



Charlotte-Mecklenburg Planning Department

DATE: March 11, 2016

TO: Donald Moore
Zoning Supervisor

FROM: Ed McKinney
Interim, Planning
Director

SUBJECT: Administrative Approval for Petition No. 1989-083

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- 615 square foot increase per section 6.207.
- Site layout showing a proposed expansion of 900 square feet.
- Building elevations for the proposed building expansion.

Reasons for Staff's support of the request:

- The site plan complies with the conditional notes and still meets the intent of the approved site plan by the City Council. The expansion area is not moving closer to existing single-family homes.

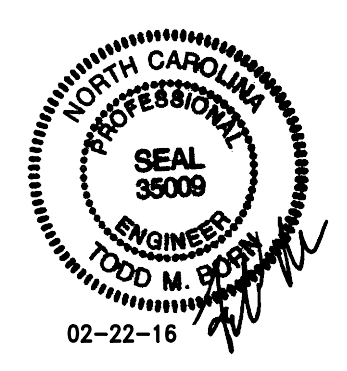
Note: All other Zoning, Subdivision, Tree Ordinances, Building Codes, and conditional requirements still apply.

Signage was note reviewed as part of this request.

Revisions:

NO.	REVISION DATE	REVISION DESCRIPTION	TMB	MWB
1	2/22/16	REVIEW COMMENTS	TMB	MWB
0	1/25/16	ISSUED FOR CONSTRUCTION	TMB	MWB

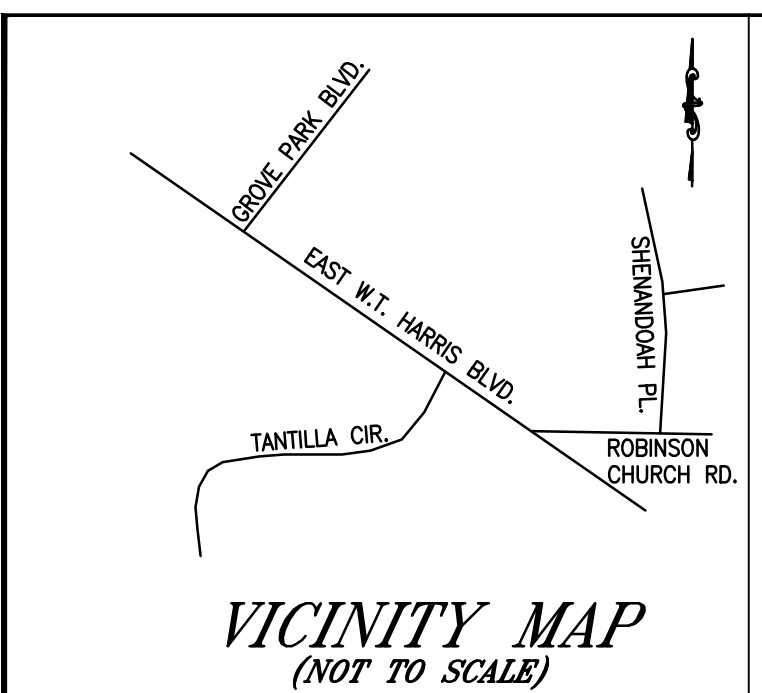
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DESIGNED BY	DRAWN BY	CHECKED BY
T. BORN	T. BORN	M. BRITT
DATE FILED: C-100.DWG	ORIGINAL DRAWING DATE	DRAWING REVISION
PROJECT NO. S15078	15-DEC-15	1

DRAWING NO.

C-100



Attached to Administrative Approval

Solomon A. Fortune
 Solomon A. Fortune

ZONING CODE SUMMARY

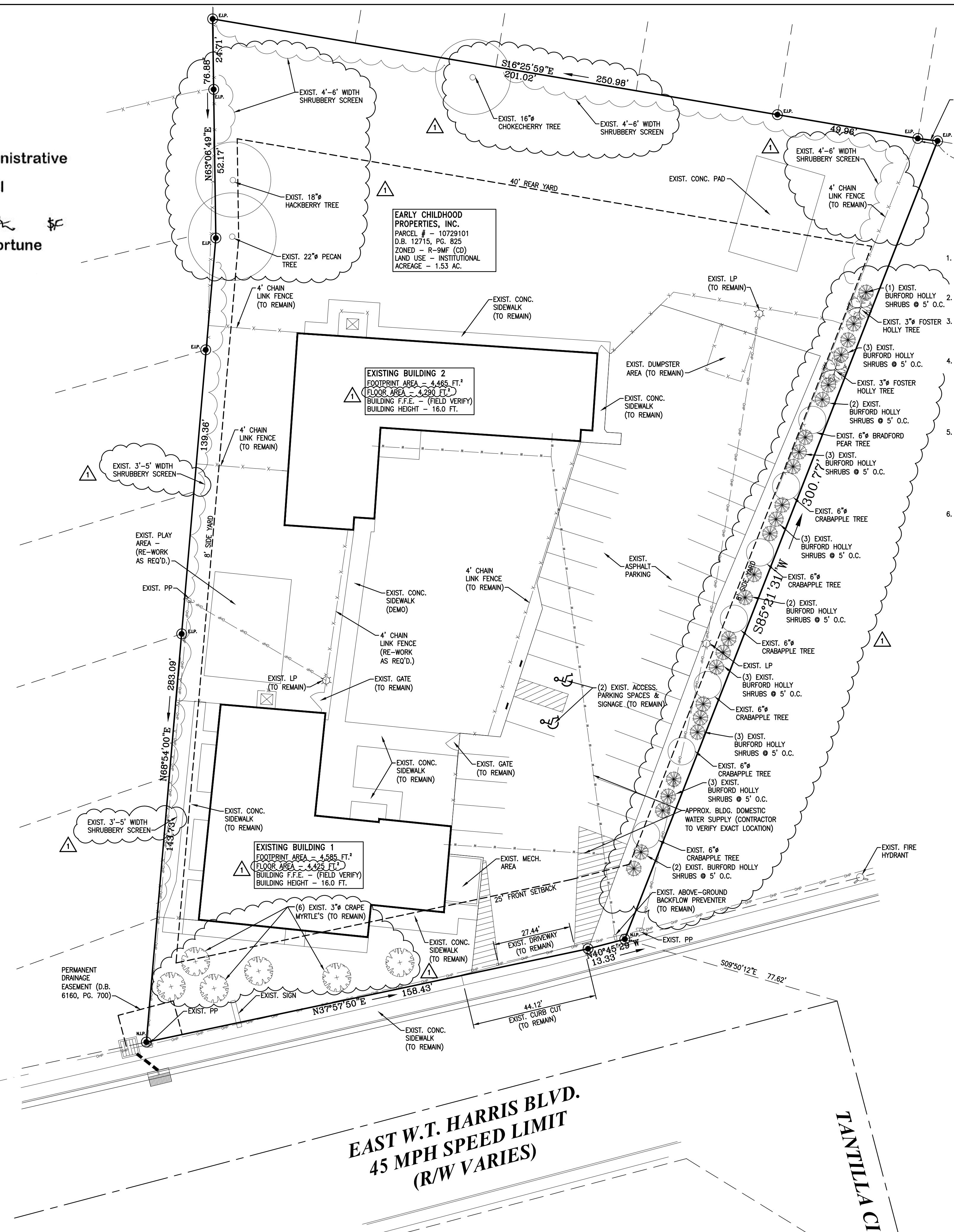
PROJECT NAME:	SMART KIDS DAYCARE
PROPERTY OWNER:	EARLY CHILDHOOD PROPERTIES, INC.
DEVELOPER:	EARLY CHILDHOOD PROPERTIES, INC.
OWNER PHONE:	(704) 634-5345
OWNER EMAIL:	N/A
OWNER ADDRESS:	218 OSWEGO CT., MORRISVILLE, NC
DEVELOPER PHONE:	(919) 749-4448
DEVELOPER EMAIL:	NT1355@YAHOO.COM
DEVELOPER ADDRESS:	14022 PYCHLEY LN., CHARLOTTE, NC
PLANS PREPARED BY:	SITE & STRUCTURE, p.c. PHONE: (704) 573-7800
ZONING:	R-9MF (CD) - PETITION #89-83 JURISDICTION: CITY OF CHARLOTTE
PARCEL NUMBER:	10729101
TOTAL SITE AREA:	1.53 AC.
ADDRESS:	6215 E. W.T. HARRIS BLVD., CHARLOTTE, NC 28215
PROPOSED USE:	INSTITUTIONAL (DAYCARE CENTER)
PARKING DATA:	
VEHICLE:	1 SPACE PER EMPLOYEE & 1 SPACE PER 10 CHILDREN
	x 14 EMPLOYEES & 200 CHILDREN = 34 SPACES
REQUIRED:	34
HANDICAP:	2
PROVIDED:	34
ALL SIGNAGE WILL BE APPROVED & PERMITTED SEPARATELY	

ABBREVIATIONS

R/W	RIGHT OF WAY
EOP	EDGE OF EXIST. PAVEMENT
EOP	PROPOSED EDGE OF PAVEMENT
CJ	SAWED CRACK CONTROL JOINT
EIP	EXISTING IRON PIN
NIP	NEW IRON PIN
RCP	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL PIPE
HP	HIGH POINT ELEVATION
LP	LOW POINT ELEVATION
TOC	TOP OF CURB ELEVATION
TW	TOP OF WALL ELEVATION
BW	BOTTOM OF WALL ELEVATION
FFE	FINISHED FLOOR ELEVATION
FOB	FACE OF BUILDING
FOC	FACE OF CURB
BOC	BACK OF CURB
PI	POINT OF INTERSECTION
DI	STORM SEWER DROP INLET
CI	STORM SEWER CURB INLET
YI	STORM SEWER YARD INLET (HDPE)
PID	PARCEL TAX ID NUMBER
CONC.	CONCRETE
CL	CENTER LINE
PP	POWER POLE
SP	SERVICE POLE
LP	LAMP POST
GV	GAS VALVE
FH	FIRE HYDRANT
N.O.F.	NOW OR FORMERLY
TYP.	TYPICAL

LEGEND

DESCRIPTION	EXISTING	PROPOSED
SANITARY SEWER LINE	---S---	---S---
STORM SEWER	PIPE SPEC & SLOPE	PIPE SPEC & SLOPE
WATER LINE	---W---	---W---
GAS LINE	---G---	---G---
OVERHEAD POWER	---OP---	---OP---
UNDERGROUND POWER	---UP---	---UP---
OVERHEAD TELEPHONE	---OT---	---OT---
UNDERGROUND TELEPHONE	---UT---	---UT---
FIBER OPTIC	---FO---	---FO---
SPOT ELEVATION	◆ 97.00	◆ 100.35
SEWER MANHOLE	SS	SS
STORM MANHOLE	ST	ST
ELECTRICAL MANHOLE	E	E
WATER VALVE	WV	WV
FIRE HYDRANT	HYD	HYD
LIGHT POLE	LP	LP
TELEPHONE PEDESTAL	TP	TP
TRANSFORMER	TR	TR
UTILITY POLE	U	U
PROPERTY CORNER	●	●
PROPERTY BOUNDARY	---	---
CONTOUR - 1' INT.	---	---
CONTOUR - 5' INT.	---	---



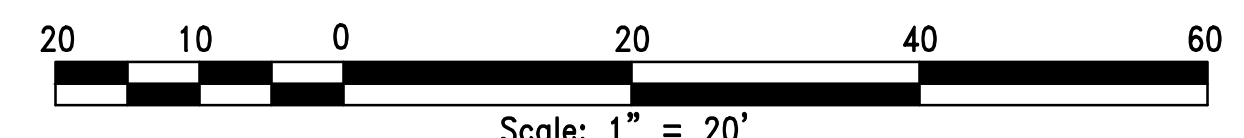
GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING IF A DEMOLITION PERMIT IS REQUIRED FOR WORK TO BE PERFORMED. IF A DEMOLITION PERMIT IS REQUIRED THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE PERMIT FROM GOVERNING AUTHORITY.
- ALL MATERIAL TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE, RE-USE, ETC. FACILITY.
- ALL NATURAL MATERIAL INCLUDING, BUT NOT LIMITED TO, GRAVEL & STONE, ROCKS & Boulders, TREE STUMPS, ETC. SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE, RE-USE, ETC. FACILITY UNLESS SPECIFICALLY APPROVED BY ENGINEER AND BY LOCAL AUTHORITY.
- TOPSOIL STRIPPINGS SHALL BE STOCKPILED ON-SITE AND RE-USED FOR FILL AREAS IN GRASS AND LANDSCAPING AREAS. UNDER NO CIRCUMSTANCES SHALL TOPSOIL STRIPPINGS BE USED AS FILL IN ANY AREAS UNDER, OR WITHIN 5-FEET OF, PROPOSED BUILDINGS, PAVEMENTS, SIDEWALKS, CURBS & CUTTERS, CONCRETE PADS, OR ANY OTHER IMPERVIOUS SURFACE. TOPSOIL STRIPPINGS STOCKPILE LOCATIONS SHALL BE SURROUNDED BY TEMPORARY SEDIMENT FENCING AND ANY TOPSOIL STRIPPINGS THAT ARE NOT RE-USED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED BURIAL, SITE OR FACILITY.
- THE UTILITIES AND THE LOCATIONS THEREOF, SHOWN ON THE DRAWINGS, REPRESENT THE DESIGNER'S UNDERSTANDING OF EXISTING UTILITIES IN THE AREA OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND EXISTENCE OF ALL UTILITIES (ELECTRICAL, WATER, MECHANICAL, TELEPHONE, GAS, ETC.) WITHIN THE CONSTRUCTION AREA WITH THE OWNER AND/OR THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING ANY EXCAVATIONS. THE OMISSION OF, OR THE INCLUSION OF, UTILITY LOCATIONS ON PLANS IS NOT TO BE CONSIDERED AS THE NON-EXISTENCE OF, OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED SOLELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL UTILITIES SHOWN ON THESE DRAWINGS TO BE RELOCATED OR REMOVED. FURTHERMORE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING OTHER UTILITIES THAT WILL NEED TO BE REMOVED OR RELOCATED DUE TO CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING EACH LOCAL UTILITY TO VERIFY UTILITY & CONTRACTOR RELOCATION/REMOVAL RESPONSIBILITIES, REQUIRED RELOCATION AREAS AND ALL REQUIRED FEES FOR RELOCATION/REMOVAL OF UTILITIES, ETC.

PCCO SUMMARY

Original Parcel ID Number(s):	10729101
Development Type:	Commercial
Subject to PCCO? Y/N	N
If NO, why?	Below BUA/Disturbance Thresholds
Watershed:	Yadkin
Disturbed Area (ac):	0.05
Site Area (ac):	1.53
	DA#1
	DA#2
Total on-site Drainage Area (ac):	1.53
Existing Built-Up Area Prior to 1978 (SF):	7,400
Existing Built-Up Area Prior to 2008 (SF):	25,913
Existing BUA to be removed (SF):	434
Existing BUA to remain (SF):	25,479
Proposed New BUA (SF):	1,782
Proposed % BUA:	4.3
Density (High / Low)	Low
Total Post-Project BUA for site (Detention):	19,861
Total Post-Project BUA for site (PCCO):	27,261
Development or Redevelopment?	Redevelopment
Natural Area Required (ac):	N/A
Natural Area Provided (ac):	N/A
Total stream buffer protected on-site (ac):	N/A
Transit Station Area? Y/N	N
Distressed Business District? Y/N	N
Mitigation Type (if applicable)	N/A
Natural Area mitigation? Y/N	N/A
Buffer Mitigation? Y/N	N/A
Total Phosphorous Mitigation? Y/N	N/A

1 EXISTING CONDITIONS & DEMO PLAN



EAST W.T. HARRIS BLVD.
45 MPH SPEED LIMIT
 (R/W VARIES)

TANILLA CIRCLE

SMART KIDS DAY CARE
 6215 E. W.T. HARRIS BLVD
 CHARLOTTE, NC

Project Name:

SITE LAYOUT PLAN

Drawing Description:

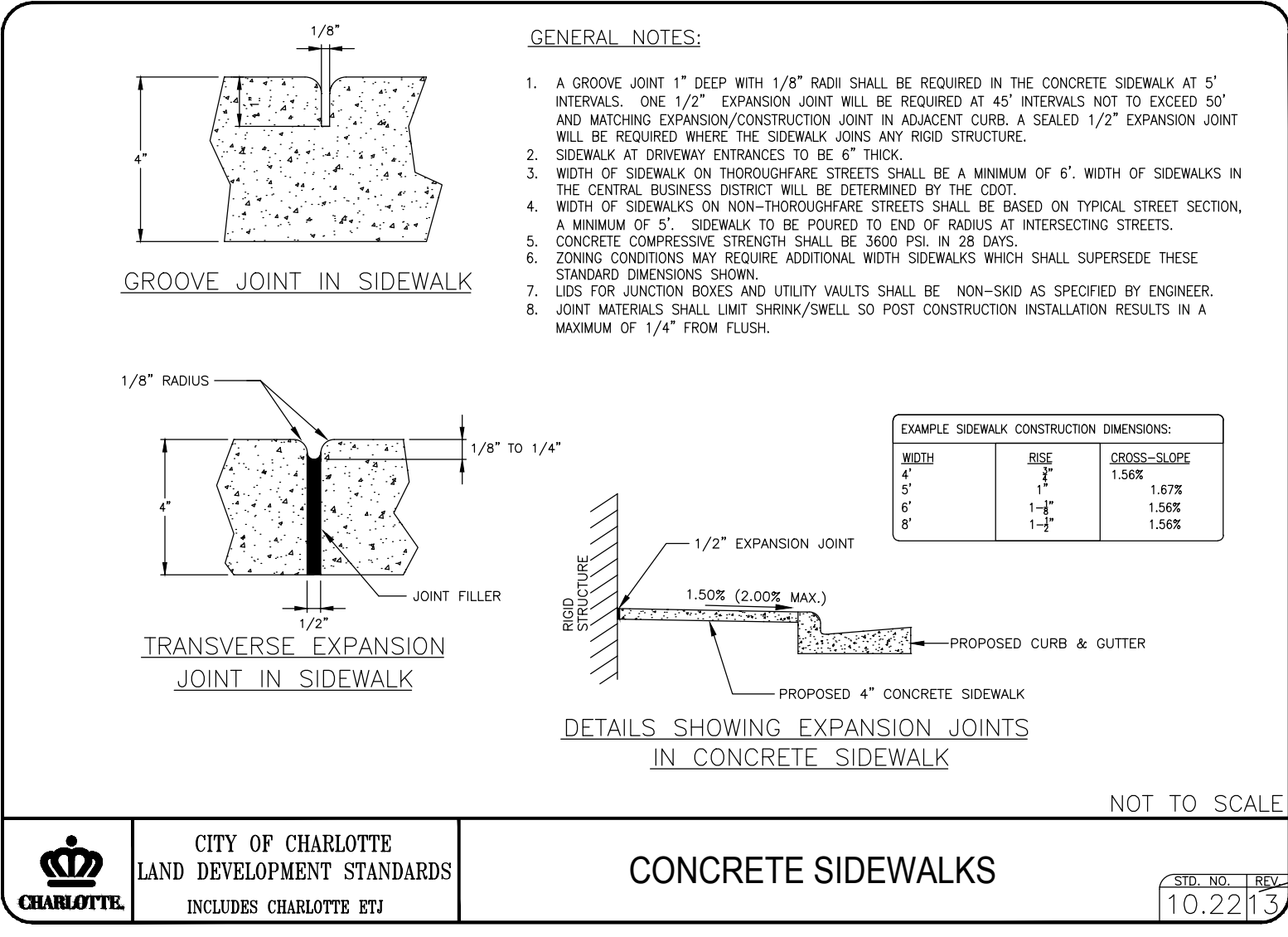
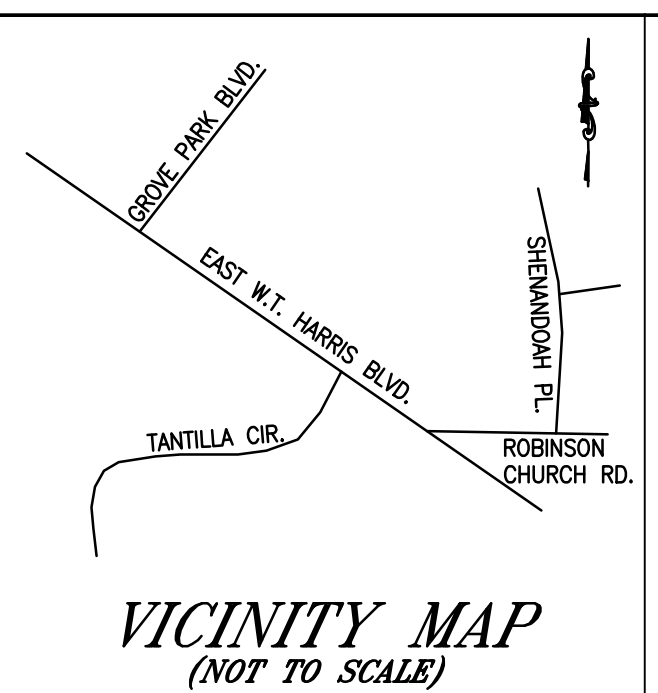
REV.	REVISION DATE	REVISION DESCRIPTION	TMB	MWB
1	2/22/16	REVIEW COMMENTS	TMB	MWB
0	1/25/16	ISSUED FOR CONSTRUCTION	TMB	MWB

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DESIGNED BY	DRAWN BY	CHECKED BY
T. BORN	T. BORN	M. BRITT

DRAWING NO.
C-200



CITY OF CHARLOTTE
 LAND DEVELOPMENT STANDARDS
 INCLUDES CHARLOTTE RTJ

ABBREVIATIONS

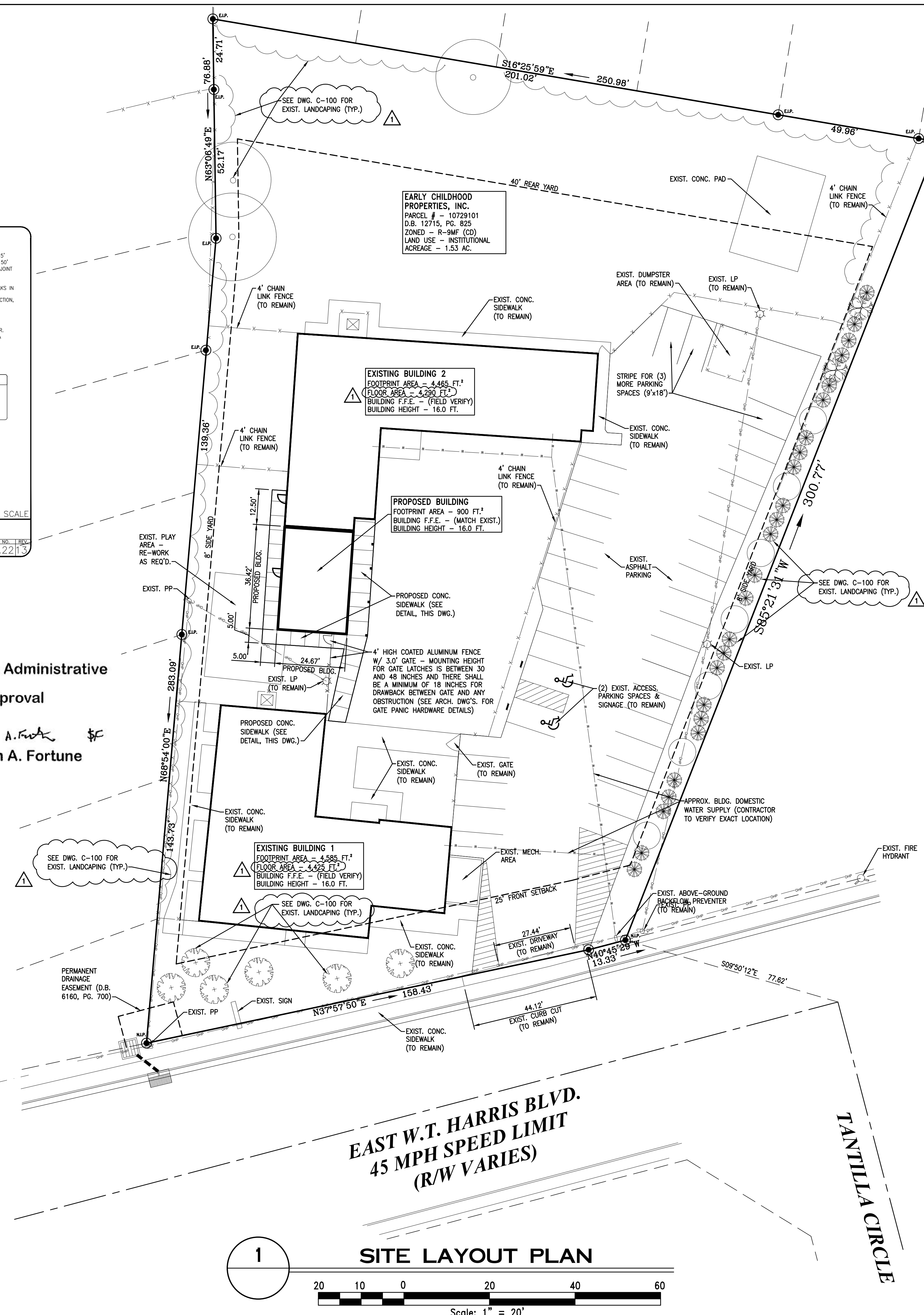
R/W	RIGHT OF WAY
EOP	EDGE OF EXIST. PAVEMENT
EOP	PROPOSED EDGE OF PAVEMENT
CJ	SAWED CRACK CONTROL JOINT
EIP	EXISTING IRON PIN
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YI	STORM SEWER YARD INLET (HDPE)
PID	PARCEL TAX ID NUMBER
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LEGEND

DESCRIPTION	EXISTING	PROPOSED
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STORM SEWER	PIPE SPEC & SLOPE	PIPE SPEC & SLOPE
WATER LINE	---	---
GAS LINE	---	---
OVERHEAD POWER	---	---
UNDERGROUND POWER	---	---
OVERHEAD TELEPHONE	---	---
UNDERGROUND TELEPHONE	---	---
FIBER OPTIC	---	---
SPOT ELEVATION	97.00	100.35
SEWER MANHOLE	SS	SS
STORM MANHOLE	ST	ST
ELECTRICAL MANHOLE	E	E
WATER VALVE	WV	WV
FIRE HYDRANT	HYD	HYD
LIGHT POLE	TP	TP
TELEPHONE PEDESTAL	TP	TP
TRANSFORMER	TR	TR
UTILITY POLE	U	U
PROPERTY CORNER	●	●
PROPERTY BOUNDARY	---	---
CONTOUR - 1' INT.	---	---
CONTOUR - 5' INT.	---	---

2
 C-200
 DETAIL

Attached to Administrative Approval
 Solomon A. Fortune



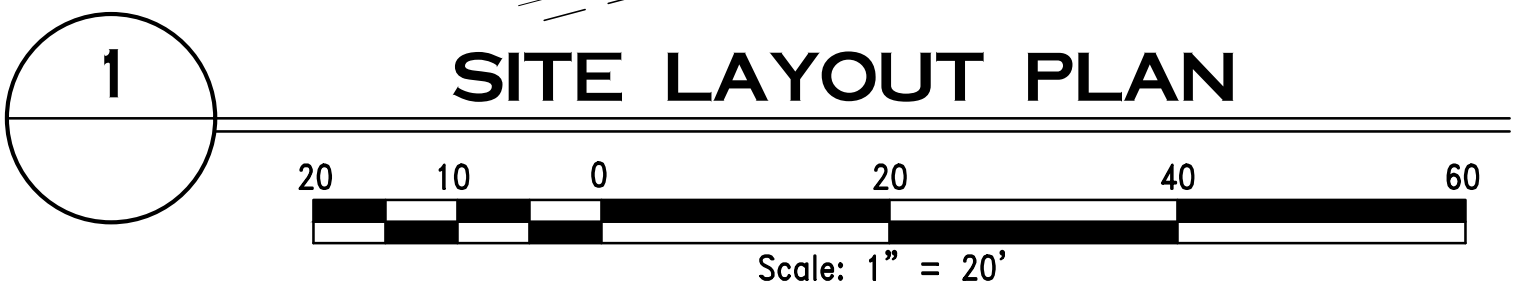
GENERAL SITE NOTES

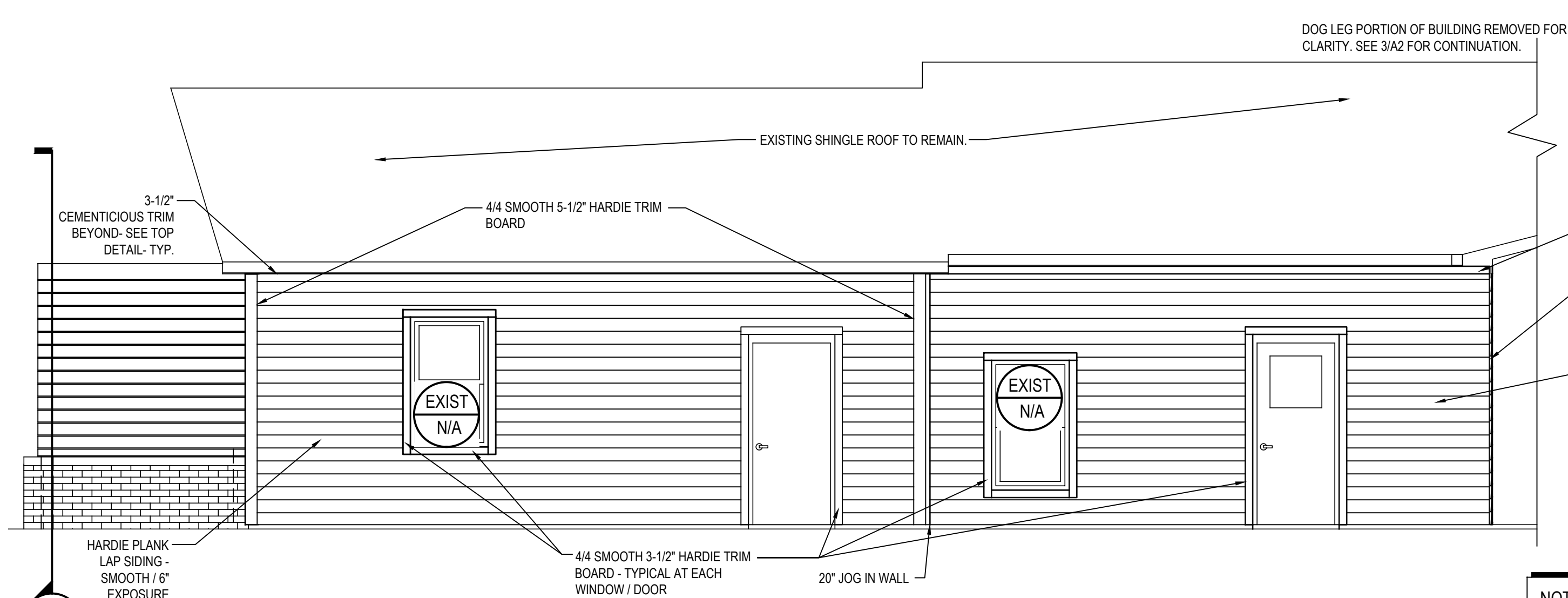
- ALL WORK AND MATERIALS FOR STREET MODIFICATIONS SHALL CONFORM TO THE LATEST EDITION OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES.
- ALL CONCRETE SHALL BE MADE OF TYPE-1 CEMENT WITH 4-5% AIR ENTRAINMENT AND ACHIEVE A 28-DAY STRENGTH OF 3,600 PSI.
- ALL NEW CONCRETE SHALL BE CURED WITH 100% RESIN BASE, WHITE PIGMENTED CURING COMPOUND WHICH MEETS ASTM C-309. APPLY AT A UNIFORM RATE OF 1 GALLON OVER 400 SQ. FT. WITH IN 24-HOURS OF INITIAL PLACEMENT.
- SUB-GRADE FOR NEW PAVEMENT, CURBS, AND CONCRETE PADS SHALL BE COMPACTED TO 100% OF THE MAXIMUM DENSITY OBTAINABLE BY THE STANDARD PROCTOR TEST TO A DEPTH OF 6". SUB-GRADE BELOW 6" IN DEPTH SHALL BE COMPACTED TO 95% MAXIMUM DENSITY BY THE STANDARD PROCTOR TEST.
- CONCRETE OR ASPHALT SHALL NOT BE PLACED IN COLD WEATHER CONDITIONS UNTIL THE AIR TEMPERATURE IS 35°F AND RISING BY 10 A.M. CONCRETE OR PAVING OPERATIONS SHALL BE DISCONTINUED WHEN THE AIR TEMPERATURE IS 40°F AND FALLING. THE CONTRACTOR SHALL PROTECT FRESHLY PLACED CONCRETE IN ACCORDANCE WITH SECTION 422 OF NCDOT STANDARD SPECS. WHEN THE AIR TEMPERATURE IS 35°F AND THE CONCRETE HAS NOT REACHED 72-HOURS OF AGE.
- SIDEWALKS AND OTHER CONCRETE WALKS SHALL BE CONSTRUCTED OF NOT LESS THAN 3,600 PSI CONCRETE AND SHALL BE NOT LESS THAN 4" THICK ON AN ADEQUATELY GRADED BASE. SUB-GRADE SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY BY THE STANDARD PROCTOR TEST.
- ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF CHARLOTTE DETAILS AND SPECIFICATIONS.
- EACH CHARLOTTE WATER REQUIRED BACKFLOW PREVENTION ASSEMBLY IS REQUIRED TO BE TESTED BY A APPROVED CERTIFIED TESTER PRIOR TO PLACING WATER SYSTEM IN SERVICE.
- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY METER AND ITS REQUIRED CHARLOTTE WATER BACKFLOW PREVENTION ASSEMBLY.
- POST ASSIGNED BUILDING PERMIT NUMBER AND ADDRESS ON THE BUILDING.
- ALL SIGNS SHALL BE APPROVED AND PERMITTED SEPARATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING OTHER UTILITIES REQUIRED TO SERVE THE BUILDINGS AND CONTACT EACH LOCAL UTILITY TO VERIFY UTILITY & CONTRACTOR INSTALLATION RESPONSIBILITIES, REQUIRED CONDUIT LOCATIONS, AND ALL REQUIRED FEES FOR INSTALLATION AND CONNECTIONS, ETC.

CONDITIONAL USE NOTES (PETITION #89-83)

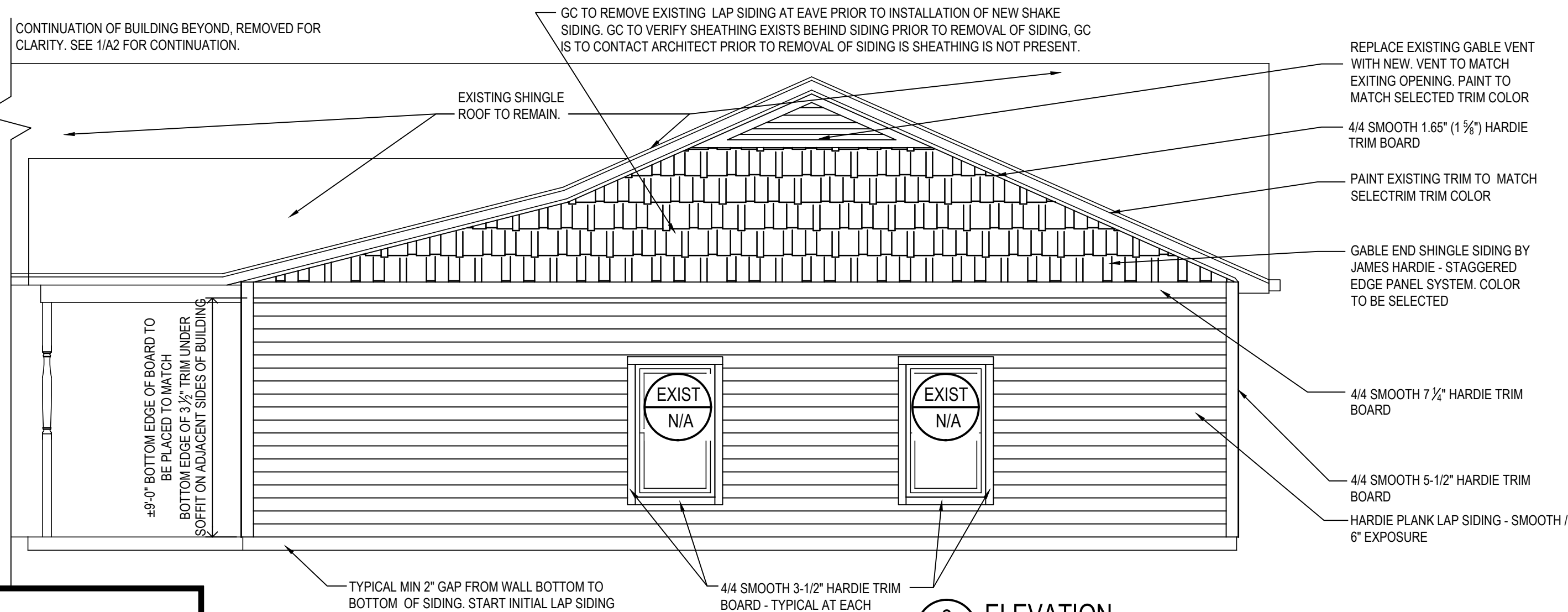
- EXISTING ZONING - R-9MF (CD)
- REQUESTED ZONING - SITE PLAN AMENDMENT
- PROPOSED USE - DAYCARE CENTER
- SIGNAGE SHALL BE PERMITTED IN ACCORDANCE WITH ORDINANCE PROVISIONS
- TOTAL SITE - 1.53 ACRES
- PARKING REQUIRED - 34 (14 EMPLOYEES @ 1 SPACE PER EMPLOYEE, 200 CHILDREN @ 1 SPACE PER 10 CHILDREN)
- PARKING PROVIDED - 34
- PLAY SPACE REQUIRED - 20,000 SQ. FT.
- PLAY SPACE PROVIDED - 32,015 SQ. FT.
- EXISTING BUILDINGS - 9,000 SQ. FT.
- PROPOSED BUILDING ADDITION - 900 SQ. FT.
- MAXIMUM NO. OF CHILDREN - 200

PCCO SUMMARY		
Original Parcel ID Number(s):	10729101	
Development Type:	Commercial	
Subject to PCCO? Y/N	N	
If NO, why?	Below BUA/Disturbance Thresholds	
Watershed:	Yadkin	
Disturbed Area (ac):	0.05	
Site Area (ac):	1.53	
	DA#1	DA#2
Total on-site Drainage Area (ac):	1.53	
Existing Built-Up Area Prior to 1978 (SF):	7,400	
Existing Built-Up Area Prior to 2008 (SF):	25,913	
Existing BUA to be removed (SF):	424	
Existing BUA to remain (SF):	25,479	
Proposed New BUA (SF):	1,782	
Proposed % BUA:	4.3	
Density (High / Low):	Low	
Total Post-Project BUA for site (Detention):	19,861	
Total Post-Project BUA for site (PCCO):	27,261	
Development or Redevelopment?	Redevelopment	
Natural Area Required (ac):	N/A	
Natural Area Provided (ac):	N/A	
Total stream buffer protected on-site (ac):	N/A	
Transit Station Area? Y/N	N	
Distressed Business District? Y/N	N	
Mitigation Type (if applicable)	N/A	
Natural Area mitigation? Y/N	N/A	
Buffer Mitigation? Y/N	N/A	
Total Phosphorous Mitigation? Y/N	N/A	



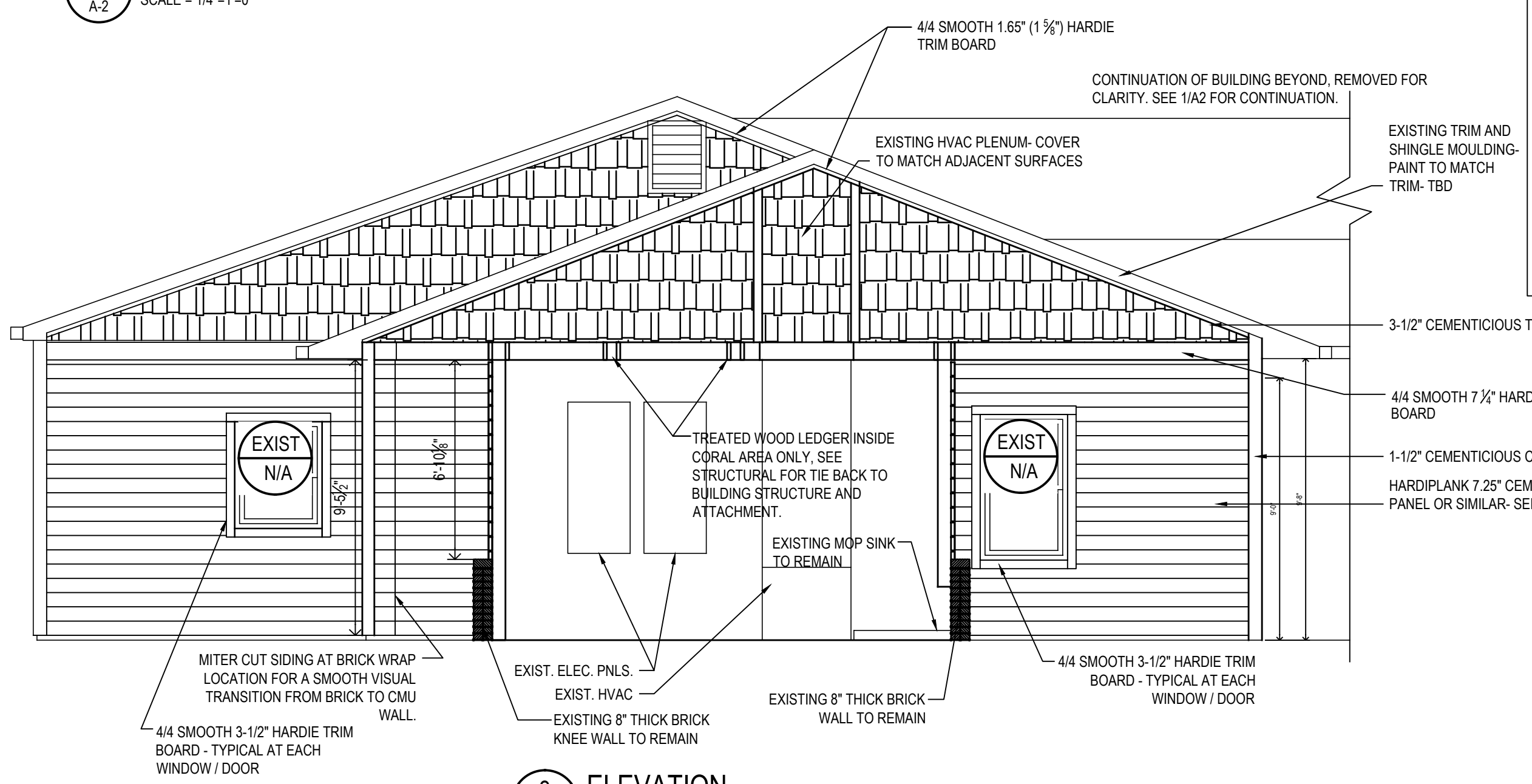


1 ELEVATION
SCALE = 1/4"=1'-0"

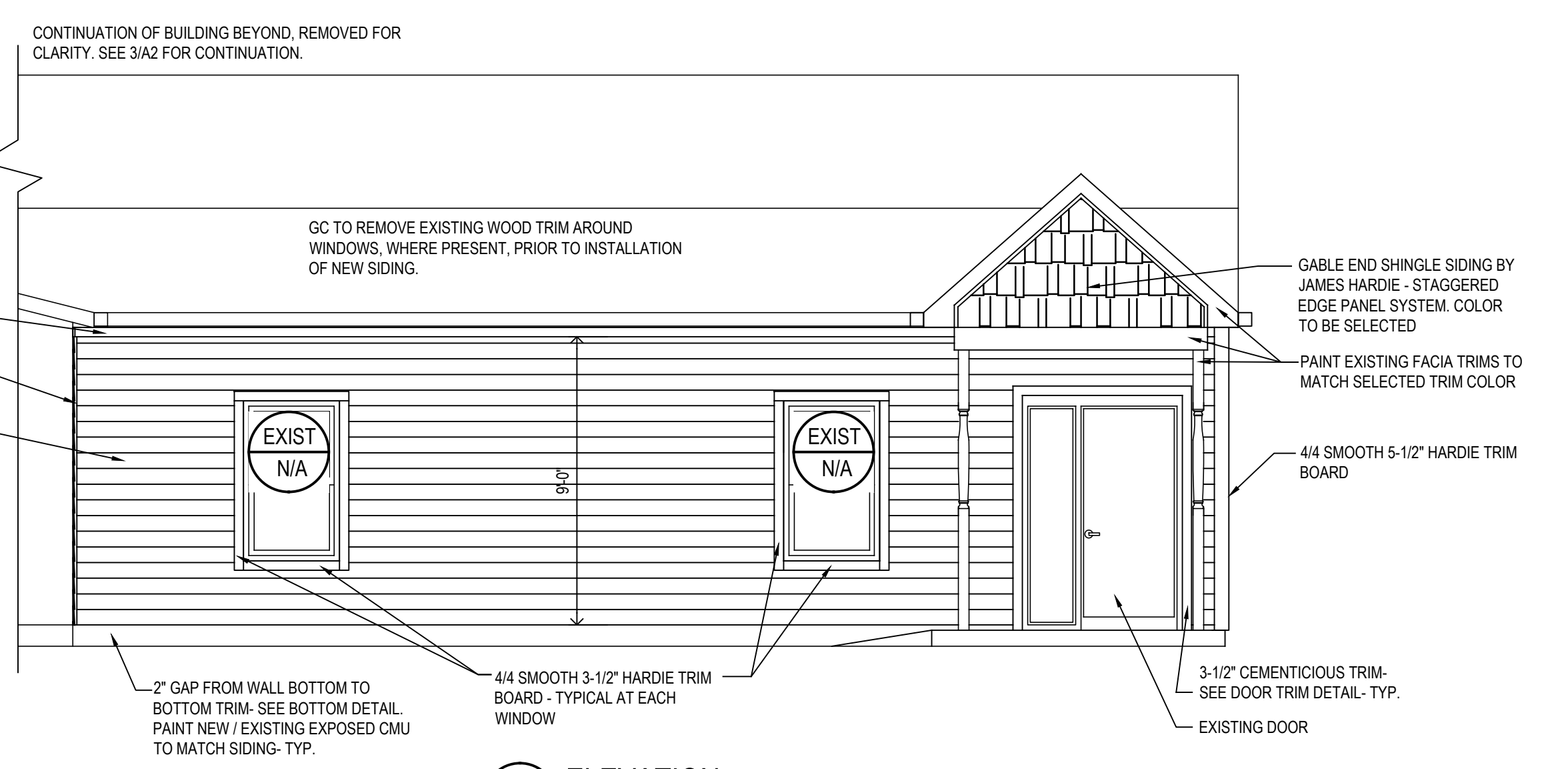


2 ELEVATION
SCALE = 1/4"=1'-0"

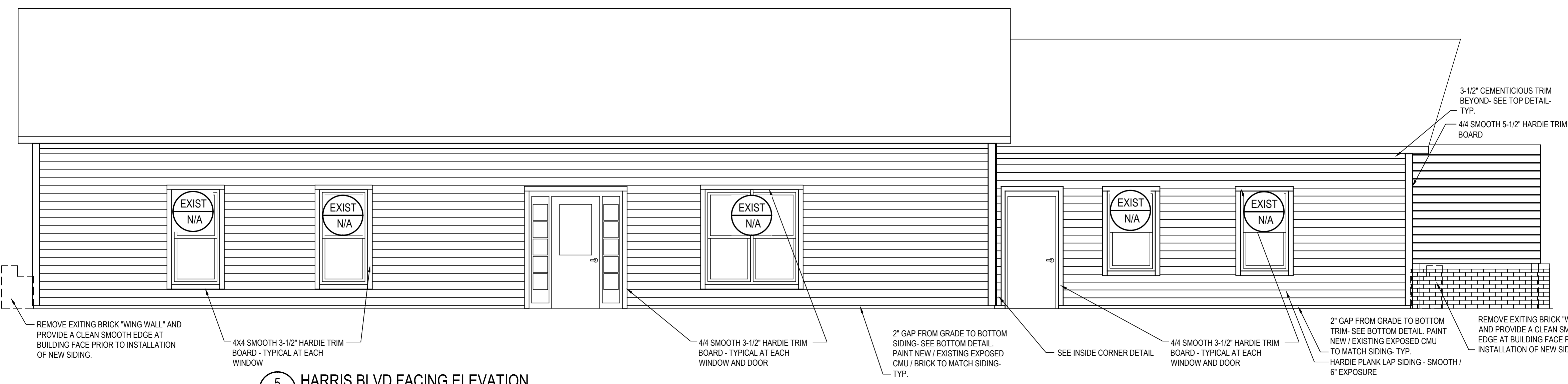
NOTES:
SEE SHEET A4 FOR ALL SIDING ATTACHMENT DETAILS. GC TO FIELD VERIFY ALL DIMENSIONS PRIOR TO BID PRICING, ORDER AND INSTALL.
ALL BUILDING ELEMENTS I.E. WINDOWS, DOORS, ROOF... ARE EXISTING TO REMAIN. BUILDING ELEVATIONS ARE FOR REFACING ONLY. ONLY EXCEPTION IS THE EXTERIOR MECHANICAL SCREEN. SEE 1/A-2a FOR INFORMATION.



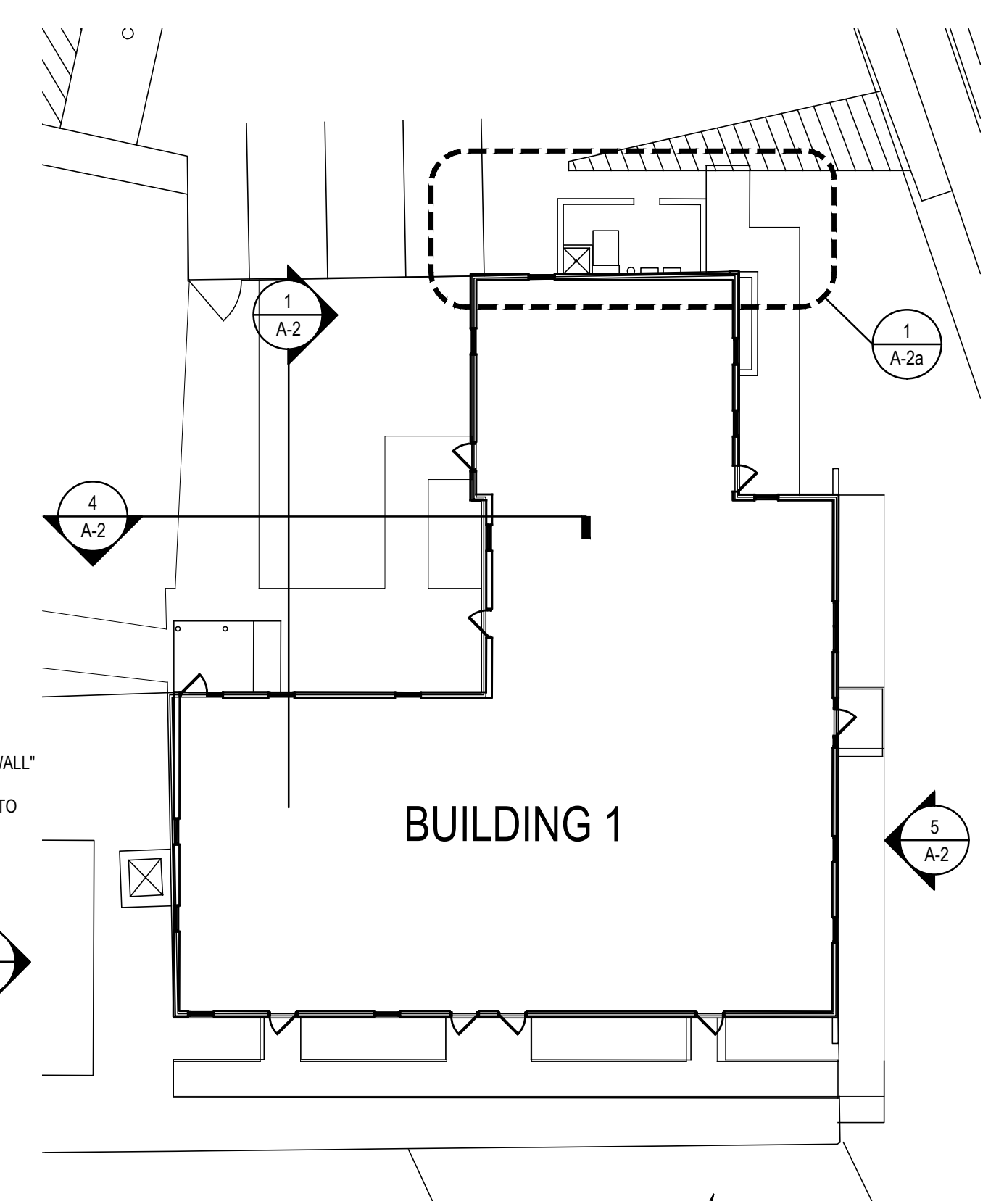
3 ELEVATION
SCALE = 1/4"=1'-0"



4 ELEVATION
SCALE = 1/4"=1'-0"



5 HARRIS BLVD FACING ELEVATION
SCALE = 1/4"=1'-0"



6 KEY PLAN
SCALE = NTS

C.L. Helt, Architect Inc.
1136 Greenwood Cliff
Charlotte, NC 28204
Ph. 704-342-1686
Fx. 704-343-0054
E-MAIL INFO@CLHELT.COM

Project:
**ADDITIONS TO
SMART KIDS DAYCARE
6215 E WT HARRIS BLVD
CHARLOTTE, NC 28215**

Sheet Description:
**BUILDING 1
ELEVATIONS**

Seal:
TIMOTHY WILLIAM JOHNSTON
ARCHITECT
1098 W. 10TH ST.
CHARLOTTE, NC 28202
1-28-16
C.L. HELT ARCHITECT INC.
50047
NORTH CAROLINA
CHARLOTTE, NC

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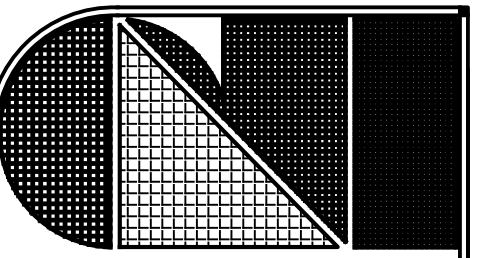
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A. FOOR
Checked By:

Revisions:

1	
2	
3	
4	

Date:
01/28/2016

Sheet No.
A-2



C.L. Helt, Architect Inc.

1136 Greenwood Cliff
Charlotte, NC 28204

Ph. 704-342-1686
F. 704-343-0054
E-MAIL INFO@CLHELT.COM

ARCHITECT'S PROJECT • 15187

Project:
**ADDITIONS TO
SMART KIDS DAYCARE
6215 E WT HARRIS BLVD
CHARLOTTE, NC 28215**

Sheet Description:
**EQUIPMENT SCREEN
DETAILS**

Seal



1-28-16



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INC. AND OR TIMOTHY JOHNSTON, ARCHITECT

Drawn By :

A. FOOR

Checked By :

-

Revisions :

1

2

3

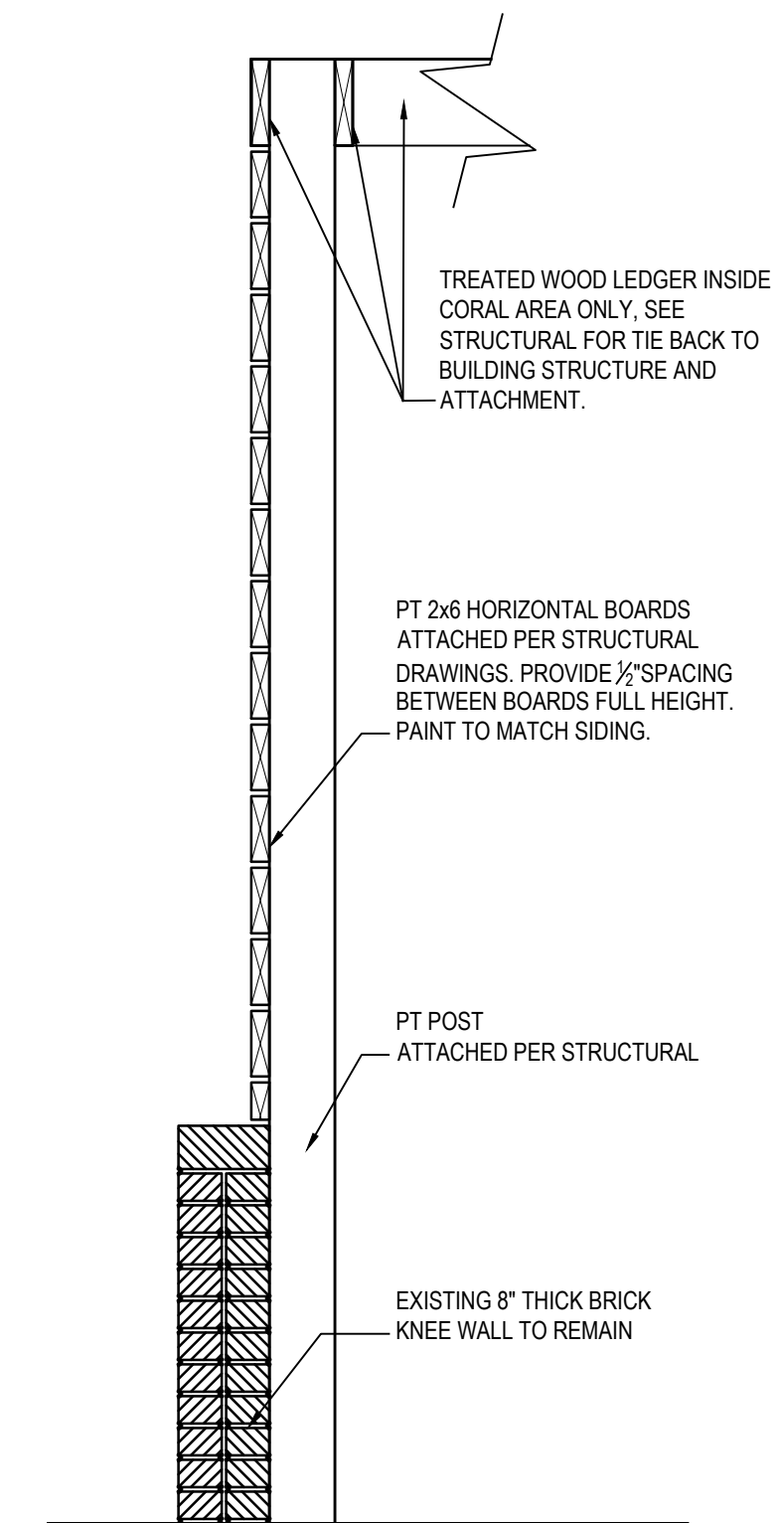
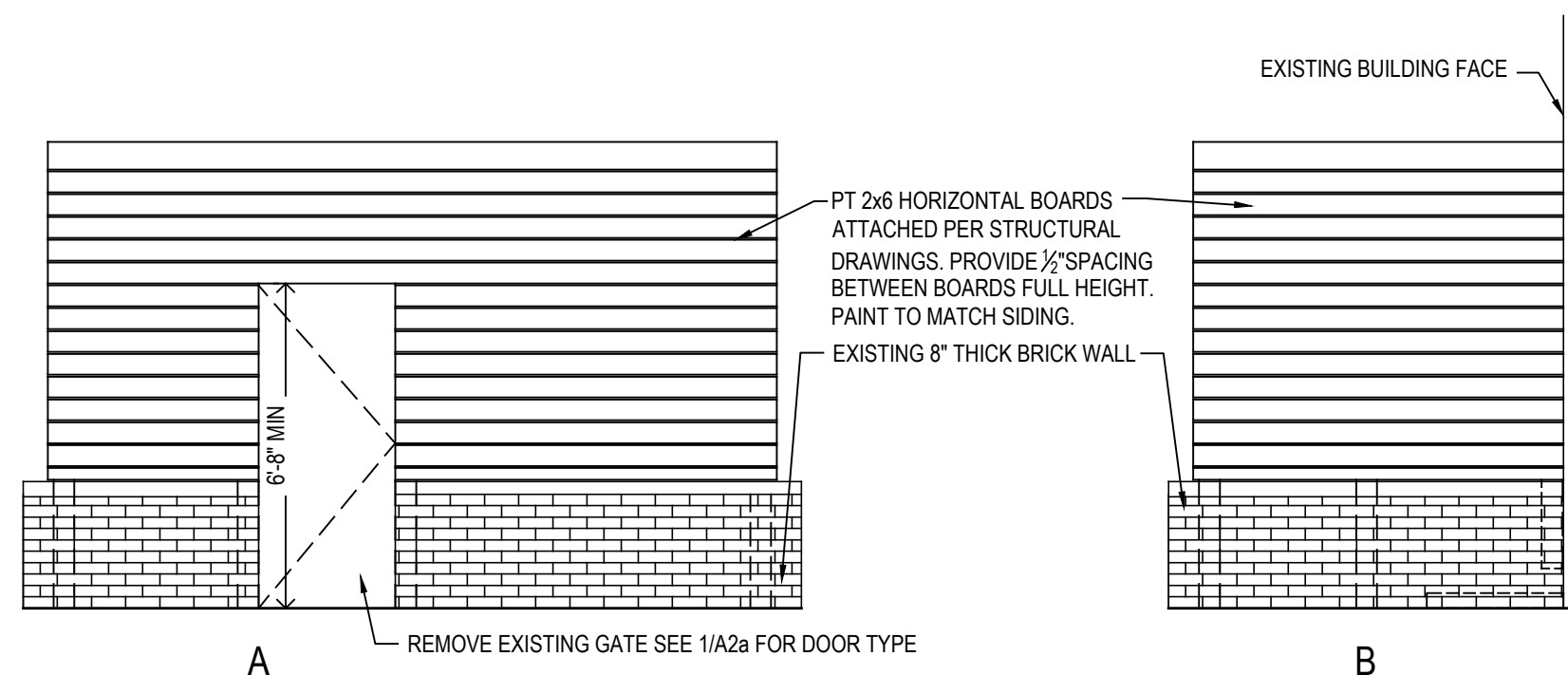
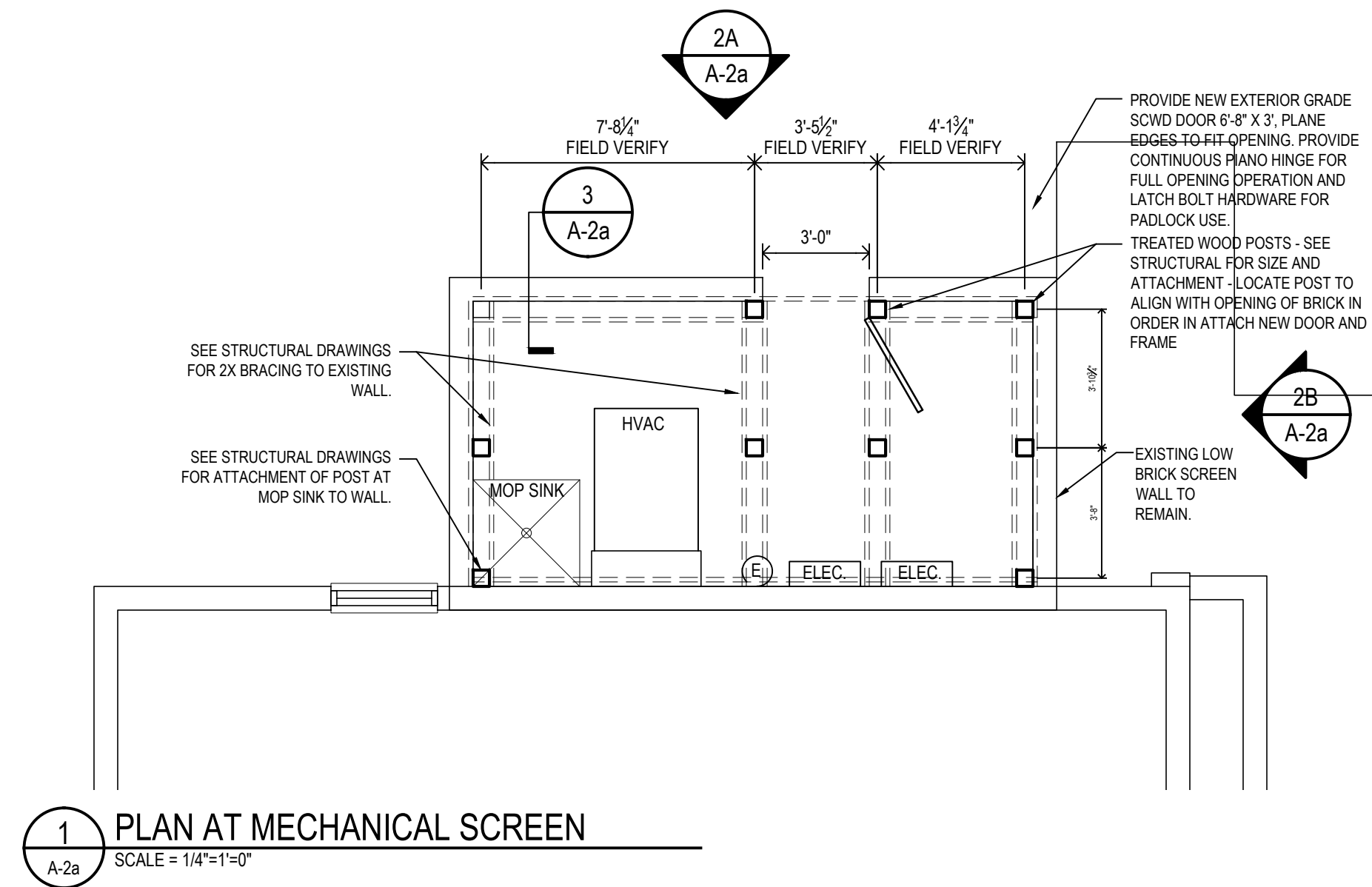
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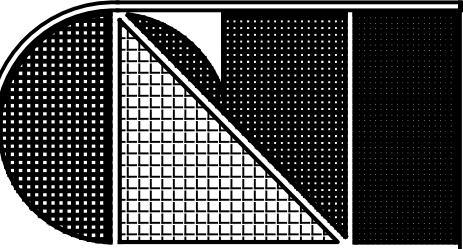
Date :

01/28/2016

Sheet No.

A-2a





C.L. Helt, Architect Inc.

1136 Greenwood Cliff
Charlotte, NC 28204

Ph. 704-342-1686
F.x. 704-343-0054
E-MAIL INFO@CLHULT.COM

ARCHITECT'S PROJECT • 15187

Project:
**ADDITIONS TO
SMART KIDS DAYCARE**
**6215 E WT HARRIS BLVD
CHARLOTTE, NC 28215**

Sheet Description:
**BUILDING 2
ELEVATIONS**

Seal



1-28-16



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INC. AND/OR TIMOTHY JOHNSTON, ARCHITECT

Drawn By:
A. FOOR

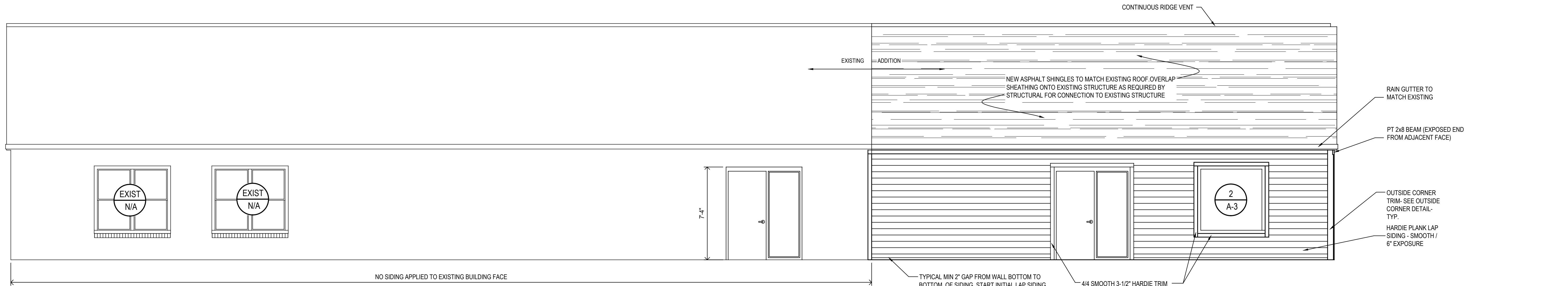
Checked By:

Revisions:

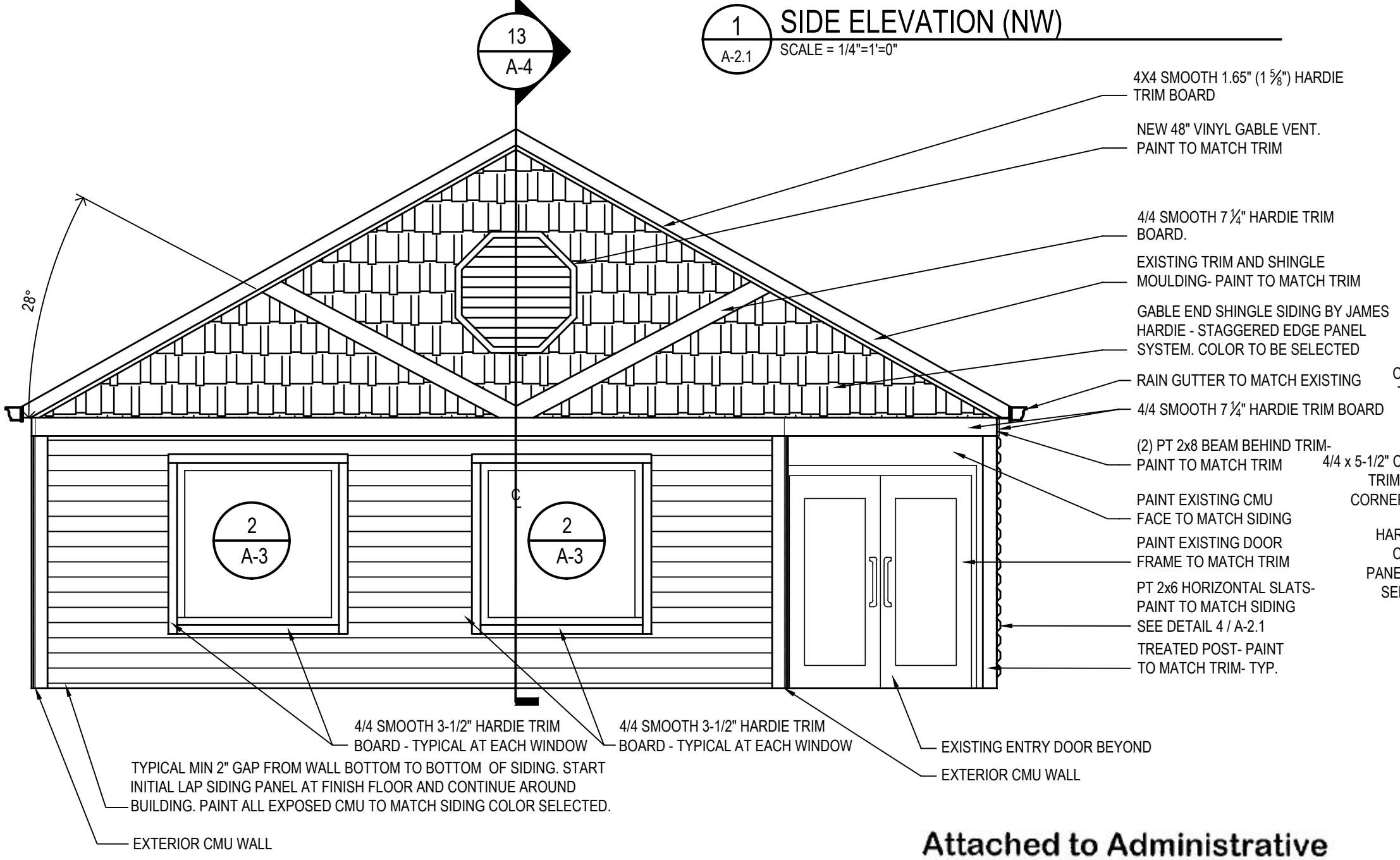
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Date:
01/28/2016

Sheet No.
A-2.1



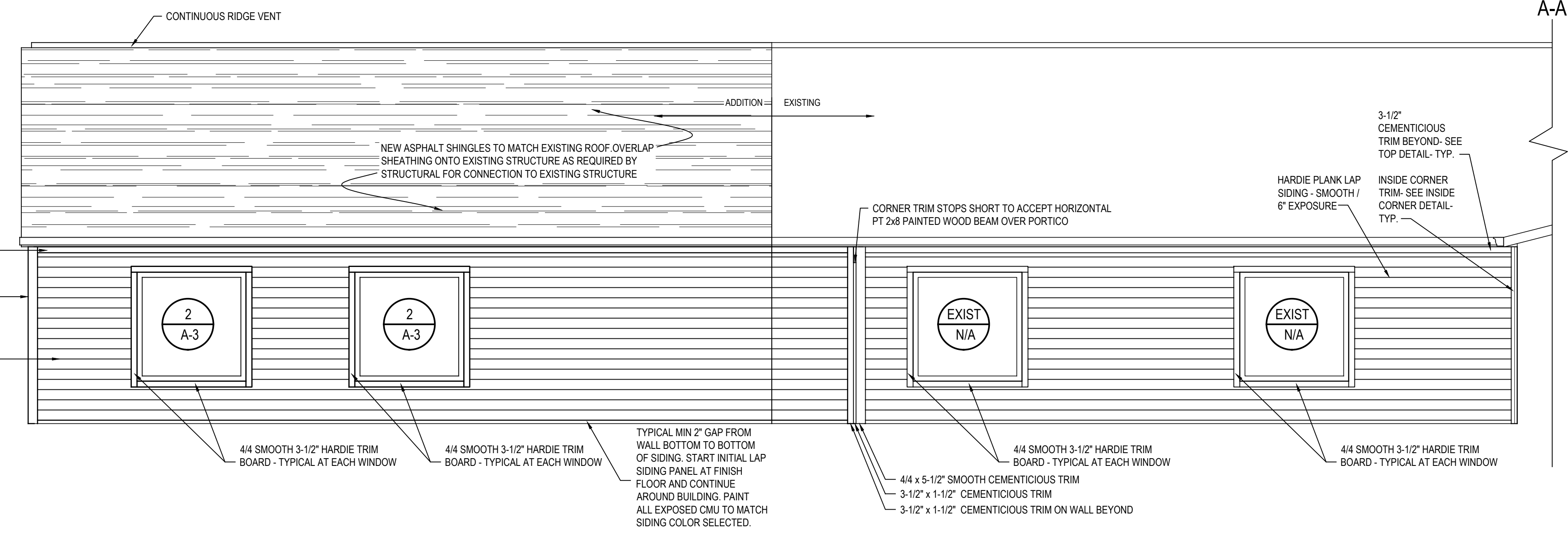
1 SIDE ELEVATION (NW)
SCALE = 1/4"=1'-0"



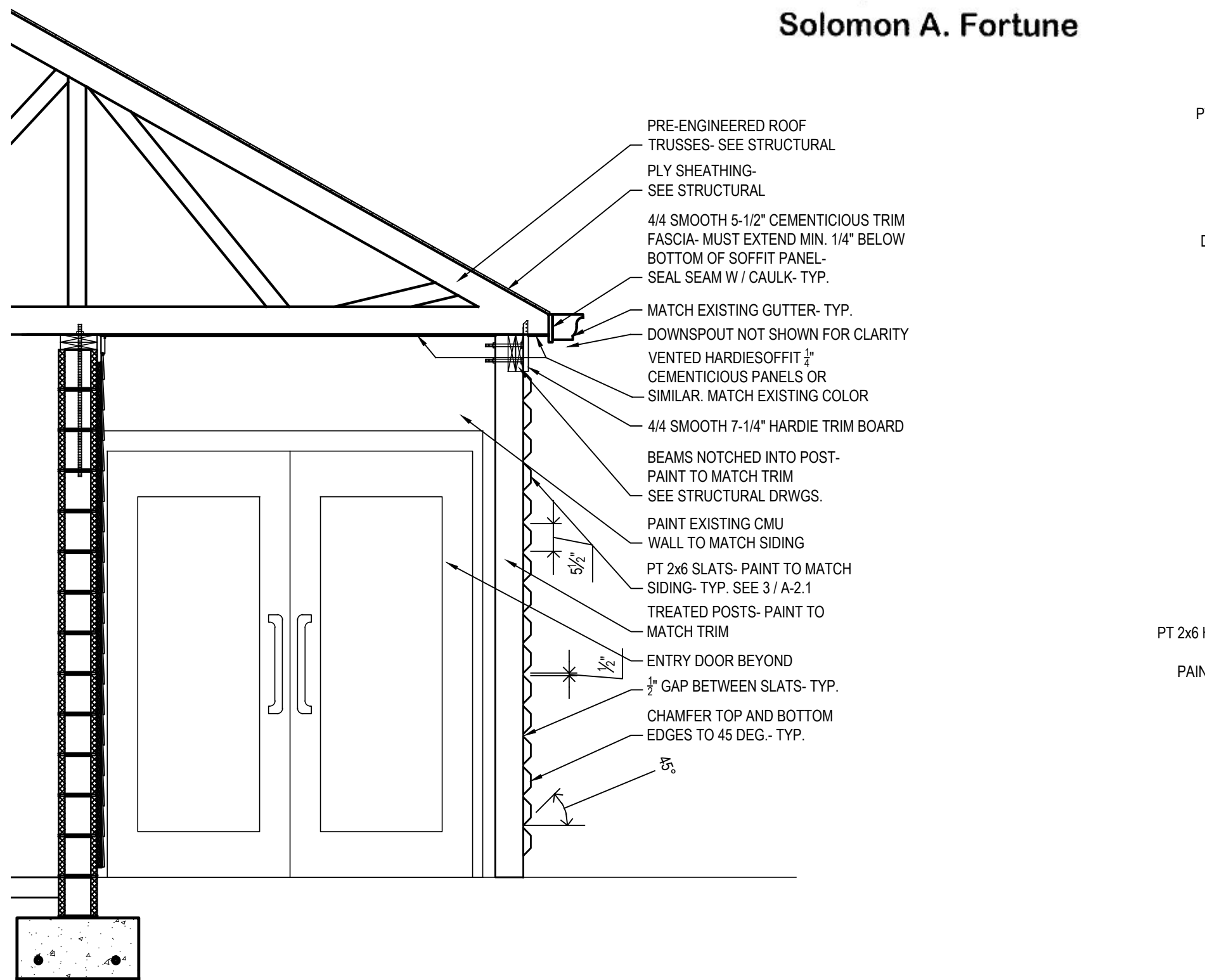
2 FRONT ELEVATION (W)
SCALE = 1/4"=1'-0"

Attached to Administrative Approval

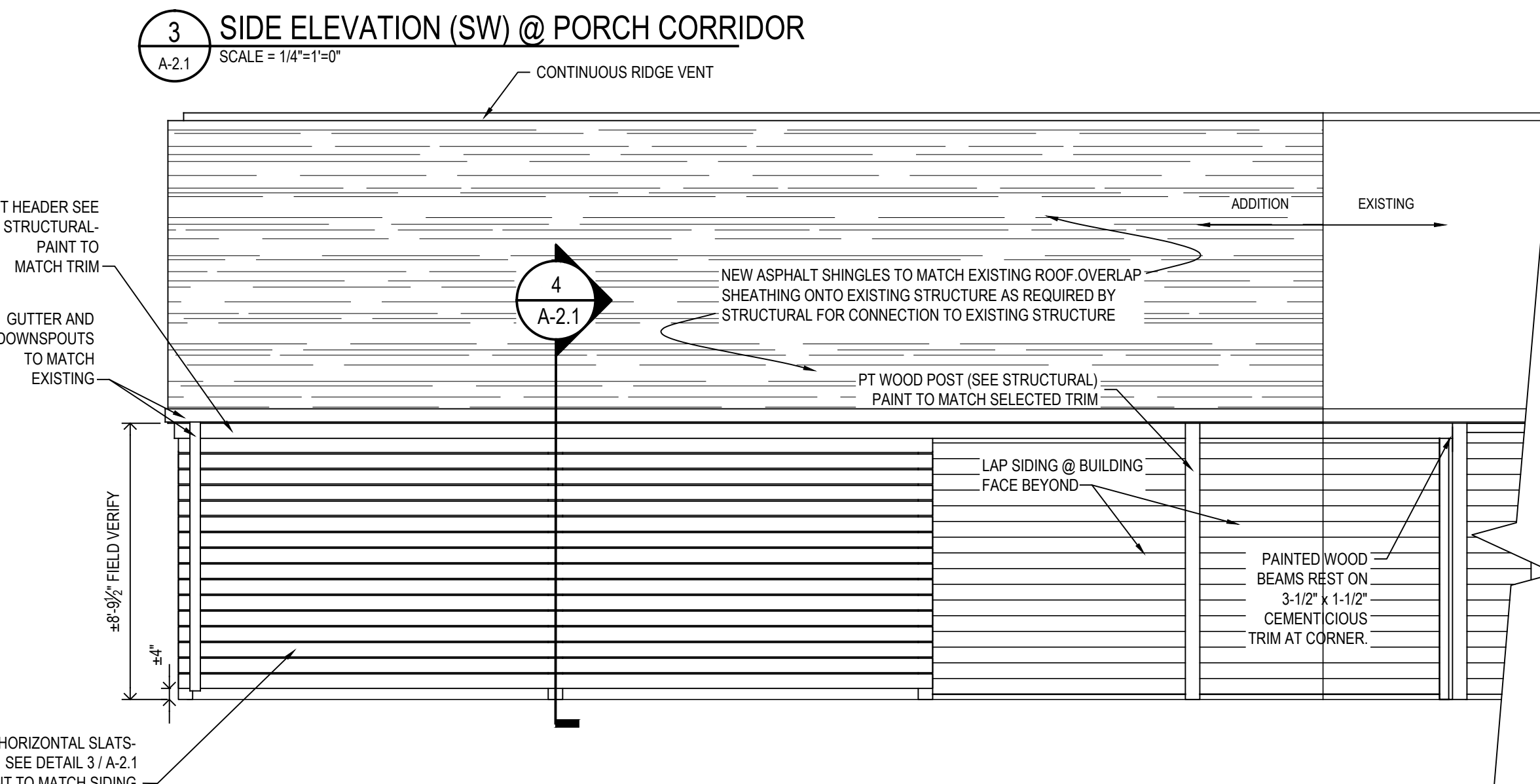
Solomon A. Fortune



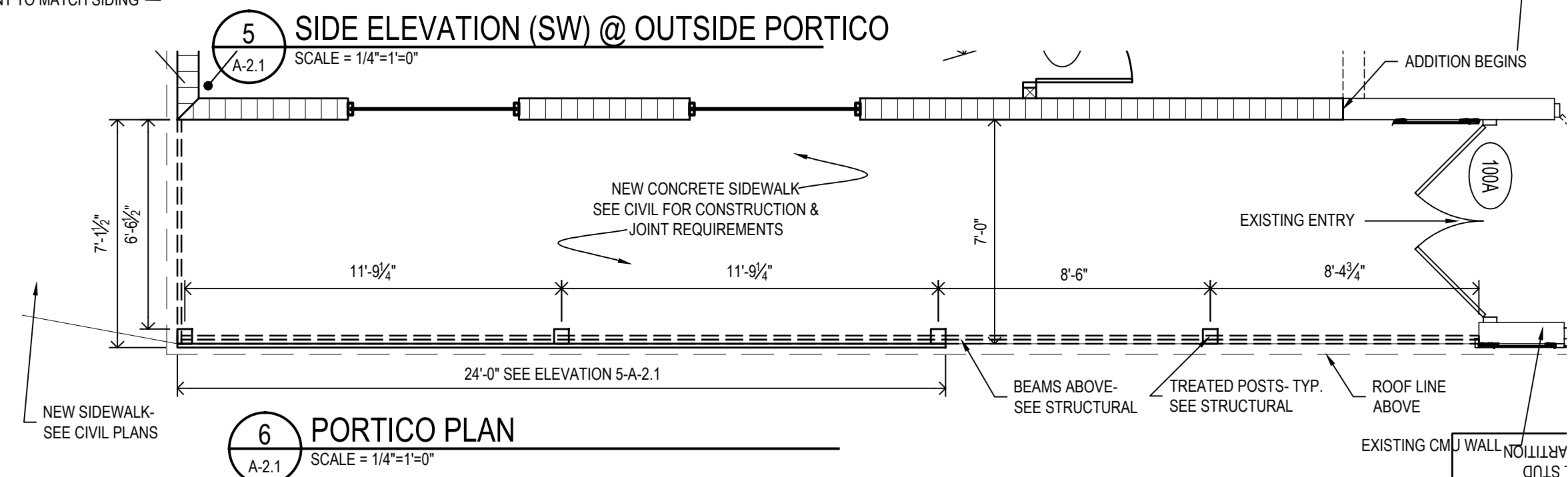
3 SIDE ELEVATION (SW) @ PORCH CORRIDOR
SCALE = 1/4"=1'-0"



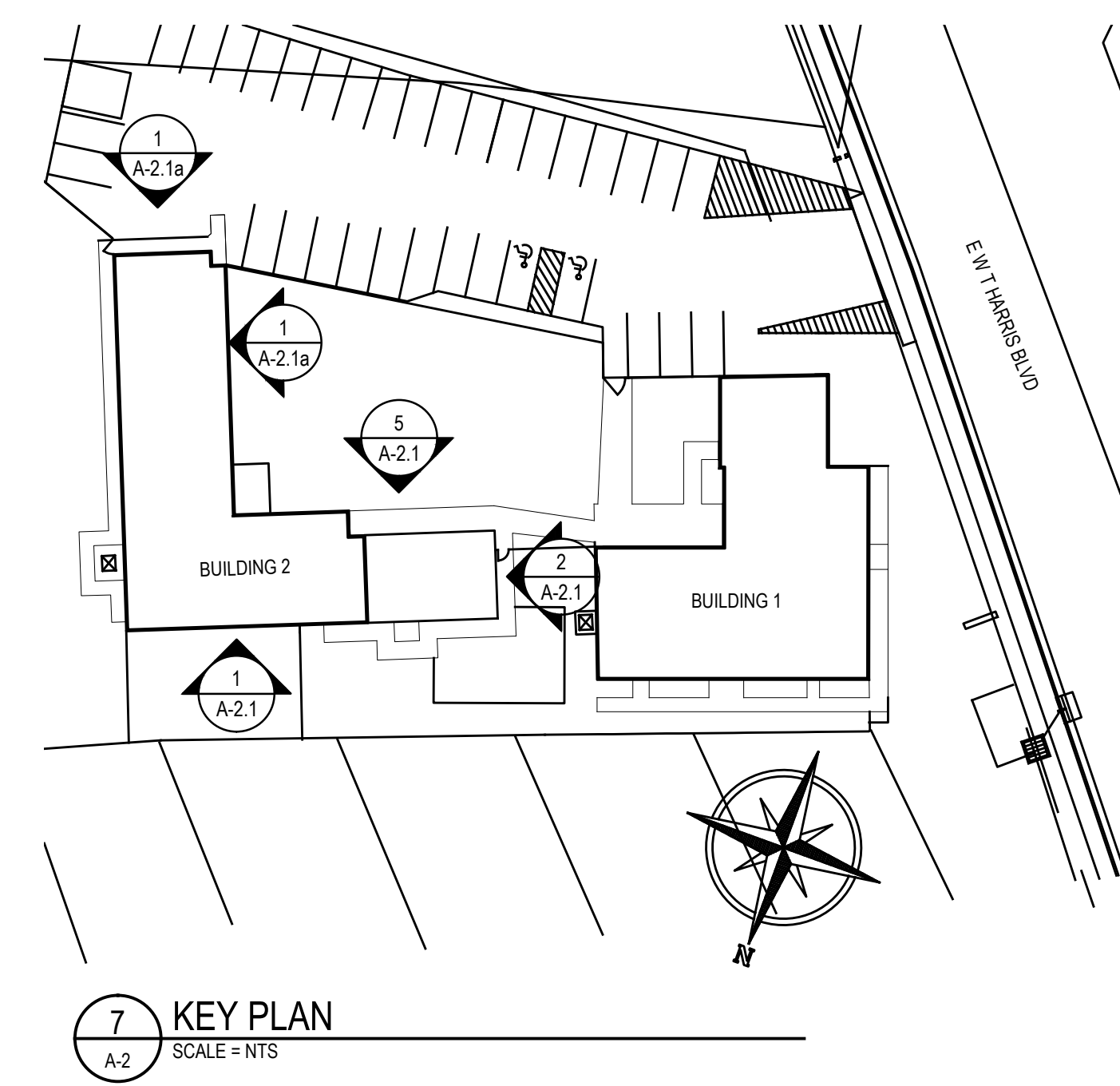
4 SECTION- PORTICO SIDE
SCALE = 1/2"=1'-0"



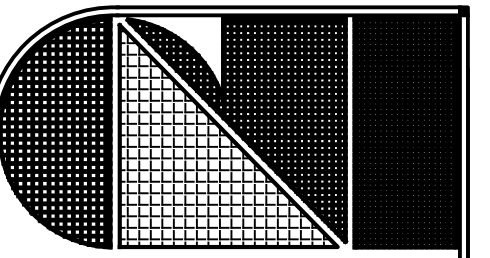
5 SIDE ELEVATION (SW) @ OUTSIDE PORTICO
SCALE = 1/4"=1'-0"



6 PORTICO PLAN
SCALE = 1/4"=1'-0"



7 KEY PLAN
SCALE = NTS



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ARCHITECT'S PROJECT • 15187

Project:
**ADDITIONS TO
SMART KIDS DAYCARE**
6215 E WT HARRIS BLVD
CHARLOTTE, NC 28215

Sheet Description:

**BUILDING 2
ELEVATIONS**

Seal



1-28-16



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Drawn By:
A. FOOR

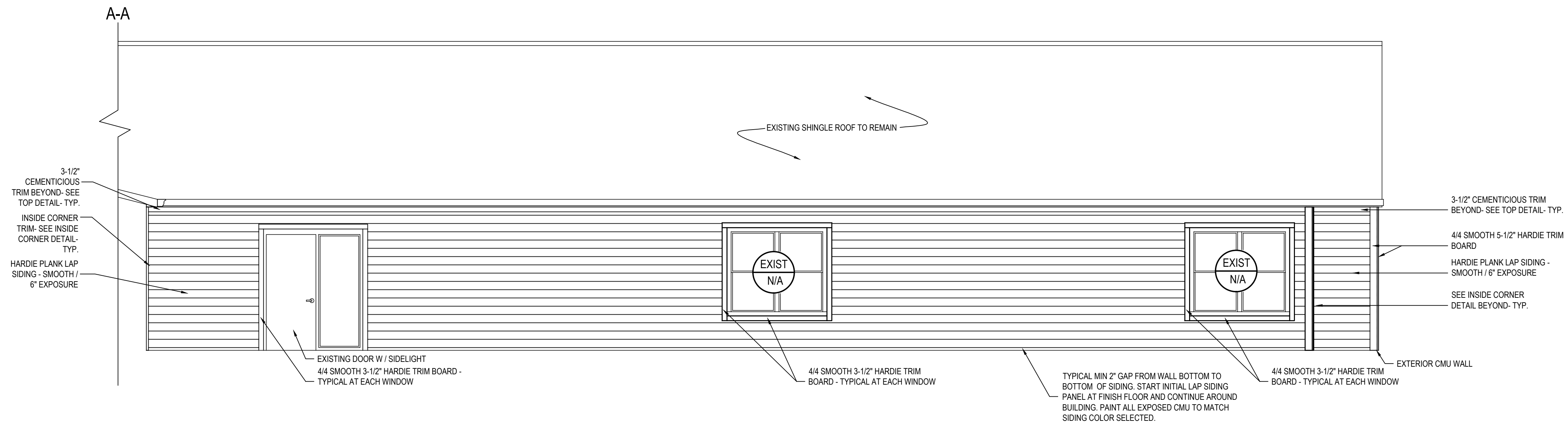
Checked By:
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Revisions:

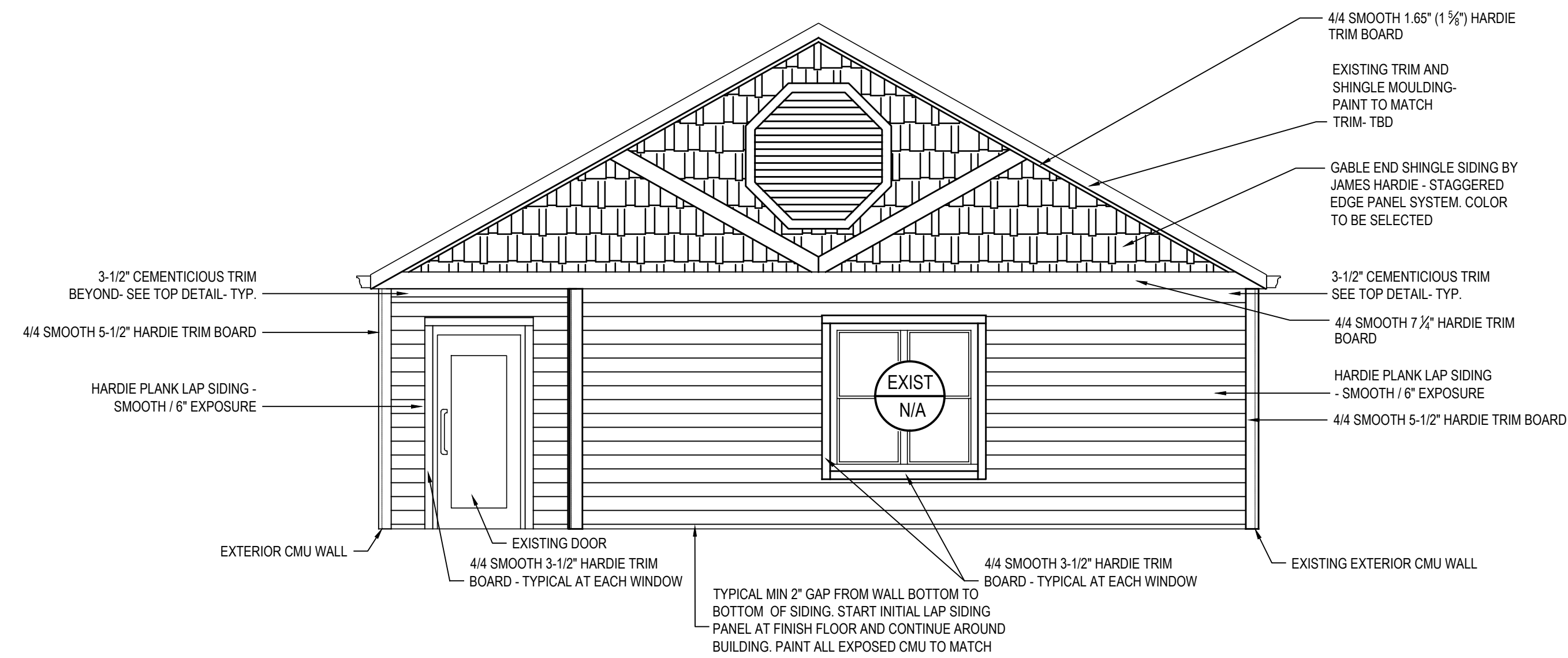
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Date:
01/28/2016

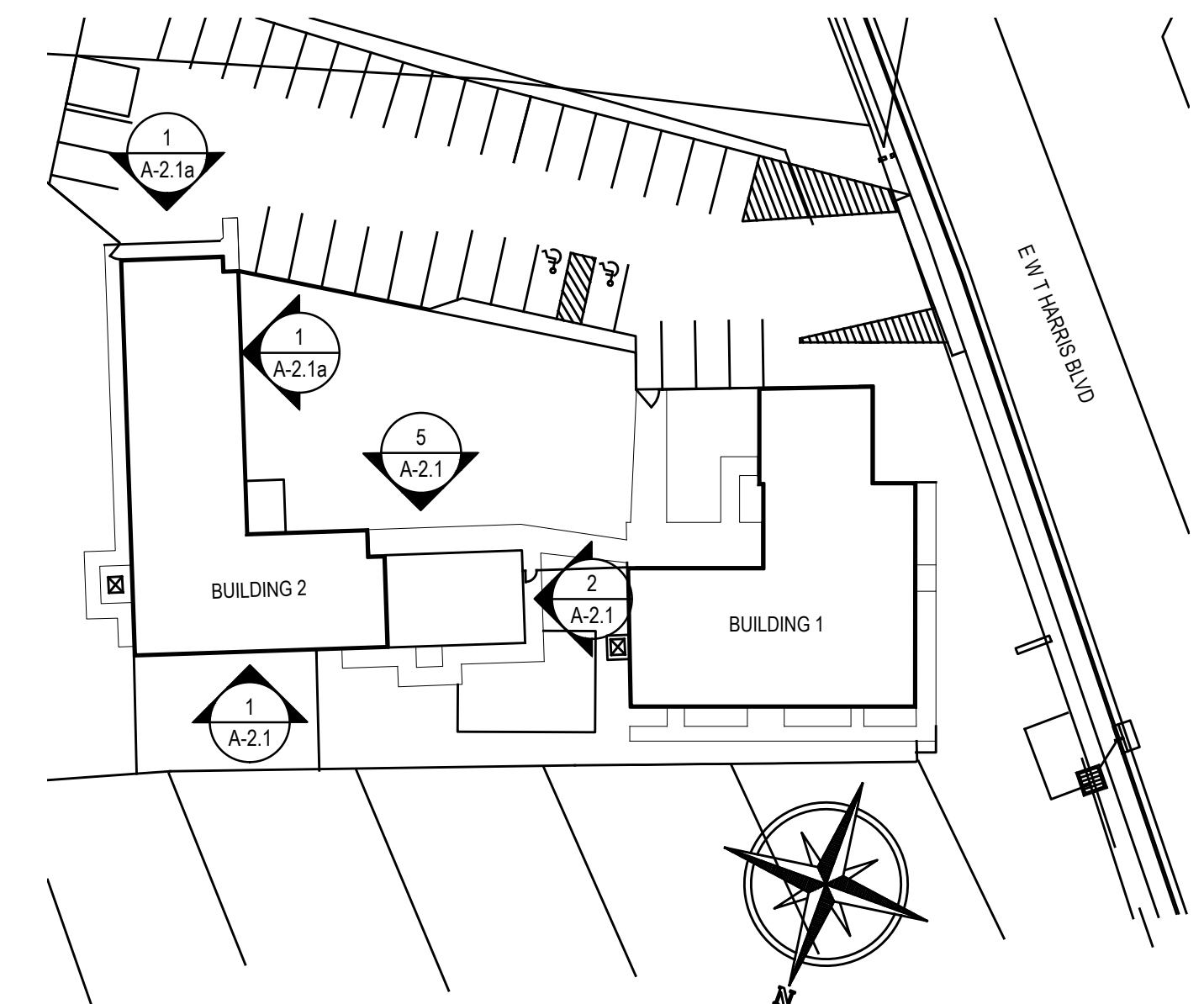
Sheet No.
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1 SIDE ELEVATION (SE)
SCALE = 1/4"=1'-0"



2 ELEVATION
SCALE = 1/4"=1'-0"



7 KEY PLAN
SCALE = NTS