00	80.81	50.00	90.00
C2	77.00	143.76	77.00	123.48	46.14	166.33

**LEGEND**

- EXISTING IRON PIN
- NEW IRON PIN
- CONC. MON. - CONCRETE MONUMENT
- N.C.P.S. - NORTH CAROLINA GEODETIC SURVEY
- CONTROLLED ACCESS

**NOTE**

1. SUBJECT PROPERTY ZONED B-1SCD PER REZONING PETITION 89-36(C) APPROVED ON 01-18-90 FOR MECKLENBURG COUNTY ABC BOARD (PETITIONER).
2. ALL NOTES (DEVELOPMENT STANDARDS) FROM THE REZONING PETITION ARE APPLICABLE TO THIS PROPERTY.
3. VEHICULAR ACCESS FROM TRACT 3 TO WEST W.T. HARRIS BOULEVARD IS PROHIBITED.

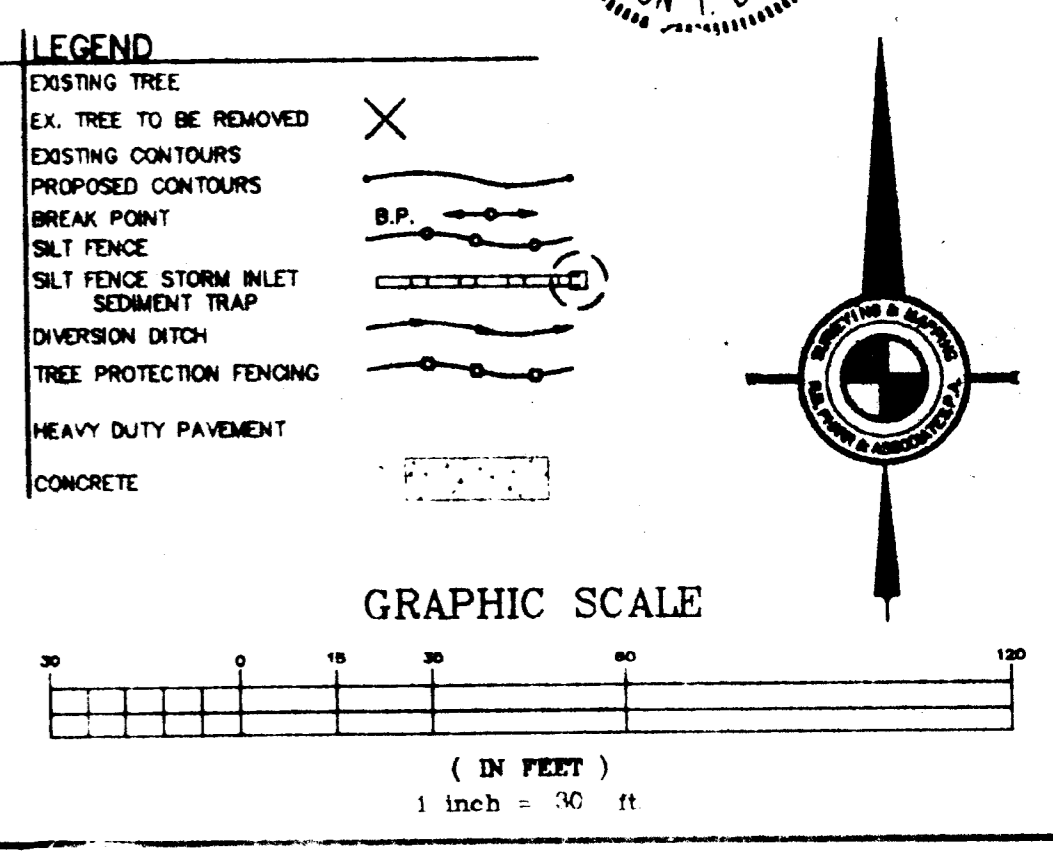
**WEST W.T. HARRIS BOULEVARD**  
(200' PUBLIC R/W)

**CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS**

CURB & GUTTER	10.17
CONCRETE SIDEWALK	10.22
WITH PLANTING STRIP	10.25
WHEELCHAIR RAMP IN MIDDLE OF BLOCK	10.33
BRICK CATCH BASIN - 15" TO 54" PIPES	20.01
FRAME, GRATE & HOOD	20.02
BRICK DROP INLET	20.13
FRAME & GRATE FOR DROP INLET	20.14
PARKING STANDARDS	40.18

**SCHEDULE OF DRAWINGS**

C1 SITE & STAKING PLAN
C2 GRADING, DRAINAGE & EROSION CONTROL PLAN
C3 LANDSCAPE PLAN
C4 DETAILS
C5 DETAILS
C6 SURVEY & EXISTING CONDITIONS



**CHARLOTTE-MECKLENBURG PLANNING COMMISSION**  
INTER-OFFICE COMMUNICATION

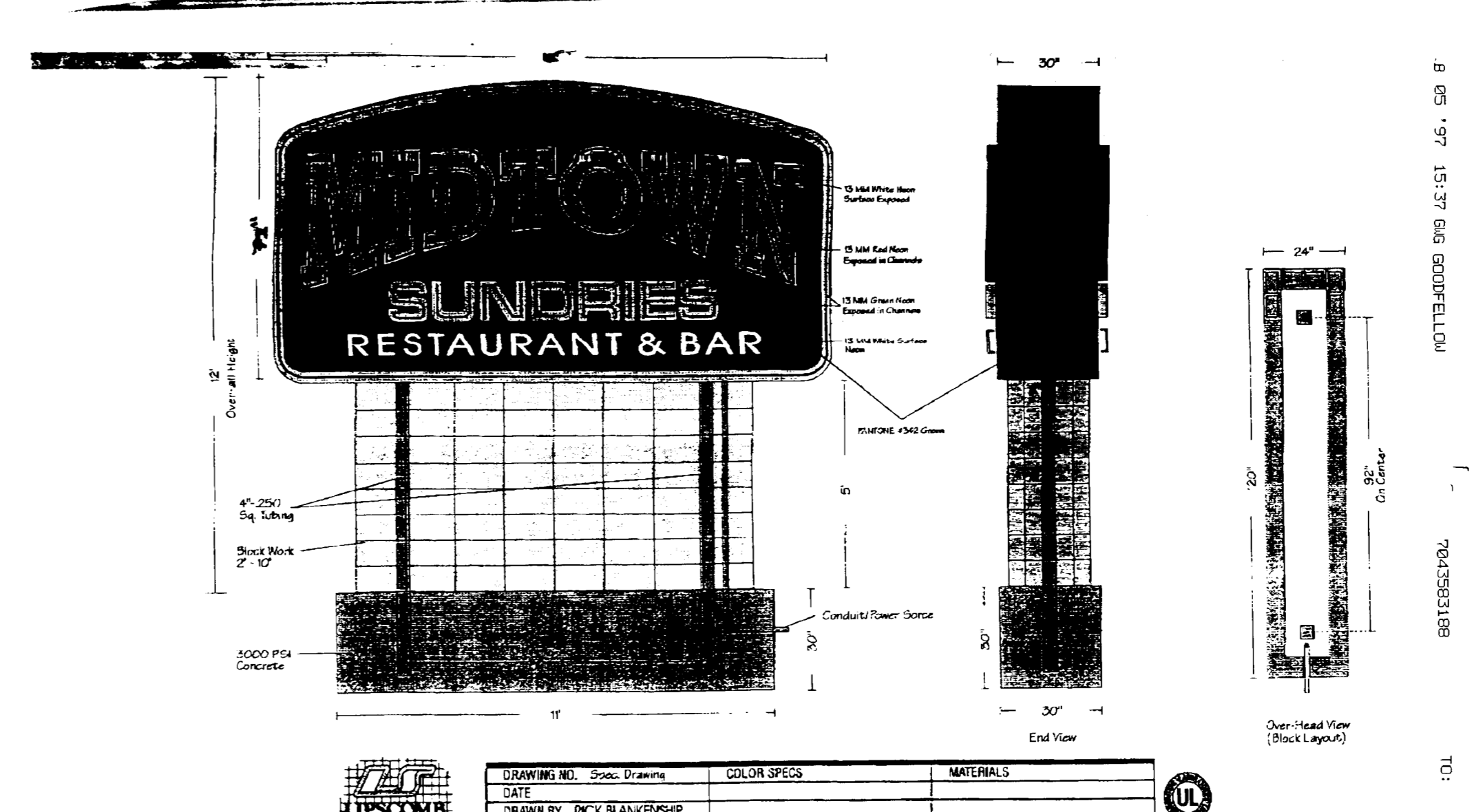
DATE: February 11, 1997

TO: Robert Brandon, Zoning Administrator

FROM: Martin R. Cramton, Jr., Planning Director

SUBJECT: Administrative Approval for Petition No. 89-36(c) by Mecklenburg County ABC Board Tax Parcel # 027-132-01

Attached is a drawing showing a detached sign for Midtown Sundries located at the above mentioned site. This sign will be located within the 75 foot buffer setback along West W. T. Harris Boulevard. The sign will be five feet behind the right-of-way. Since this sign meets the intent of the conditional plan we are administratively approving this proposed sign. Please use this drawing when evaluating requests for sign permits and certificates of occupancy.





**Construction Sequence**

1. Obtain a Grading Permit from the City of Charlotte Engineering Department.
2. Set up pre-construction conference on site with Erosion Control Inspector of the City Engineering Department (at 100-4200) to discuss erosion control measures.
3. Install all fence, silt protection, sediment traps, diversion ditches, tree protection, and other measures shown on plans. Clearing only as necessary to install these devices.
4. Obtain 24-hour on-site inspection by Engineering Inspector. When approved, begin clearing and grubbing.
5. Monitor erosion control devices as needed.
6. Stabilize site as areas are brought to finished grade.
7. All erosion control measures shall be constructed in accordance with the Erosion Control Ordinance, City of Charlotte, and the Erosion Control Manual, U.S. Dept. of Agriculture, Soil Conservation Service, 1984. The City of Charlotte Erosion Control Ordinance, 1984, City of Charlotte Engineering Department.
8. The contractor shall maintain and continuously monitor all erosion control devices. It is the contractor's responsibility to contact the City of Charlotte Erosion Control Inspector as to any adjustments or repairs to be made to the erosion control devices during the course of construction.

**Erosion Control Notes:**

1. Total site area = 12.14 acres
2. Total disturbed/ denuded area = 7.8 ac.
3. Soil type = Eron Sandy Loam, Whites, Cecil, Henderson (Eron Sandy Loam)
4. Construction of the following items shall be in accordance with the current O.C.D. details:
  - Temp. Silt Ditch
  - 30x6 Temp. Silt Fence
  - Temp. Rock Check Dam
  - 30x11A Construction Entrance
5. Additional work or conditions may be required during construction.
6. On-site burial pits require an on-site demolition permit from the City Engineering Department.
7. Limits of grading shown on the plan are maximum limits for erosion control purposes only. To determine actual clearing limits (which may be less) from construction clearing, clearing limits (which may be less) from construction clearing.
8. Any additional clearing or grubbing required for site preparation shall be the responsibility of the contractor. Erosion control measures for same.
9. Grading beyond the denuded limits shown on the plan is a violation of the City of Charlotte Erosion Control Ordinance, and is subject to a fine.
10. Grading more than one acre without an approved Erosion Control Plan is a violation of the City of Charlotte Erosion Control Ordinance and is subject to a fine.
11. Stabilization is the best form of erosion control. Temporary seeding is necessary to reduce erosion. Seeding shall be done in accordance with the Erosion Control Manual, U.S. Dept. of Agriculture, Soil Conservation Service, 1984. All seeding shall be done by the contractor. Seeding shall be done in accordance with the Erosion Control Manual, U.S. Dept. of Agriculture, Soil Conservation Service, 1984. All seeding shall be done by the contractor.
12. Additional measures to control erosion and sediment shall be determined by the contractor and approved by the City Engineering Department.
13. Any land-disturbing activity 2.5 acres requires compliance with all conditions of the General Permit to Discharge Stormwater from Construction Activities under the National Pollutant Discharge Elimination System (Permit No. NC0010000). Any permit non-compliance is a violation of the Clean Water Act, the Department of Environment, Health, and Natural Resources. (For questions, contact the Municipal Office Water Quality Staff at 663-1699).
15. Owner shall obtain an encroachment agreement from NCDOT for grading within NCDOT right of way, prior to disturbing any area within right of way.


**Seeding Schedule:**

1. All open areas will be seeded with KY 31 fescue.
2. Lime will be applied at 4000 lbs/acre.
3. Fertilizer will be applied 10-10-10 at 1500 lbs/acre.
4. Seed will be applied at 250 lbs/acre.
5. Straw mulch will be applied at 1-1/2 tons/acre and secured between November and February.
6. Add 30 lbs/acre annual crop grass to KY 31 fescue if seeding between November and February.
7. Ditch banks to have Leucaena and Bermuda added to seed mix at 1/2 recommended rate if seeding in May, June, July, or August (1/2 KY 31, 1/4 Leucaena, 1/4 Bermuda).

**LEGEND**

- EXISTING CONTOUR
- - - PROPOSED CONTOUR
- STORM DRAINAGE PIPE (EXISTING)
- STORM DRAINAGE PIPE (PROPOSED)
- LIMITS OF GRADING / DENUDED AREA LIMITS
- X-SF-X TEMPORARY SILT FENCE
- TEMPORARY DIVERSION DITCH
- EXISTING TREE CURB
- PROPOSED CURB INLET
- FES-○ PROPOSED FLARE'D END SECTION
- MH-○ PROPOSED MANHOLE
- PROPOSED GRASS CHANNEL
- PROPOSED RIP RAP CHANNEL
- EXISTING RIP RAP CHANNEL

REVISIONS	No.	Date	By	Description
Project Manager				
Tom McCrory				
Drawn By				
ME				
Checked By				
Date				
5/4/98				
Project Number				
95013.6				

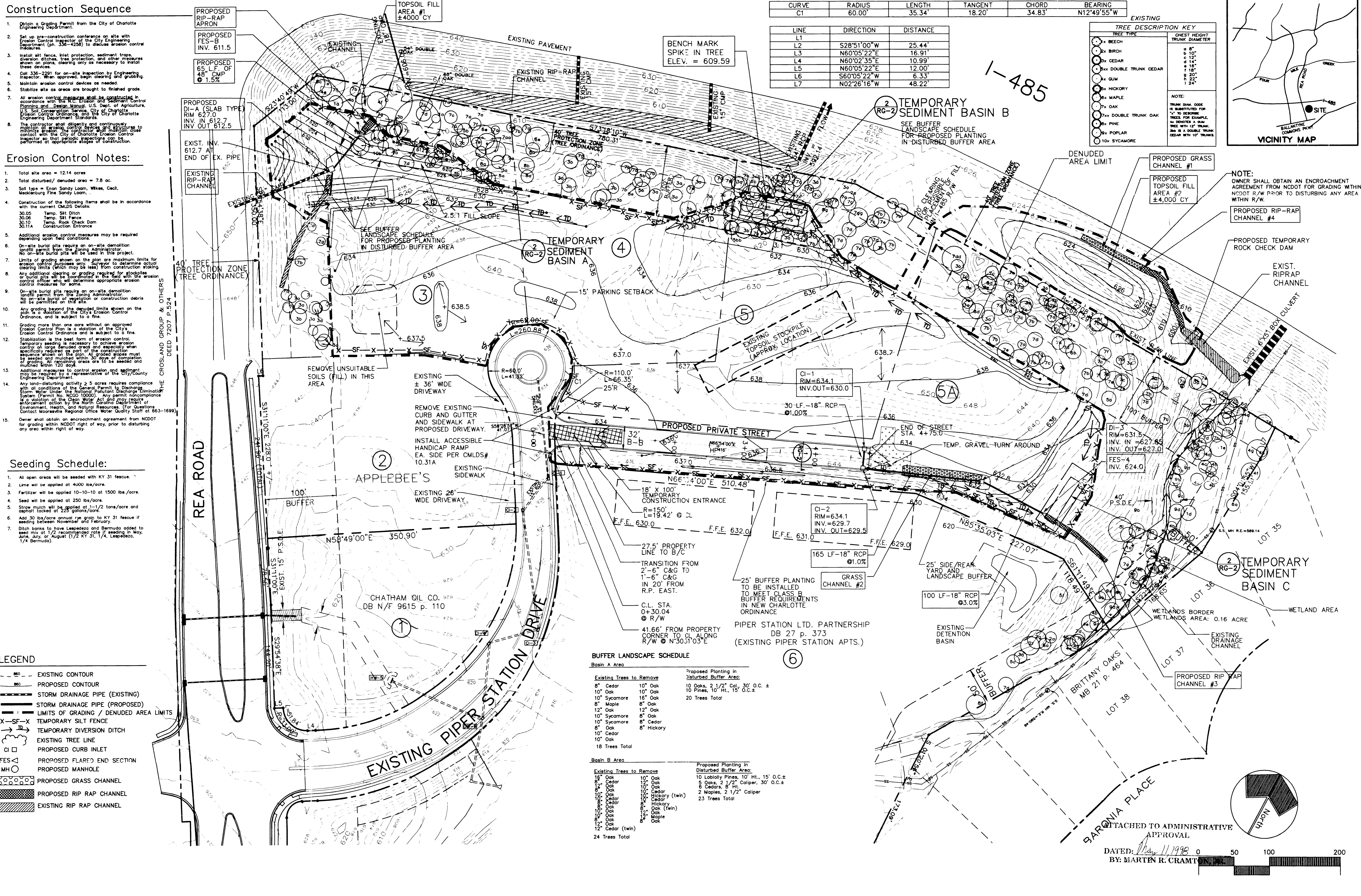
 <b>DPR ASSOCIATES, INC.</b> Landscape Architects Planners & Engineers 420 Hawthorne Lane Charlotte, NC 28204 704/332-1204		ROUGH GRADING PLAN WITH PRIVATE STREET FOR LOTS 5, AND 5A PIPER GLEN PARCEL 31 LOTS 3, 4, 5, AND 5A EASLAN CAPITAL OF CHARLOTTE MECKLENBURG COUNTY, NORTH CAROLINA	Scale: 1" = 50' Sheet Number: RG-1
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**CHARLOTTE-MECKLENBURG PLANNING COMMISSION INTER-OFFICE COMMUNICATION**

DATE: May 11, 1998  
 TO: Robert Brandon, Zoning Administrator  
 FROM: Martin R. Cranton, Jr., Planning Director

SUBJECT: Administrative Approval for Petition No. 89-36(c) James A. Coates Tax Parcel 225-045-01.

Attached is a specific grading plan for Parcel 31 at Piper Glen. This specific plan shows how a portion of the buffers along Rea Road and I-485 will be disturbed for a temporary sediment basin and grading. This plan also indicates how the disturbed portions of the buffers will be re-landscaped. Since this plan is consistent with the conditions of the approved conditional plan I am administratively approving this request. Please use this attached plan when evaluating requests for building permits and certificates of occupancy.



CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING
CI	60.00'	35.34'	18.20'	34.83'	N12°49'55" W

LINE	DIRECTION	DISTANCE
L1	S28°51'00" W	25.44'
L3	N60°05'22" E	16.91'
L4	N60°02'35" E	10.99'
L5	N60°05'22" E	12.00'
L6	S60°05'22" W	6.33'
L7	N02°26'16" W	48.22'

**EXISTING TREE DESCRIPTION KEY**

TREE TYPE	CHEST HEIGHT	TRUNK DIAMETER
1 BEECH	8'	6"
2 BIRCH	8'	6"
3 CEDAR	8'	6"
4 DOUBLE TRUNK CEDAR	8'	6"
5 GUM	8'	6"
6 HICKORY	8'	6"
7 MAPLE	8'	6"
8 OAK	8'	6"
9 DOUBLE TRUNK OAK	8'	6"
10 PINE	8'	6"
11 POPLAR	8'	6"
12 SYCAMORE	8'	6"

NOTE: THESE DATA CODES ARE SUBJECT TO CHANGE. TREE SIZE EXAMPLE: 10" DBH, 12' HGT. TREE WITH 12" DBH IS A DOUBLE TRUNK CEDAR WITH 10" TRUNKS.

**BUFFER LANDSCAPE SCHEDULE**

Basin A Area		Proposed Planting in Disturbed Buffer Area:	
Existing Trees to Remove:	Proposed Planting:	10 Oaks, 2 1/2" Caliper, 30' O.C. ±	
8' Cedar	10' Oak	10 Pines, 10' Ht., 15' O.C. ±	
10' Oak	10' Oak	20 Trees Total	
10' Sycamore	16' Oak		
8' Maple	8' Oak		
12' Oak	12' Oak		
10' Sycamore	8' Oak		
10' Sycamore	8' Cedar		
8' Oak	8' Hickory		
10' Cedar			
10' Oak			
18 Trees Total			

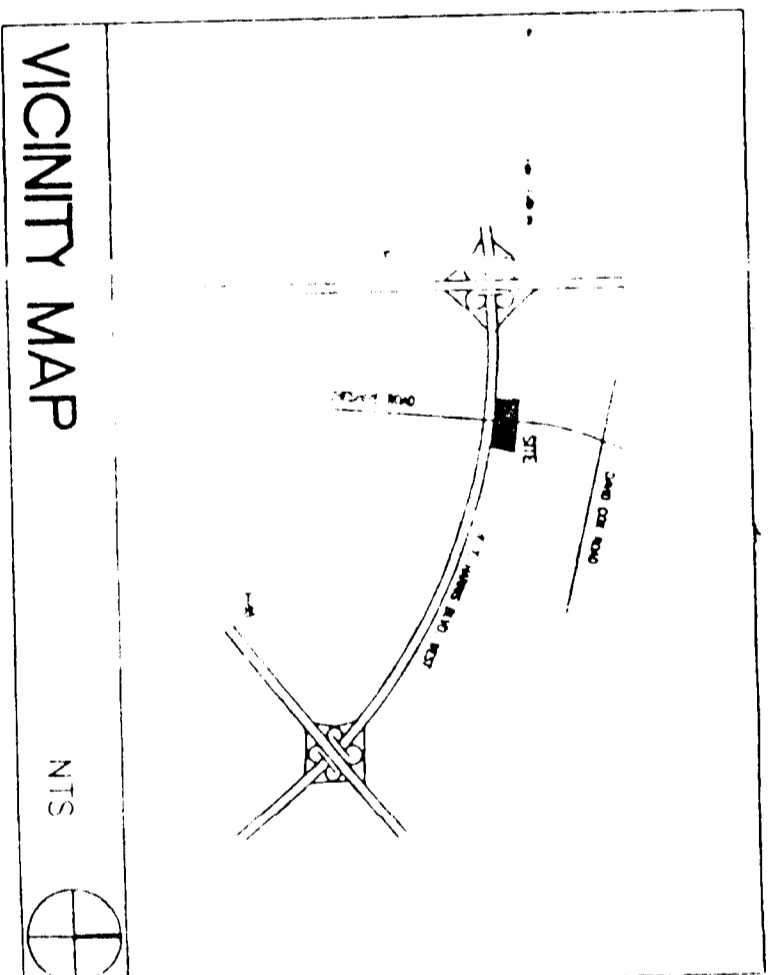
  

Basin B Area		Proposed Planting in Disturbed Buffer Area:	
Existing Trees to Remove:	Proposed Planting:	10 Oaks, 2 1/2" Caliper, 30' O.C. ±	
15' Oak	10' Oak	8 Cedars, 8" Ht., 15' O.C. ±	
8' Cedar	10' Cedar	2 Maples, 2 1/2" Caliper	
10' Oak	10' Cedar (twin)	23 Trees Total	
10' Cedar	10' Hickory		
10' Oak	8' Oak (twin)		
10' Oak	8' Maple		
10' Oak	8' Oak		
12' Cedar (twin)	10' Oak		
24 Trees Total			



**GENERAL NOTES:**

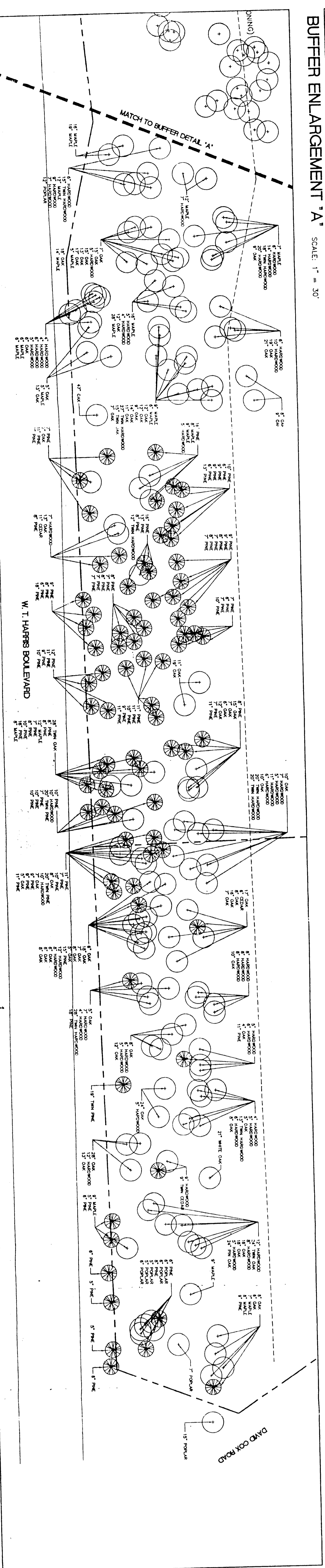
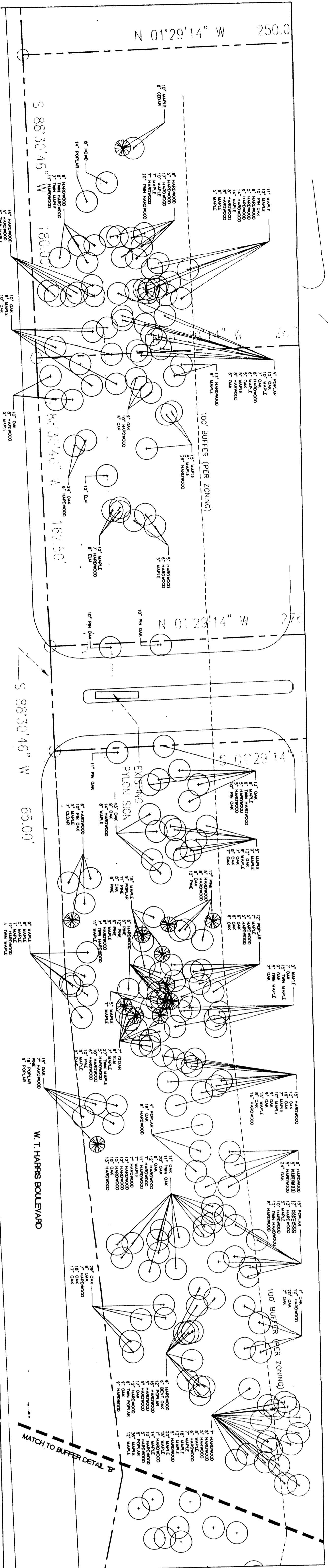
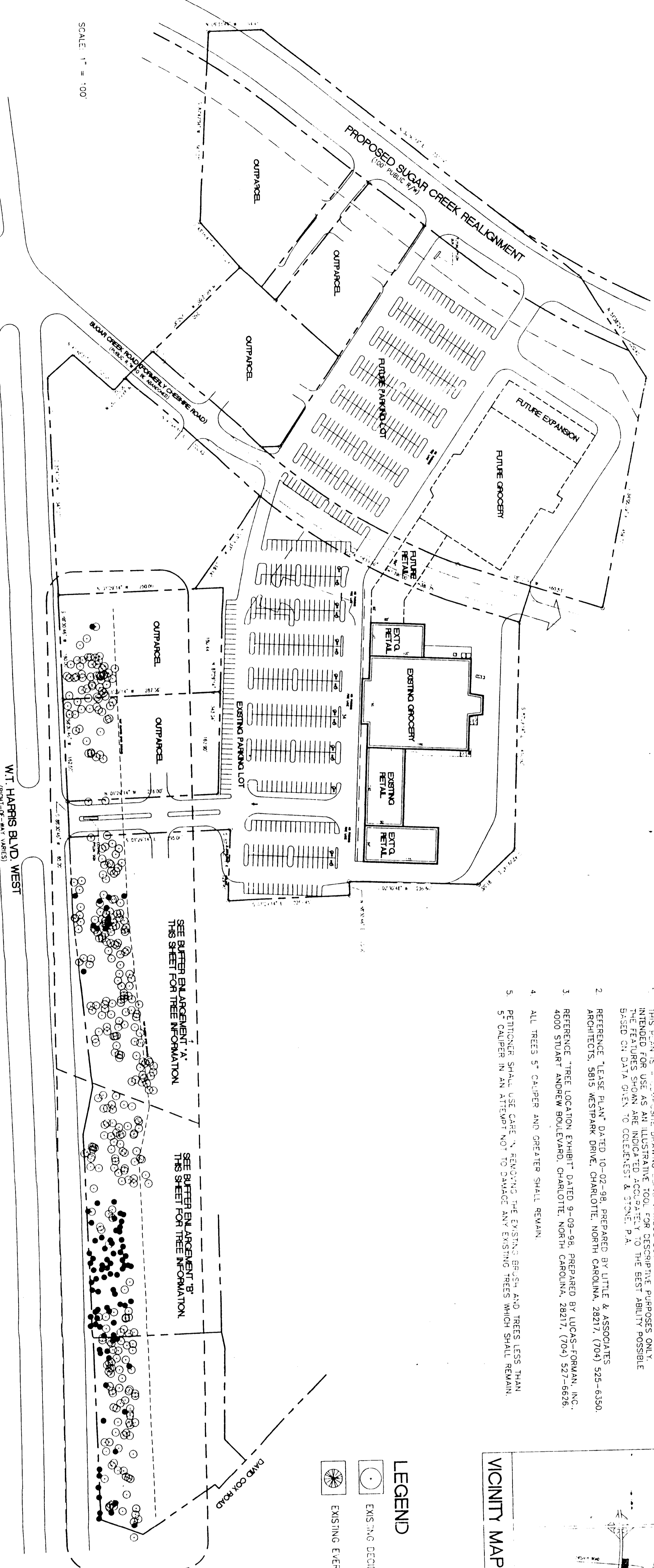
1. THIS PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO THE REVIEW AND APPROVAL OF THE CITY OF CHARLOTTE. THE PLAN IS INTENDED FOR USE AS AN ILLUSTRATIVE TOOL FOR DISCUSSING PURPOSES ONLY. THE FEATURES SHOWN ARE NOT TO BE CONSIDERED AS A CONTRACT DOCUMENT.
2. REFERENCE "LEASER PLAN" DATED 10-07-95, PREPARED BY JACOBS ENGINEERING GROUP, INC., ARCHITECTS, 3615 WISCONSIN DRIVE, CHARLOTTE, NORTH CAROLINA 28217 (704) 325-6150.
3. REFERENCE "TREE LOCATION EXHIBIT" DATED 9-09-95, PREPARED BY LUCAS-COMAN, INC., 4000 STUART ANDERSON BOULEVARD, CHARLOTTE, NORTH CAROLINA 28217 (704) 525-5950.
4. ALL TREES 5" CALIBER AND GREATER SHALL REMAIN.
5. FUTURE SHALL USE CARE IN REMOVING THE SYSTEMS OF 6" CALIBER TREES LESS THAN 5' CALIBER IN AN ATTEMPT TO "SAVE" ANY EXISTING TREES WHICH SHALL REMAIN.



- LEGEND**
- EXISTING DECIDUOUS TREE
  - EXISTING EVERGREEN TREE

**SITE PLAN**

SCALE: 1" = 100'



**BUFFER ENLARGEMENT 'B'**

SCALE: 1" = 30'



**Coleinvest & Stone**  
 Land Planning  
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 Fax: 704.376.7851

THE CROSSLAND GROUP, INC.  
 123 SCALESBARK ROAD  
 CHARLOTTE NORTH CAROLINA 28209  
 (704) 829-0272

**CHESHIRE PLACE**  
 CHARLOTTE NORTH CAROLINA

**EXISTING 100' BUFFER**

1648

11/03/98 FOR OWNER'S REVIEW

Issued

12/04/98 ADD NOTES & AND 5 PER OWNER  
 11/03/98 PER OWNER COMMENTS

Revised

SCALE: 1"=30'

0 25 50 100'

CV1 1

Sheet of

ATTACHED TO ADMINISTRATIVE APPROVAL

DATED December 7, 1998  
 BY MARTIN R. CHANTON, JR.  
 81-3-6(C) +87-46(C)

**CHARLOTTE-MECKLENBURG PLANNING COMMISSION INTER-OFFICE COMMUNICATION**

DATE: December 7, 1998

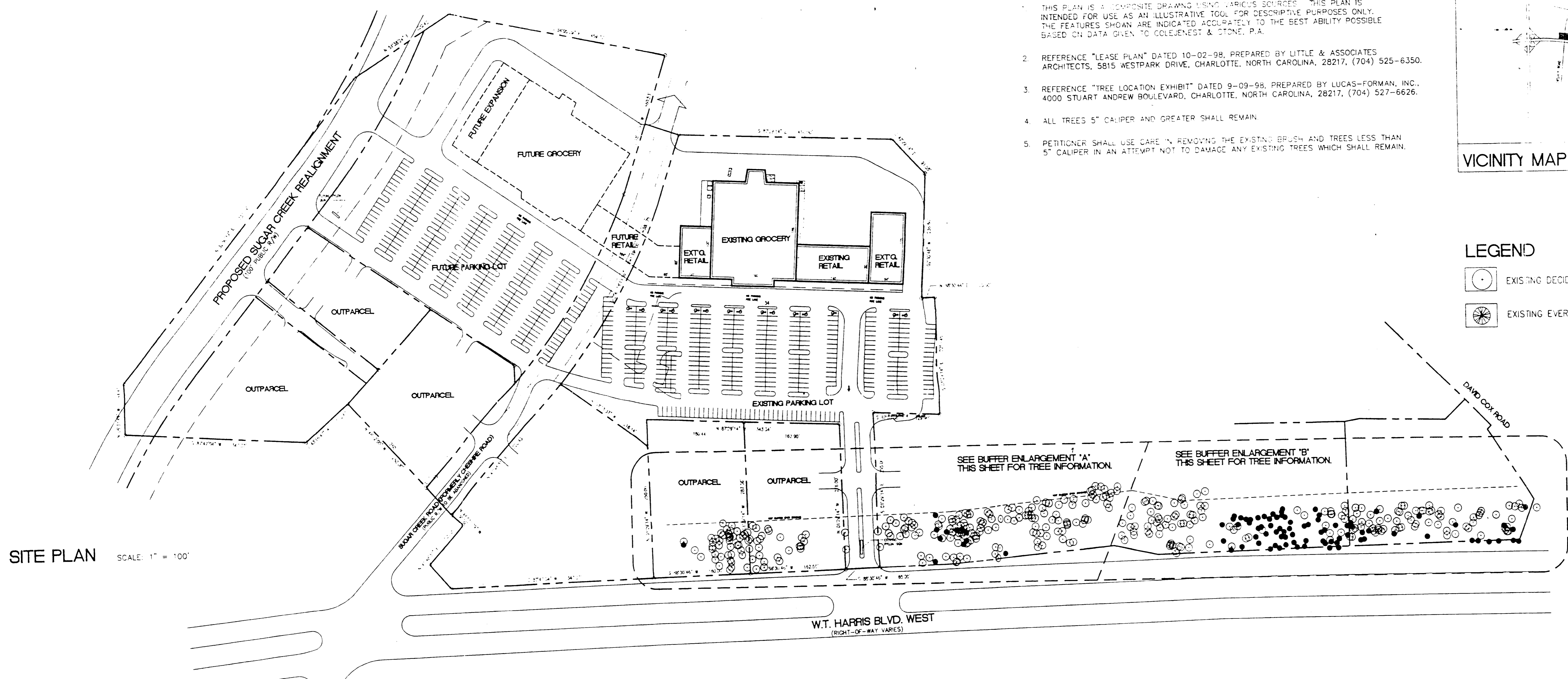
FROM: Martin R. Chanton, Jr.  
 Planning Director

TO: Robert Brandon  
 Zoning Administrator

SUBJECT: Administrative Approval for Petition No. 89-36(c) James A. Coates and 87-46(c) NCF Financial Corp. Tax Parcels 027-132-10,12,16,15,06,14,08 and 09.

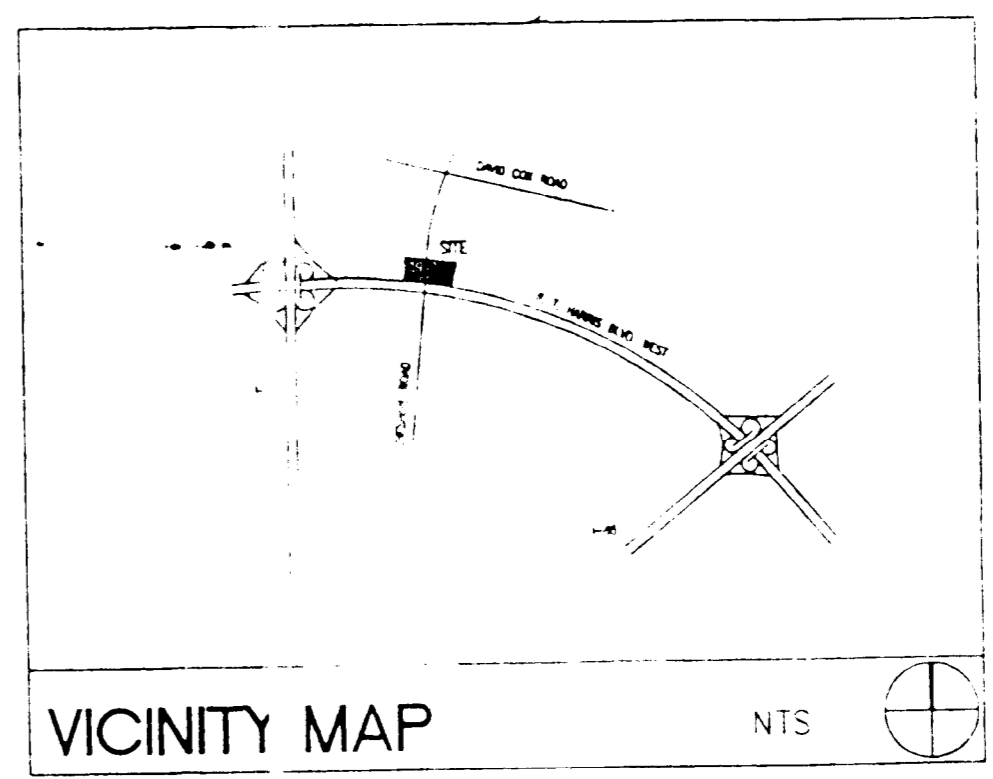
Attached is a specific plan showing existing trees 5" caliber and larger located within the 100 foot buffer along W.T. Harris Boulevard at the Cheshire Place Shopping Center. This plan is to allow clearing within this buffer of underbrush and trees 4" caliber and smaller, the trees shown will remain. Since this plan is consistent with the conditions of the approved conditional plans I am administratively approving this request. Please use this attached plan when evaluating requests for building permits and certificates of occupancy.





**GENERAL NOTES:**

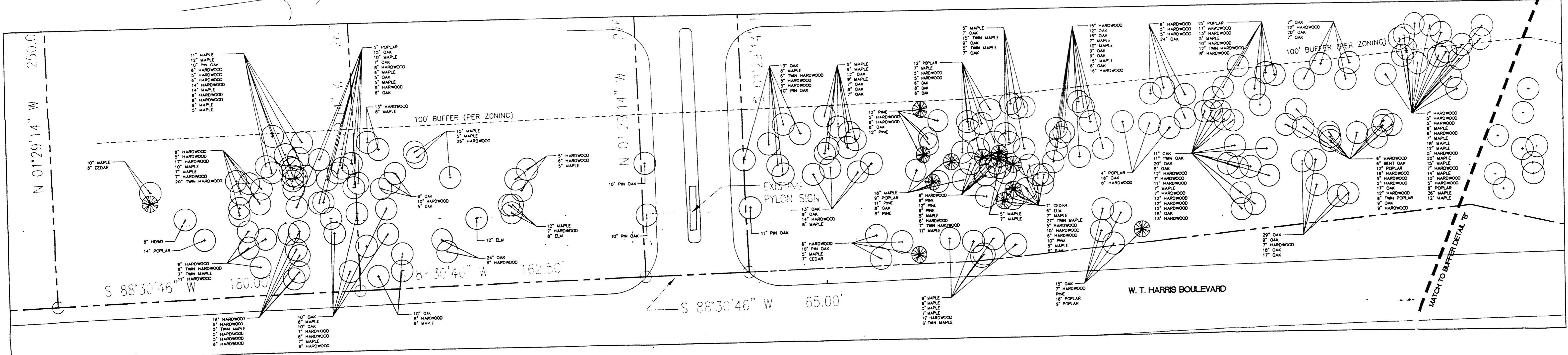
1. THIS PLAN IS A PRELIMINARY DRAWING USING VARIOUS SOURCES. THIS PLAN IS INTENDED FOR USE AS AN ILLUSTRATIVE TOOL FOR DESCRIPTIVE PURPOSES ONLY. THE FEATURES SHOWN ARE INDICATED ACCURATELY TO THE BEST ABILITY POSSIBLE BASED ON DATA GIVEN TO COLEJENEST & STONE, P.A.
2. REFERENCE "LEASE PLAN" DATED 10-03-98, PREPARED BY LITTLE & ASSOCIATES ARCHITECTS, 5815 WESTPARK DRIVE, CHARLOTTE, NORTH CAROLINA, 28217, (704) 525-6350.
3. REFERENCE "TREE LOCATION EXHIBIT" DATED 9-03-98, PREPARED BY LUCAS-FORMAN, INC., 4000 STUART ANDREW BOULEVARD, CHARLOTTE, NORTH CAROLINA, 28217, (704) 527-6626.
4. ALL TREES 5" CALIPER AND GREATER SHALL REMAIN.
5. PETITIONER SHALL USE CARE IN REMOVING THE EXISTING BRUSH AND TREES LESS THAN 5" CALIPER IN AN ATTEMPT NOT TO DAMAGE ANY EXISTING TREES WHICH SHALL REMAIN.



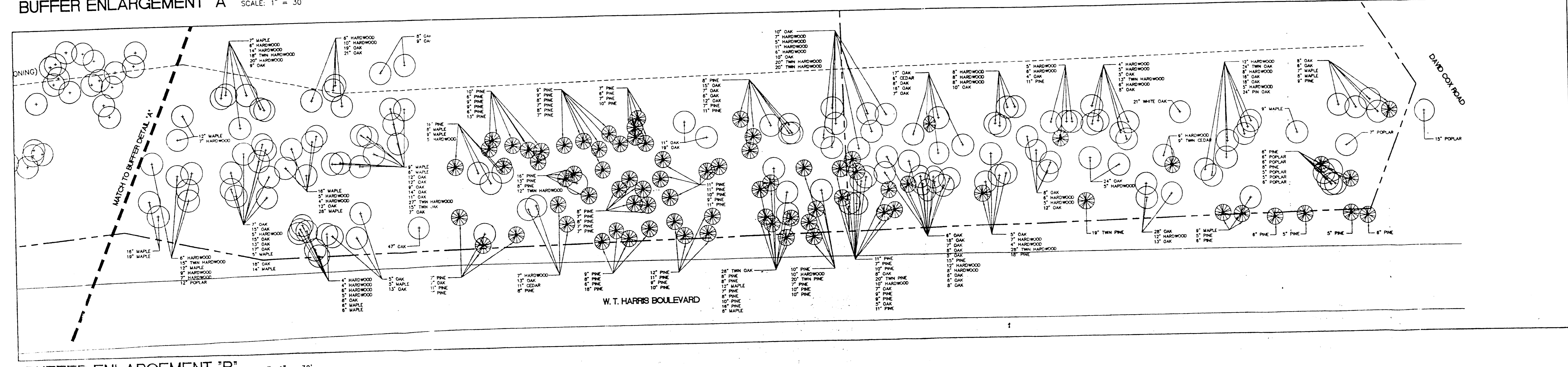
**LEGEND**

- EXISTING DECIDUOUS TREE
- EXISTING EVERGREEN TREE

**SITE PLAN** SCALE: 1" = 100'



**BUFFER ENLARGEMENT 'A'** SCALE: 1" = 30'



**BUFFER ENLARGEMENT 'B'** SCALE: 1" = 30'



**ColeJenest & Stone**

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Fax 704.376.7851

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**THE CROSLAND GROUP, INC.**  
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CHARLOTTE, NORTH CAROLINA 28209  
(704) 523-0272

**CHESHIRE PLACE**  
CHARLOTTE, NORTH CAROLINA

**EXISTING 100' BUFFER**

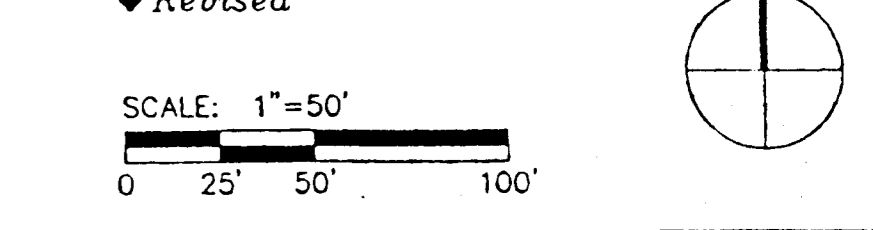
1648

11/03/98 FOR OWNER'S REVIEW

◆ Issued

12/04/98 ADD NOTES 4 AND 5 PER OWNER COMMENTS  
11/10/98 PER OWNER COMMENTS

◆ Revised



**CV1 1**

◆ Sheet of

ATTACHED TO ADMINISTRATIVE APPROVAL

DATE: December 7, 1998  
BY: MARTIN R. CRAMTON, JR.  
89-36(c) + 87-46(c)

**CHARLOTTE - MECKLENBURG PLANNING COMMISSION**  
INTER-OFFICE COMMUNICATION

DATE: December 7, 1998

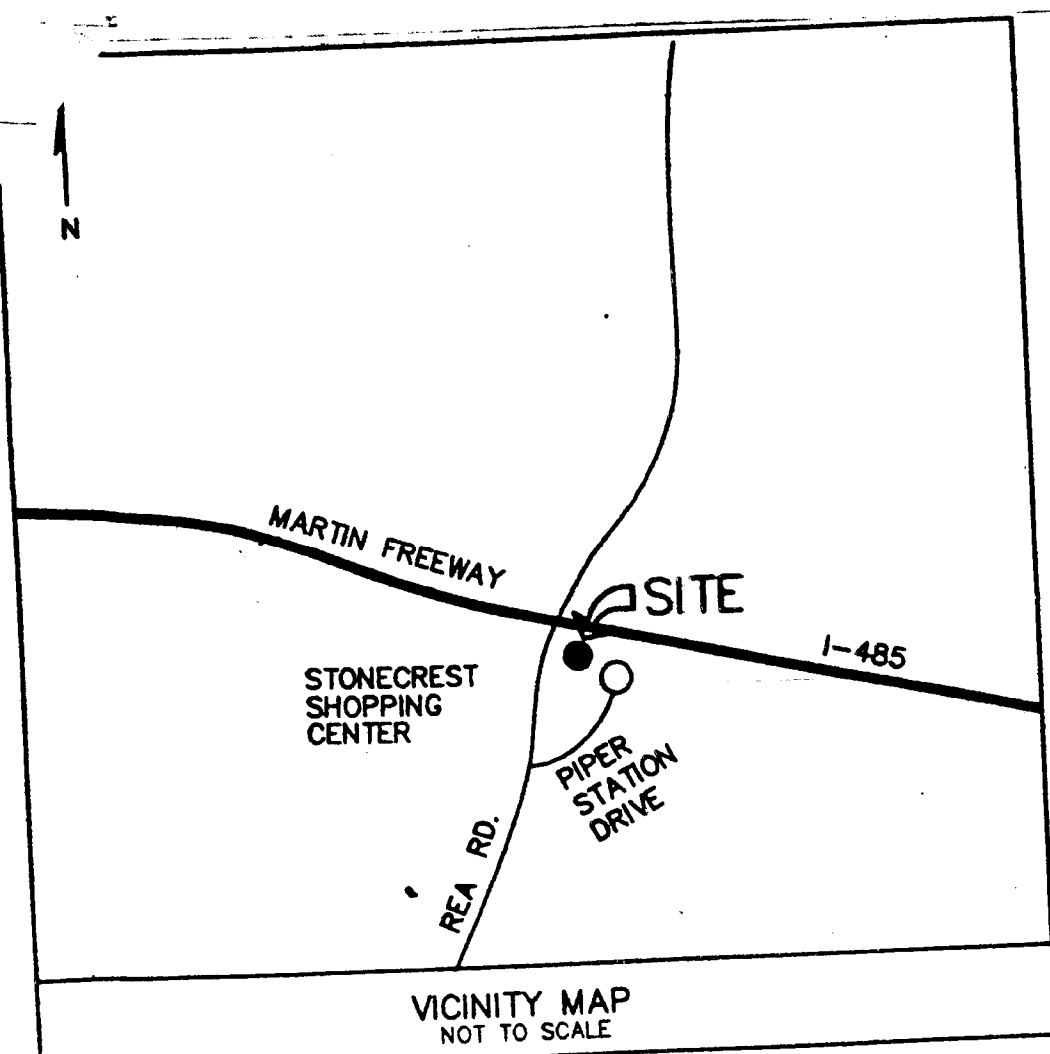
TO: Robert Brandon  
Zoning Administrator

FROM: Martin R. Cramton, Jr.  
Planning Director

SUBJECT: Administrative Approval for Petition No. 89-36(c) James A. Coates and 87-46(c) NCF Financial Corp. Tax Parcels 027-132, 10, 12, 16, 15, 06, 14, 08 and 09.

Attached is a specific plan showing existing trees 5" caliper and larger located within the 100 foot buffer along W.T. Harris Boulevard at the Cheshire Place Shopping Center. This plan is to allow clearing within this buffer of underbrush and trees 4" caliper and smaller, the trees shown will remain. Since this plan is consistent with the conditions of the approved conditional plans I am administratively approving this request. Please use this attached plan when evaluating requests for building permits and certificates of occupancy.





**ZONING CODE SUMMARY**

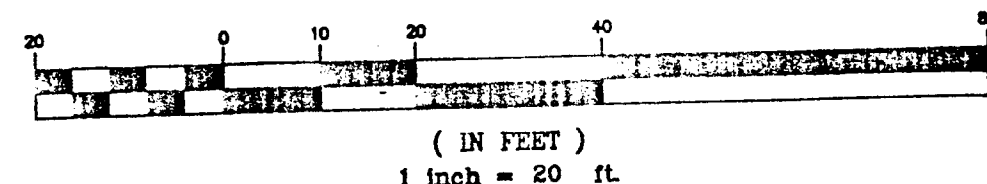
PROJECT NAME: GOODYEAR TIRES  
 OWNER: THE KEANAN COMPANY, INC. PHONE # 803-254-2300  
 PLANS PREPARED BY: GEOSCIENCE GROUP PHONE # 704-525-2003  
 ZONING: B-1 (SCD) Petition #89-38C JURISDICTION: CITY OF CHARLOTTE  
 PROPOSED USE: BUSINESS  
 BUILDING HEIGHT: 22'-6" Feet, (1) ONE Stories  
 BUILDING COVERAGE: 5,612 Sq. Ft. GROSS FLOOR AREA: 5,612 Sq. Ft.  
 LOT SIZE: 2.14 Sq. Ft./Acres NUMBER OF UNITS/SUITES: 1  
**YARD REQUIREMENTS:**  
 Setback (front): 40' ft. from R/W ft. from C/L of R/W  
 Side Yard (L): 5' ft. Side Yard (R): 5' ft.  
**REQUIRED BUFFERS:**  
 Front:  Yes ft. Rear: No /  Yes 100 ft.  
 Side (L): No /  Yes 100 ft. Side (R):  Yes /  No ft.  
**REQUIRED SCREENING:**  
 Front: No /  Yes Rear: No /  Yes  
 Side (L): No /  Yes Side (R): No /  Yes  
 Parking Only:  
 Front: No /  Yes Rear: No /  Yes  
 Side (L): No /  Yes Side (R): No /  Yes  
**PAVEMENT COVERAGE** 22,925 sq. ft. / acres  
**INTERIOR LANDSCAPING:** Required 2,292 sq. ft., provided 10,954 sq. ft.  
**PARKING DATA:** (specify requirement, zoning ordinance and section number)  
 1. SPACES PER 260 SF, MECKLENBURG CO. ZONING ORDINANCE, TABLE 12.201 SECTION 12.202, PG. 18-19  
 HANDICAPPED PARKING - CHARLOTTE MECKLENBURG LAND DEVELOPMENT STANDARDS, STD. NO. 60.10A  
 5,612 SF/260 SF = 22 SPACES REQUIRED  
 Required: 22 Provided: 27 Handicap: 2 Compact  
 Carpool: Loading Spaces:  
 ALL SIGNAGE WILL BE APPROVED AND PERMITTED SEPARATELY.

**GENERAL NOTES:**

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- SEE ARCHITECTURAL PLANS FOR DETAILED BUILDING & SIDEWALK DIMENSIONS.
- THE UTILITIES AND THE LOCATION THEREOF, SHOWN ON THE DRAWINGS, REPRESENT THE DESIGNER'S UNDERSTANDING OF EXISTING UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, DEPTH AND EXISTENCE OF ALL UTILITIES (ELECTRICAL, MECHANICAL, WATER, TELEPHONE, GAS ETC.) WITHIN THE CONSTRUCTION AREA WITH THE OWNER AND/OR THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY EXCAVATION. THE OMISSION OF OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE CONTRACTOR'S EXPENSE. CONTACT U-1000 (1-800-832-4949) PRIOR TO DIGGING.
- ALL TRAFFIC SIGNS, STRIPE PAINTING ETC., TO CONFORM TO THE PRINCIPLES OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- ALL CONSTRUCTION SHALL CONFORM TO CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS DETAILS AND SPECIFICATIONS.
- ALL CURB CUTS SHALL BE MADE BY SAW CUTS, EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.
- ALL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT CONTRACTOR'S EXPENSE.
- CONTRACTOR TO PROVIDE ALL EROSION CONTROL DEVICES MEASURES AS REQUIRED BY STATE AND LOCAL AUTHORITIES (CITY OF CHARLOTTE).
- ALL DRIVEWAYS SHALL BE IN ACCORDANCE WITH CHARLOTTE/MECKLENBURG LAND DEVELOPMENT STANDARDS.
- ALL HANDICAP RAMP, PARKING SPACES ETC., SHALL MEET A.D.A. CODES.
- TOP SOIL TO BE STRIPPED AND STOCKPILED IN AREA DESIGNATED BY ARCHITECT / ENGINEER.
- CONTRACTOR TO COORDINATE ANY PROBLEMS OR FIELD CONDITIONS THAT MAY CHANGE DESIGN WITH ARCHITECT / ENGINEER PRIOR TO PROCEEDING.
- ANY UNSUITABLE MATERIAL ON SITE IS TO BE QUARANTINED BY A GEOTECHNICAL ENGINEER. PRIOR TO REMOVING, CONTRACTOR MUST NOTIFY OWNER, OR OWNER'S REPRESENTATIVE IN CASE UNSUITABLE MATERIAL IS UNCOVERED.



**GRAPHIC SCALE**



REA ROAD  
(120' R/W)

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CHARLOTTE-MECKLENBURG STANDARDS AND SPECIFICATIONS

SHOP DRAWING REVIEW				
FORWARD TO DEPTS:	NO EXCEPTIONS TAKEN	NOTE MARKINGS	REVISIONS	REJECTED
ARCH				
STRUCT				
MECH				
ELECT				
CIVIL				

NO EXCEPTIONS TAKEN  
 REVIEW AND RESUBMIT  
 PREPARED  
 DATE: 2/23/2000

**CHARLOTTE-MECKLENBURG PLANNING COMMISSION**  
**INTER-OFFICE COMMUNICATION**

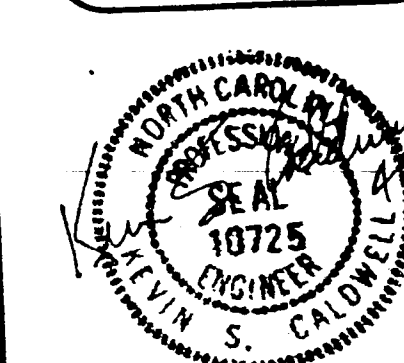
DATE: February 23, 2000  
 TO: Robert Brandon, Zoning Administrator  
 FROM: Martin R. Cramton, Jr., Planning Director

SUBJECT: Administrative Approval for Petition No. 89-36(c) by James A. Coates.

Attached is a specific plan for the Goodyear tire center located within parcel 31 at Piper Glen. This specific plan should only be used to identify the location and size of the ground mounted sign along Rea Road. This will be the only freestanding sign on this site. Since this sign is consistent with the conditions of the approved plan, I am administratively approving this request. Please use this revised plan when evaluating requests for building permits and certificates of occupancy.

GEOSCIENCE GROUP, INC.  
 1000 N. Charles Road  
 Charlotte, NC 28217  
 704-525-2003  
 704-525-2001 (fax)

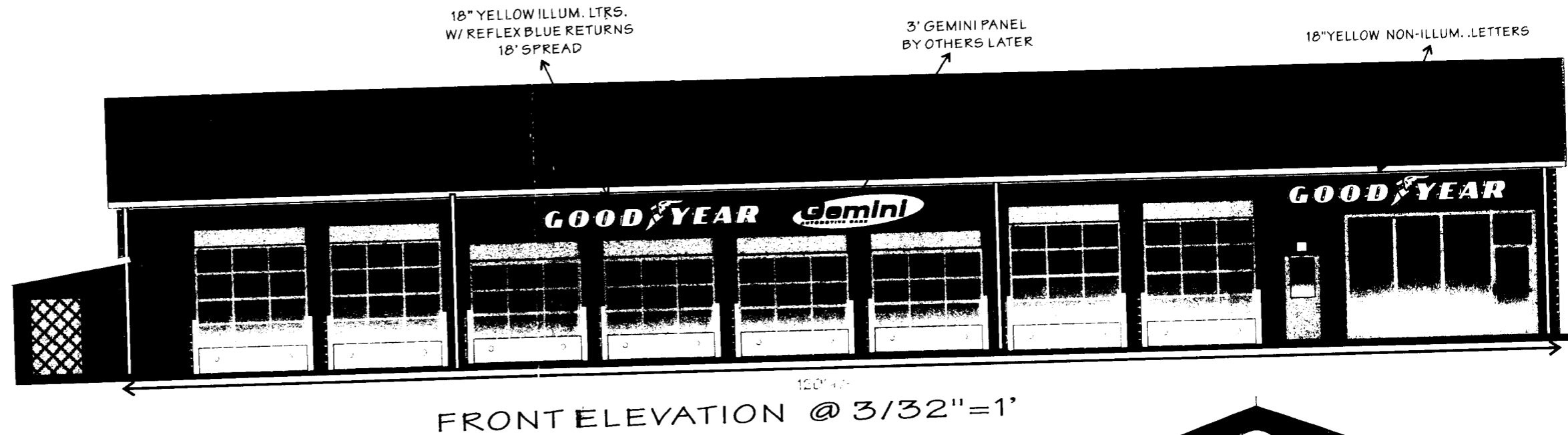
**GOODYEAR**  
 THE KEANAN COMPANY, INC.  
 CHARLOTTE, NORTH CAROLINA



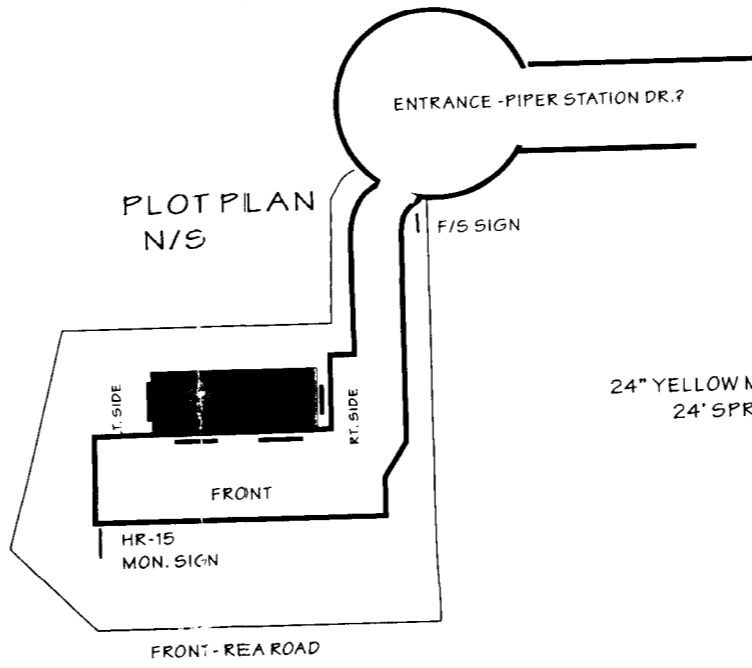
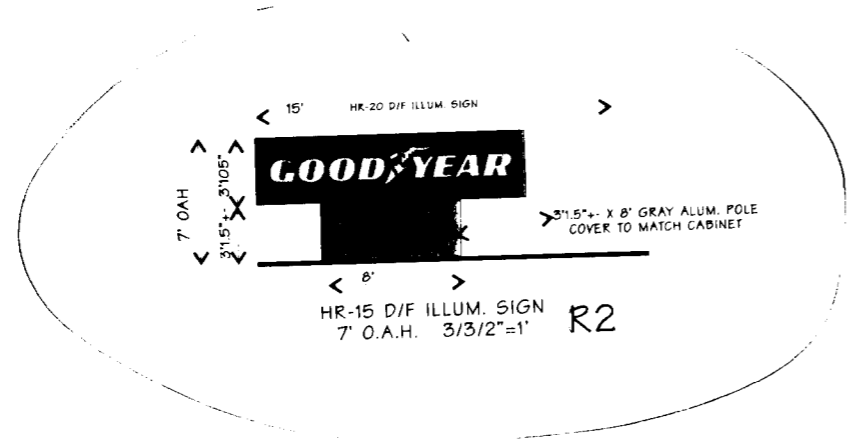
**SITE PLAN**

1/7





FRONT ELEVATION @ 3/32"=1'



LEFT ELEVATION @ 3/32"=1'



RIGHT ELEVATION @ 3/32"=1'

ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: February 23, 2000  
 BY: R. E. KADEL, JR.

89-39(c)

**GENERAL PAINT NOTES FOR EXTERIOR PAINTING OF RETAIL OUTLETS:**  
 \*SELECT A REPUTABLE PROFESSIONAL PAINTER TO ADVISE: PRODUCT SELECTION, SURFACE PREP, FIRM QUOTE, ETC., BASED ON OUR SUGGESTED GUIDELINES & ACTUAL CONDITIONS OF BLDG.

\*ALL MEASUREMENTS ARE APPROXIMATE.  
 \*ALL ELEVATIONS MAY NOT BE SHOWN.  
 \*DO NOT PAINT BRICK UNLESS NOTED.  
 \*PREVIOUSLY PAINTED WALLS NOT SHOWN TO BE OFF-WHITE, UNLESS NOTED.  
 \*ALL STOREFRONT GLASS, MULLIONS, ALUMINUM & GLASS BAY DOORS TO BE CLEANED, NOT PAINTED, UNLESS NOTED.  
 \*PAINTED EXT. DOORS, TO BE DARK GRAY

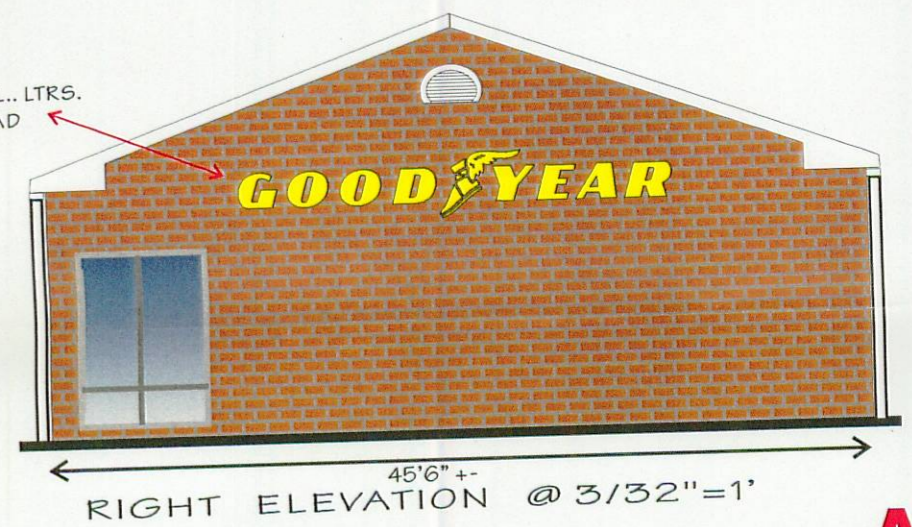
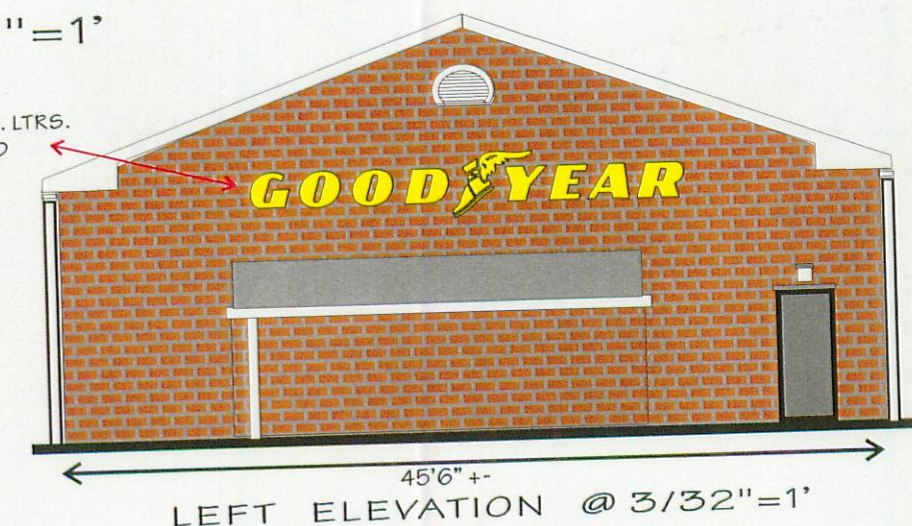
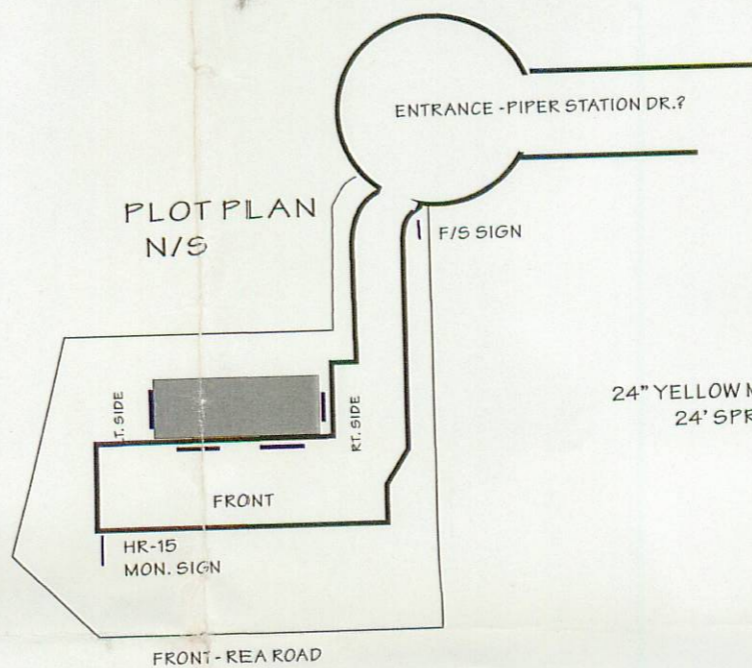
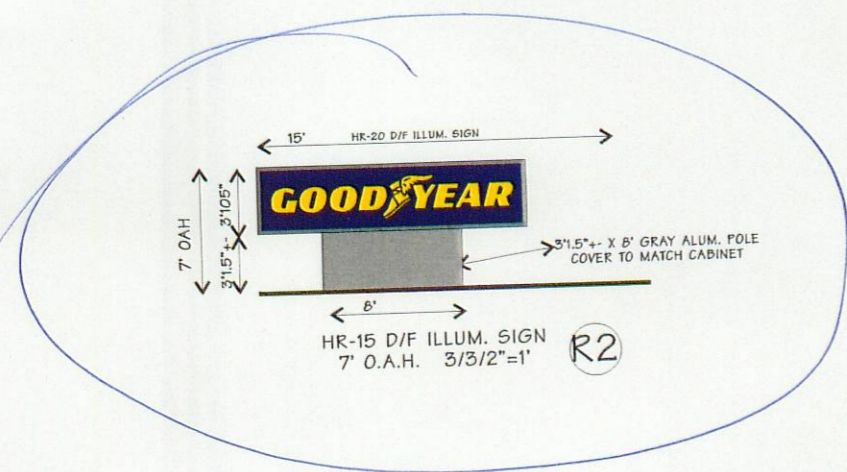
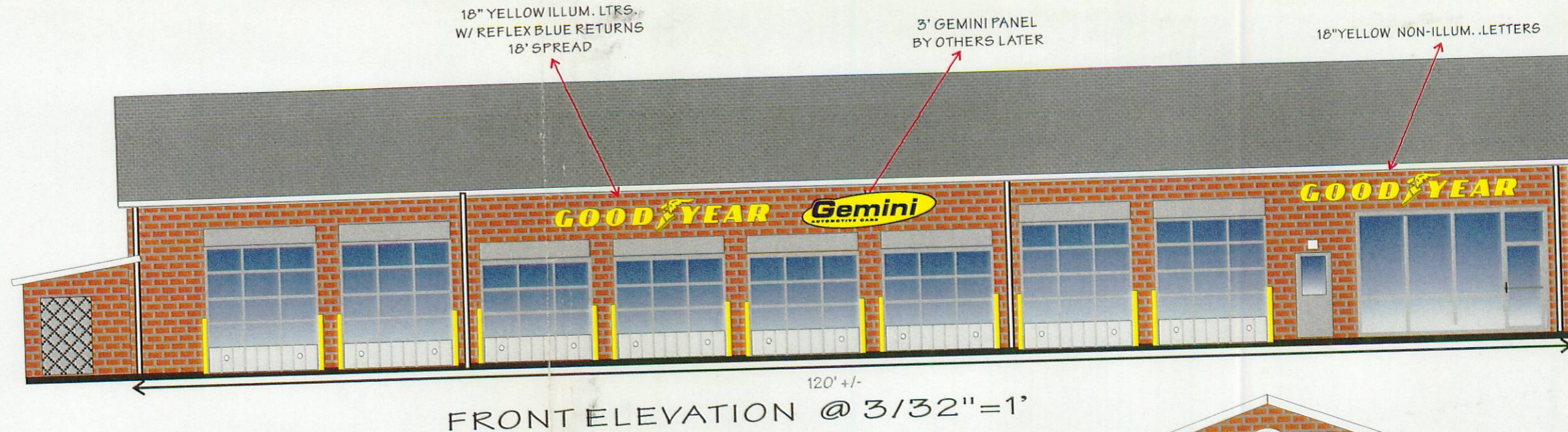
\*MISC. TRIMS, COPINGS, COLUMNS BETWEEN BAYS ETC. PAINT DARK GRAY.  
 \*PROPORTION GUIDE FOR YELLOW STRIPES/BORDERS:  
 1" YELLOW TO 1" OF FASCIA, EXAMPLES:  
 6" FASCIA - 6" YELLOW STRIPES/BORDERS  
 4" FASCIA - 4" YELLOW STRIPES/BORDERS  
 \*SURFACE FINISH - EXTERIOR GLOSS FOR ALL AREAS UNLESS NOTED

\*REFER TO PAINT COLOR GUIDE SHEET FOR: FINISH COLOR NUMBERS, OF MAJOR PAINT CO.'S  
 \*REFER TO INTERIOR COLOR BREAKDOWN SHEET FOR TYP. SALESROOM & SERVICE DEPT. COLOR BREAKDOWNS  
 \*PAINT TO CLOSELY MATCH FMS INK COLORS:  
 BLUE - REFLEX BLUE  
 YELLOW - #109 YELLOW  
 OFF-WHITE - WHITE  
 LIGHT GRAY - #428 GRAY  
 MEDIUM GRAY - #429 GRAY  
 DARK GRAY - #431 GRAY

	GOODYEAR A.S.C. 5100 PIPER STATION DRIVE CHARLOTTE, N.C. 28277		JOB # 124-99
	1144 EAST MARKET STREET AKRON, OH. 44316-0001 DEPT. 750 IDENTIFICATION		DRAWN BY: R.E. Kadel 8/20/99 SCALE (APPROX.): AS NOTED ON 11"X17" FORMAT

A





ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: February 23, 2000  
 BY: MARTIN R. CRAMTON, JR.

89-39(c)

**GENERAL PAINT NOTES FOR EXTERIOR PAINTING OF RETAIL OUTLETS:**  
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\*REFER TO INTERIOR COLOR BREAKDOWN SHEET FOR: ITT, SALESROOM & SERVICE DEPT. COLOR BREAKDOWNS

\*PAINT TO CLOSELY MATCH FMS INK COLORS:

BLUE - REFLEX BLUE      LIGHT GRAY - #426 GRAY  
 YELLOW - #109 YELLOW      MEDIUM GRAY - #429 GRAY  
 OFF-WHITE - WHITE      DARK GRAY - #431 GRAY

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\*MISC. TRIMS, COPINGS, COLUMNS BETWEEN BAYS ETC. PAINT DARK GRAY

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 4" FASCIA - 4" YELLOW STRIPES/BORDERS  
 \*SURFACE FINISH-EXTERIOR:  
 GLOSS FOR ALL AREAS UNLESS NOTED

R1-D1/10/00-F/S REV. TO MON SIGN @ 7' OAH R2-2/15/00-MON. SIGN TO HR15 @ 7' OAH

<p>1144 EAST MARKET STREET          AKRON, OH. 44316-0001          DEPT. 750 IDENTIFICATION</p>	GOODYEAR A.S.C. 5100 PIPER STATION DRIVE CHARLOTTE, N.C. 28277	JOB # <b>124-99</b> DRAWN BY: <i>R.E. Keadel</i> <i>E.J. Keel</i> <b>8/20/99</b> SCALE (APPROX.) AS NOTED ON 11'X 17' FORMAT
	<b>A</b>	
	<p>GOODYEAR logo</p>	