



Charlotte-Mecklenburg Planning Department

DATE: April 1, 2020

TO: Sonja Sanders
Zoning Supervisor

FROM: Taiwo Jaiyeoba
Planning Director

SUBJECT: Administrative Approval for Petition No. 1990-013 Associates Ltd. Partnership

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- Modification, expansion, and new elevations for an existing daycare center.

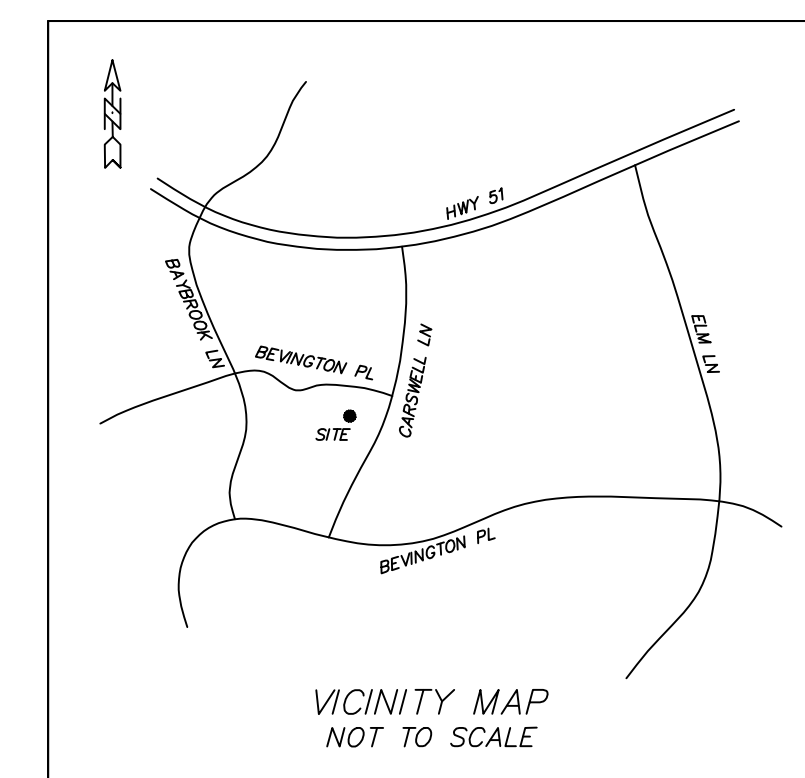
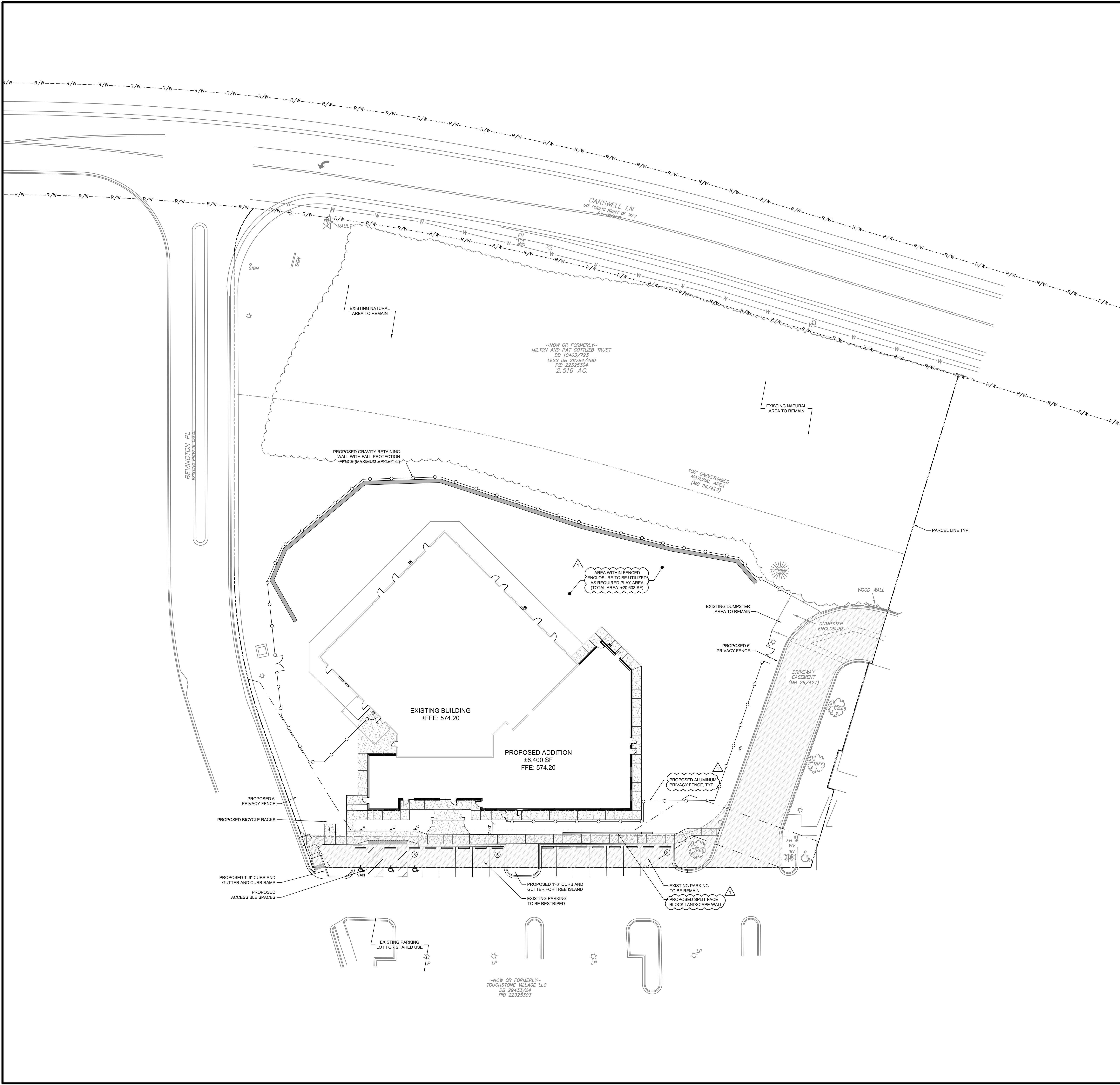
Staff supports of the request because:

- The site plan complies with the conditional notes and still meets the intent of the original approval by the City Council.

Note:

All other Zoning, PCSO, Subdivision, Tree Ordinances and conditional requirements still apply.

Signage was not reviewed as part of this request.



VICINITY MAP N.T.S.

SURVEY DISCLAIMER
 TOPOGRAPHIC SURVEY DATED DECEMBER 18, 2019 PROVIDED BY CAROLINA SURVEYORS, INC. P.O. BOX 267, PINEVILLE, NC 28134-7801.

LEGEND

SYMBOL	DETAIL
[Pattern]	PROPOSED SIDEWALK
[Pattern]	PROPOSED ACCESSIBLE RAMP
[Pattern]	PROPOSED 1'-6" CURB & GUTTER
[Symbol]	PROPOSED ACCESSIBLE SPACE

GENERAL NOTES:

- THIS OUTPARCEL IS PART OF THE TOUCHSTONE VILLAGE CENTER DEVELOPMENT. THIS ADMINISTRATIVE REZONING SITE PLAN IS AN AMENDMENT TO REZONING PETITION NO. 1996-013 APPROVED ON JANUARY 19, 1998.
- ALL LINEWORK SHOWN OUTSIDE OF THIS PROJECT PARCEL LINE WAS DETERMINED BY AERIAL PHOTOGRAPHY AND AVAILABLE GIS INFORMATION.

DEVELOPMENT NOTES:

- DEVELOPMENT OF THE SITE SHALL COMPLY WITH THE CITY OF CHARLOTTE TREE ORDINANCE.
- PROPOSED LANDSCAPE MATERIAL SHALL COMPLY WITH THE CITY OF CHARLOTTE ZONING ORDINANCE AND TREE ORDINANCE REQUIREMENTS REGARDING SIZE AND SPECIES OF PLANT MATERIAL.

ZONING SUMMARY:
 ZONING DESIGNATION: B-1 (CD)
 JURISDICTION: CITY OF CHARLOTTE
 PARCEL NUMBER: 22325304
 PARCEL SIZE: 2.516 ACRES
 PARKING SUMMARY (1 SPACE PER EMPLOYEE PLUS 1 SPACE PER 10 CHILDREN)
 REQUIRED: 55 (50 EMPLOYEES PLUS 50 CHILDREN)
 PROVIDED: 10* (REGULAR) 13 ACCESSIBLE; 3 INC. VAN SPACE; SHARED: 143*
 *REMAINDER OF PARKING PROVIDED VIA AVAILABLE OFF-SITE AGREEMENT WITH TOUCHSTONE VILLAGE PROPERTY (REZONING PETITION 2015-016).
 BICYCLE PARKING SUMMARY
 SHORT TERM: 0
 LONG TERM: 0
 FLOOR AREA RATIO: 0.15
 DAYCARE PLAYGROUND AREA
 REQUIREMENT: AREA = NO. OF CHILDREN * 75 SF / 2 (NC CODE)
 ASSUMED NO. OF CHILDREN: 250
 REQUIRED: 9,375 SF
 AVAILABLE: 20,796 SF

Attached to Administrative Approval
 Solomon A. Fortune

Bloc Design
 2923 S. Tryon Street, Suite 320
 Charlotte, NC 28203
 phone: 704-940-2883
 www.bloc-nc.com

landscape architecture | planning | civil engineering

REVISIONS

NO.	DATE	DESCRIPTION
1	03.20.20	CITY COMMENTS

Stamp/Seal area with circular professional seal.

Disclaimer: Information contained in this document is the property of Bloc Design, PLLC and the project client listed on this document. The reproduction, copying, and other use without written consent is prohibited and may be subject to legal action to the fullest extent possible.

Stamp/Seal area with signature of Solomon A. Fortune and date 3/20/20.

LeafSpring School at McAlpine
 Daycare Addition
 9239 Baybrook Lane
 Charlotte, NC 28277

PLAN NORTH TRUE NORTH
 SCALE: 1" = 20'
 0 10' 20' 40'

DATE: 01/28/20	MPIC: CCB
DRAWN BY: NTV	CHECKED BY: CCB
PROJECT NUMBER: 00729.00	
SCALE: 1" = 20'	
TITLE: ADMINISTRATIVE REZONING MINOR REVIEW PLAN	

SHEET NO: **RZA-100**

CONTRACTOR IS RESPONSIBLE FOR PLACEMENT OF ALL BARRICADES, SIGNAGE, FLAGGERS, SHORING, ETC., TO ENSURE THE SAFETY OF WORKERS AND THE PUBLIC.
 ALL PAVEMENT CUTS SHALL BE REPLACED ACCORDING TO NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND CHARLOTTE WATER.

Attached to Administrative

Approval

Solomon A. Fortune **Solomon A. Fortune**

PRIEST ARCHITECTURE
3329 COMMONWEALTH AVENUE - CHARLOTTE, NC 28205
PHONE: 704-379-8100 FAX: 704-379-9100 MOBILE: 980-533-8600
EMAIL: PRIESTARCHITECT@BELLSOUTH.NET

PRIEST ARCHITECTURE P.L.L.C.
ARCHITECTS
CERT. NO. 51710
NORTH CAROLINA
CHARLOTTE, N.C.

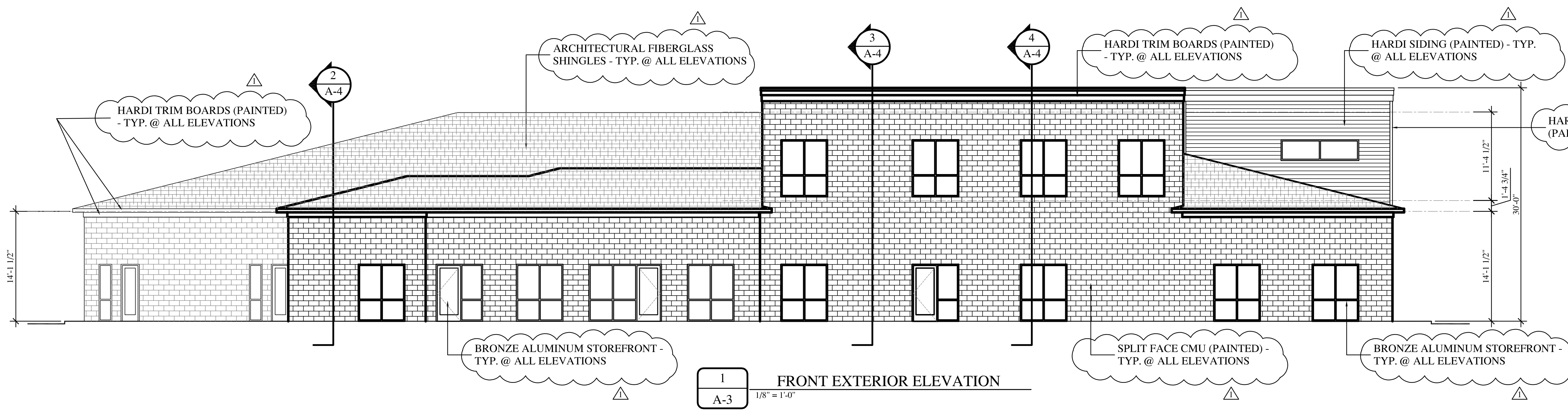
DAVID STARR ARCHITECTS
ARCHITECTS
9542
3/20/20
NORTH CAROLINA
CHARLOTTE, N.C.

REVISIONS	
NO.	DATE
1	3/20/20

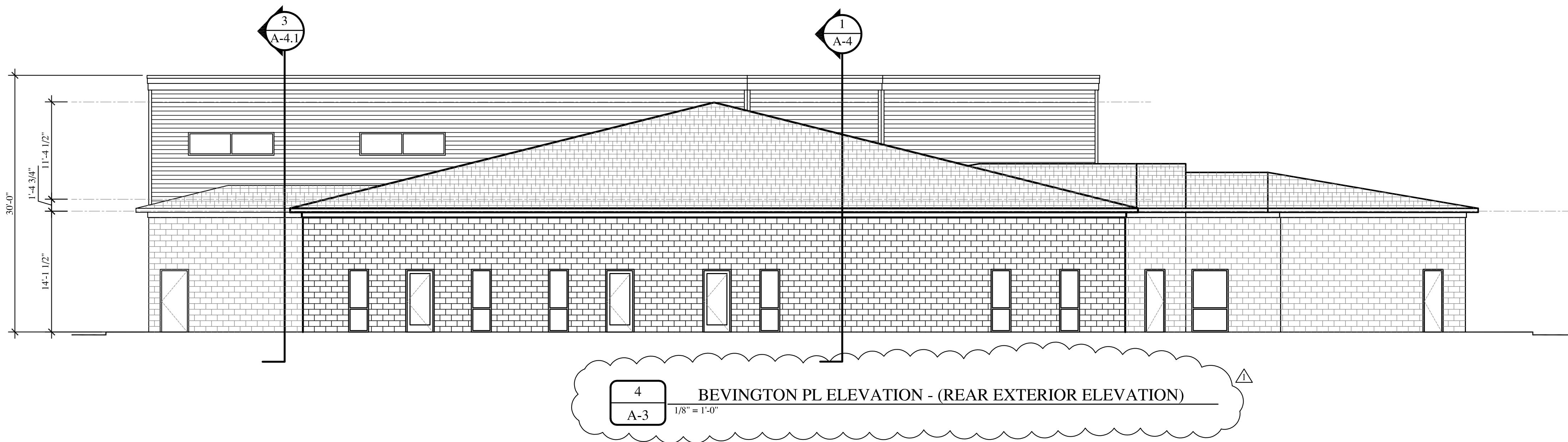
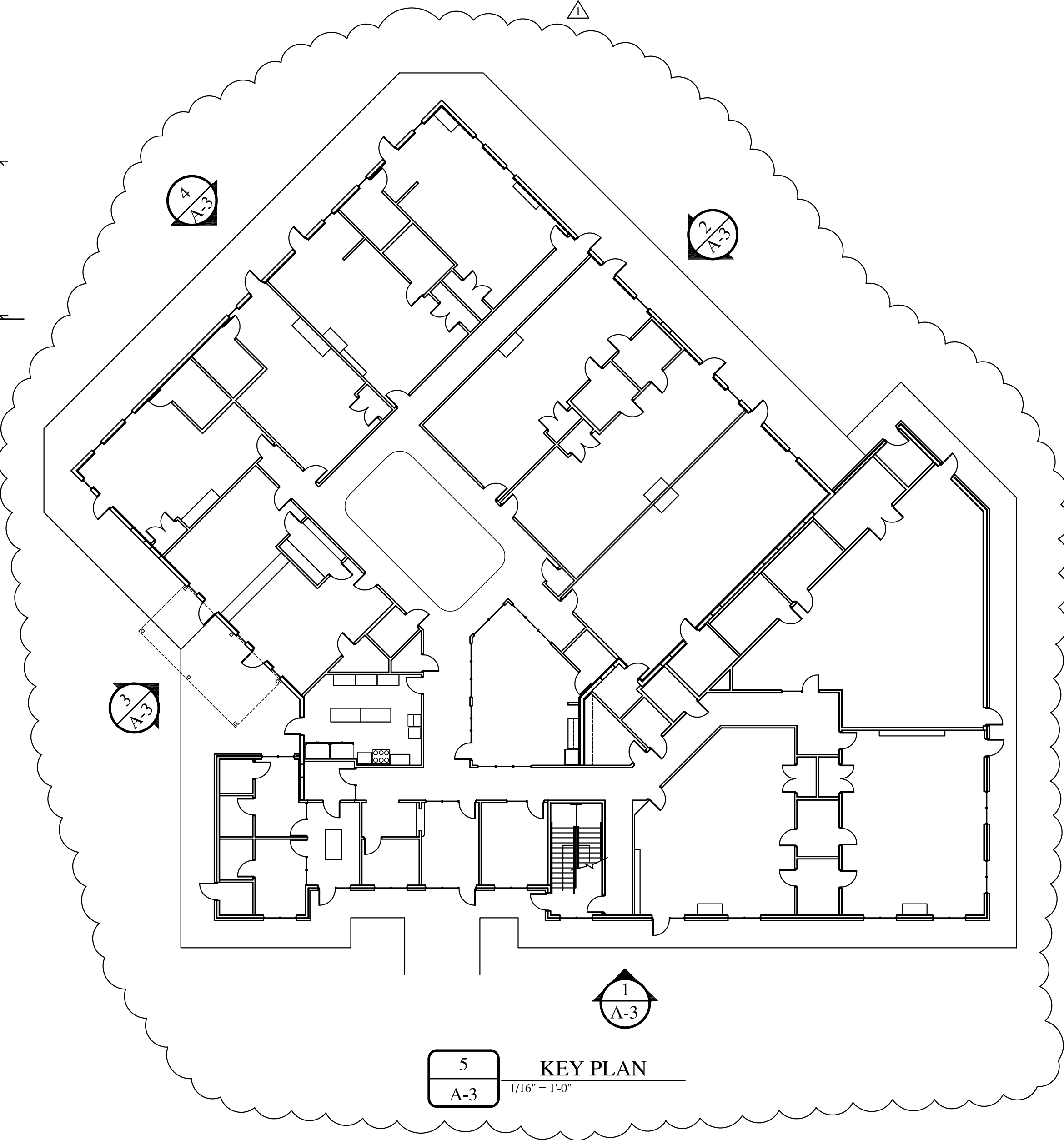
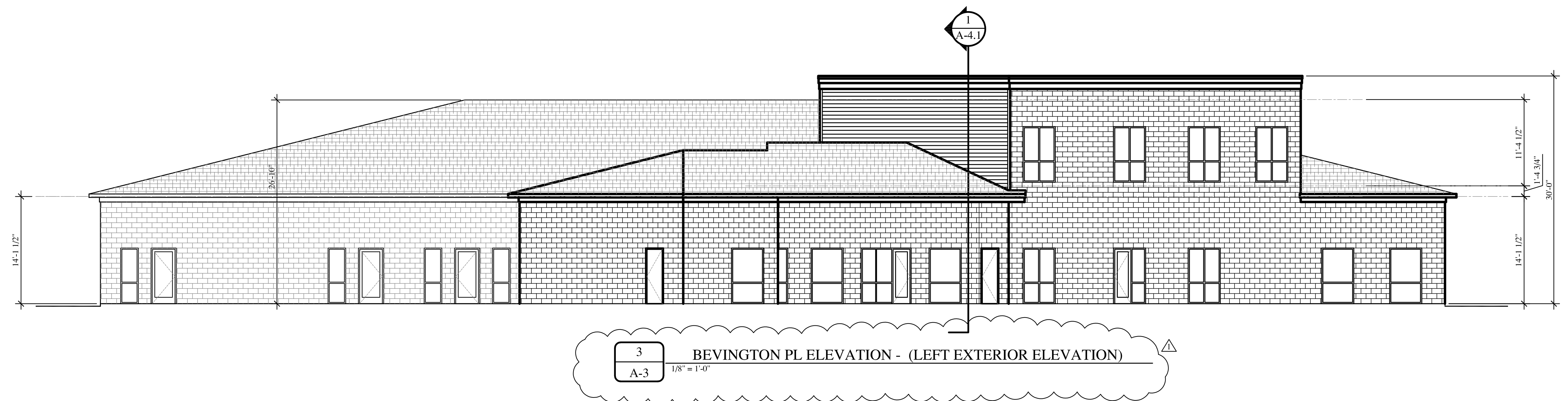
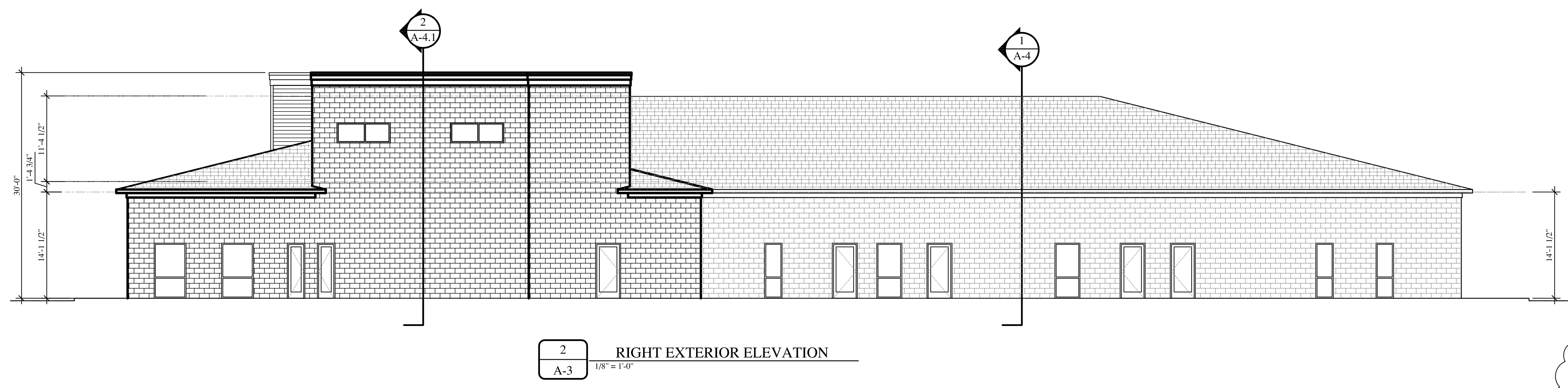
LEAFSPRING MCALPINE
9239 BAYBROOK LANE
CHARLOTTE, NORTH CAROLINA 28277

Project No: 1936
Scale:
Date Drawn: 2/18/20
Sheet Title: EXTERIOR ELEVATIONS

A-3



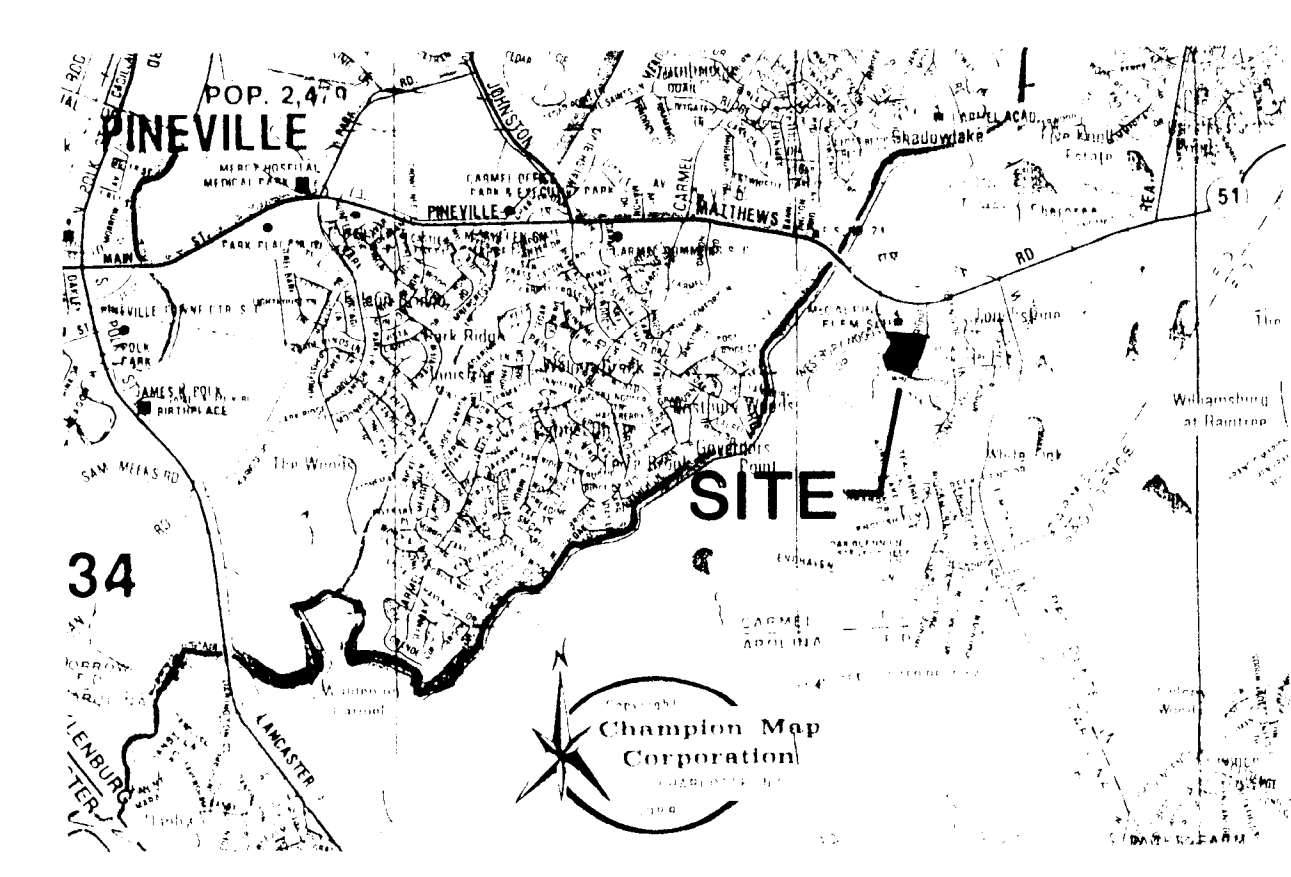
NOTE:
OWNER SELECTED COLORS SHALL BE CONSISTENT ON ALL EXTERIOR ELEVATIONS PER CONDITIONAL ZONING NOTES #3 AND #6.



NOTE: SEE ARCHITECTURAL WALL SECTIONS FOR IDENTIFICATION OF EXTERIOR BUILDING MATERIALS

NOTES:

1. Subsequent permits shall occur in the landscaped setback area to Bay Brook Lane. This planting shall clear underbrush, vines, and other undesirable growth. No trees larger than 4" caliper shall be removed. Woodland clear to be dressed and landscaped with pine needle mulch or other suitable ground cover.
2. Building identification signs including names of no more than 5 characters shall be placed at each public entry to shopping center. In addition, identification signs for primary occupants in the community building shall be provided for on this sign. An area of landscape to be landscaped to be shown in the immediate vicinity of each sign for landscaping to be shown in the vicinity of each sign. Signs indicating entrance to be located at entrance to site. In all other respects, signs to conform with all applicable signage ordinances for a B-1 district. Maximum area of sign shall be that area specified appropriate for a shopping center plus the area specified appropriate for the community building according to section 2188 of the City of Charlotte zoning ordinance.
3. Building form shall include materials, architectural proportions, and detailing commensurate with the residential character of the neighborhood.
4. Land for the community building will be delivered by the owner for public review. The owner, however, shall be responsible for improvements relating to the use of the building, i.e., parking, sidewalks, water and sewer service, etc. New use shall be approved by the owner and submitted to the planning commission for final approval. The use shall be consistent with the zoning ordinance for a B-1 district, except that, in other public community use, architectural style, form, and materials shall be appropriate to the character of the neighborhood.
5. All structures and trees standing within the setback area shall be removed and replaced with new trees, earth retention, planting, or other appropriate retaining devices so as to minimize their visual impact on adjacent properties.
6. If any of the trees will be retained, the owner shall submit a tree retention plan to the Planning Commission.
7. Retention of trees shall be on 10' x 10' minimum, to ensure space for landscaping trees.
8. The community building is not intended by the zoning ordinance to be a permanent structure. It shall be located on a parcel owned by the owner of the site.
9. Signs will provide traffic control, approach and clearly defined setbacks as well as drop-off and pick-up zones.
10. Plans shall be coordinated with Engineering Department.
11. Signs shall be placed on the architectural plans and copies of the improvements will be submitted to the Planning Commission for final approval.
12. Owner to fence around property between subject and the shopping center to be shown.
13. Owner to coordinate with Planning Department for the proposed new use of the site.
14. Owner to coordinate with Planning Department for the proposed new use of the site.
15. Owner will coordinate with the City of Charlotte, removal of "high" canopy trees in buffer along Bay Brook Lane. "Pruning" trees will be as shown on the site plan. The City of Charlotte, however, that requires the site to be cleared to 10' x 10' and all other requirements including with the City of Charlotte, applicable zoning ordinance.
16. Community building details will comply with parking requirements.



VICINITY MAP

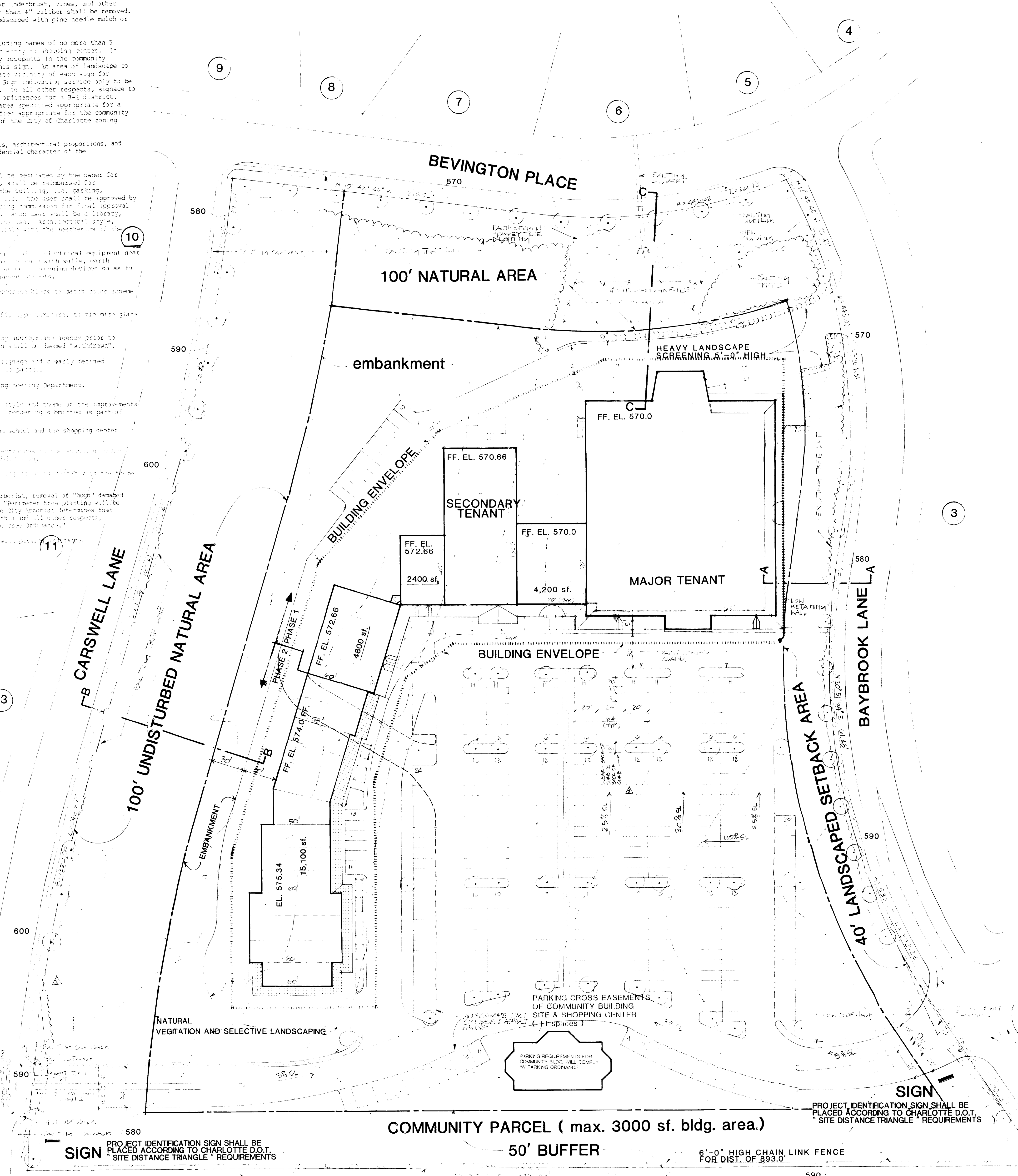
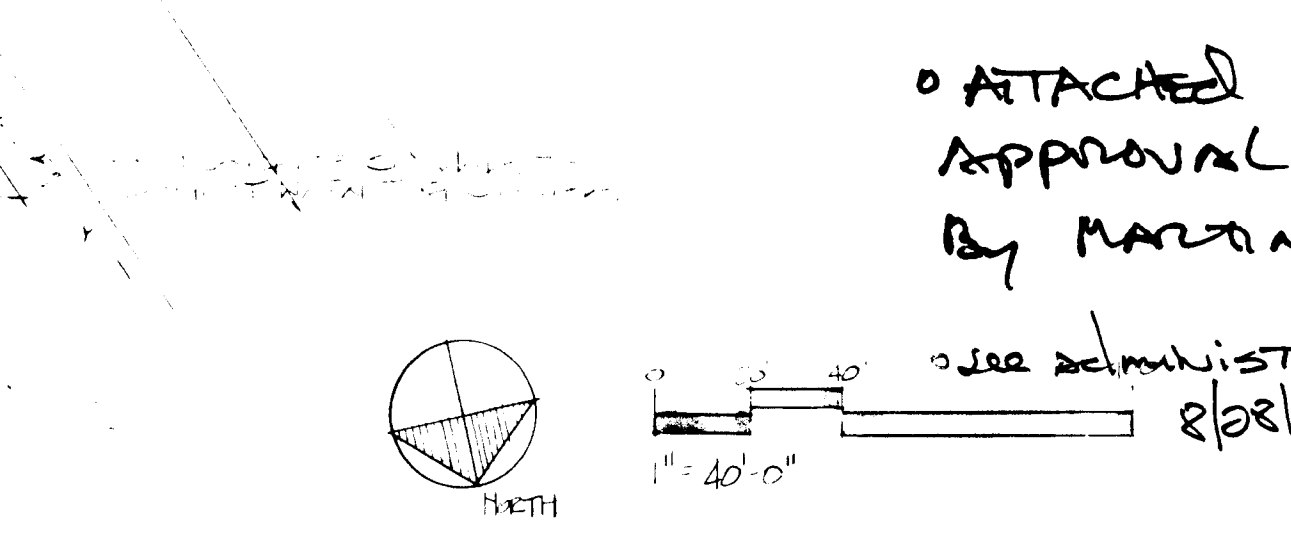
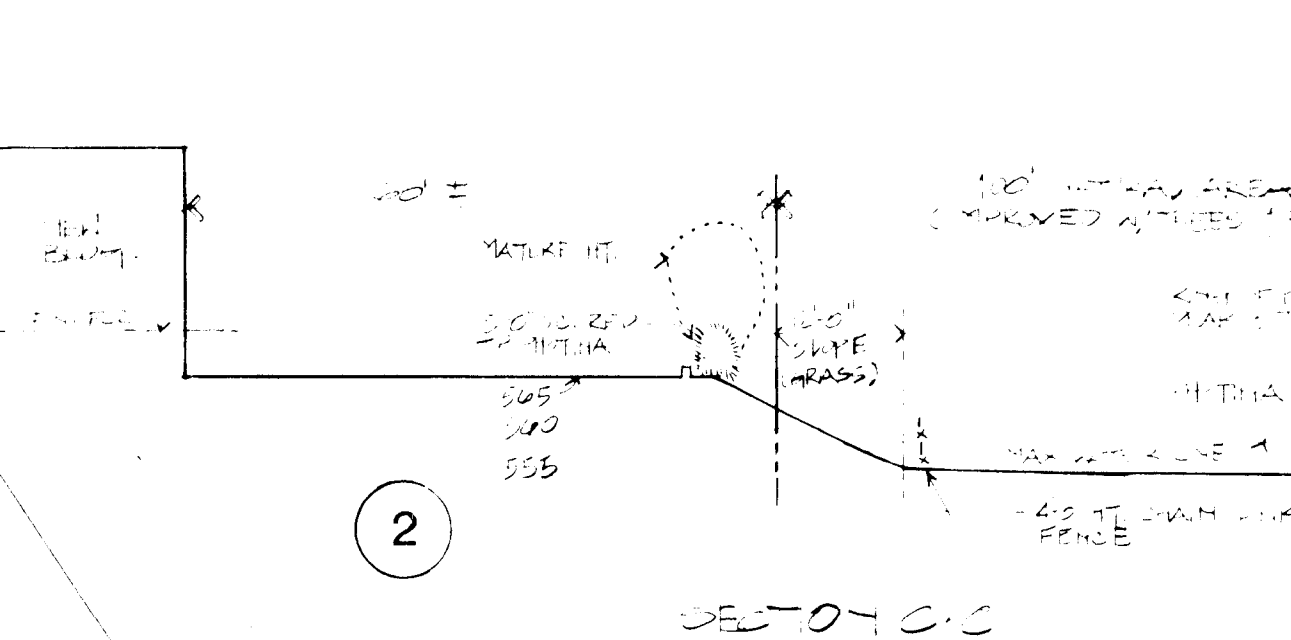
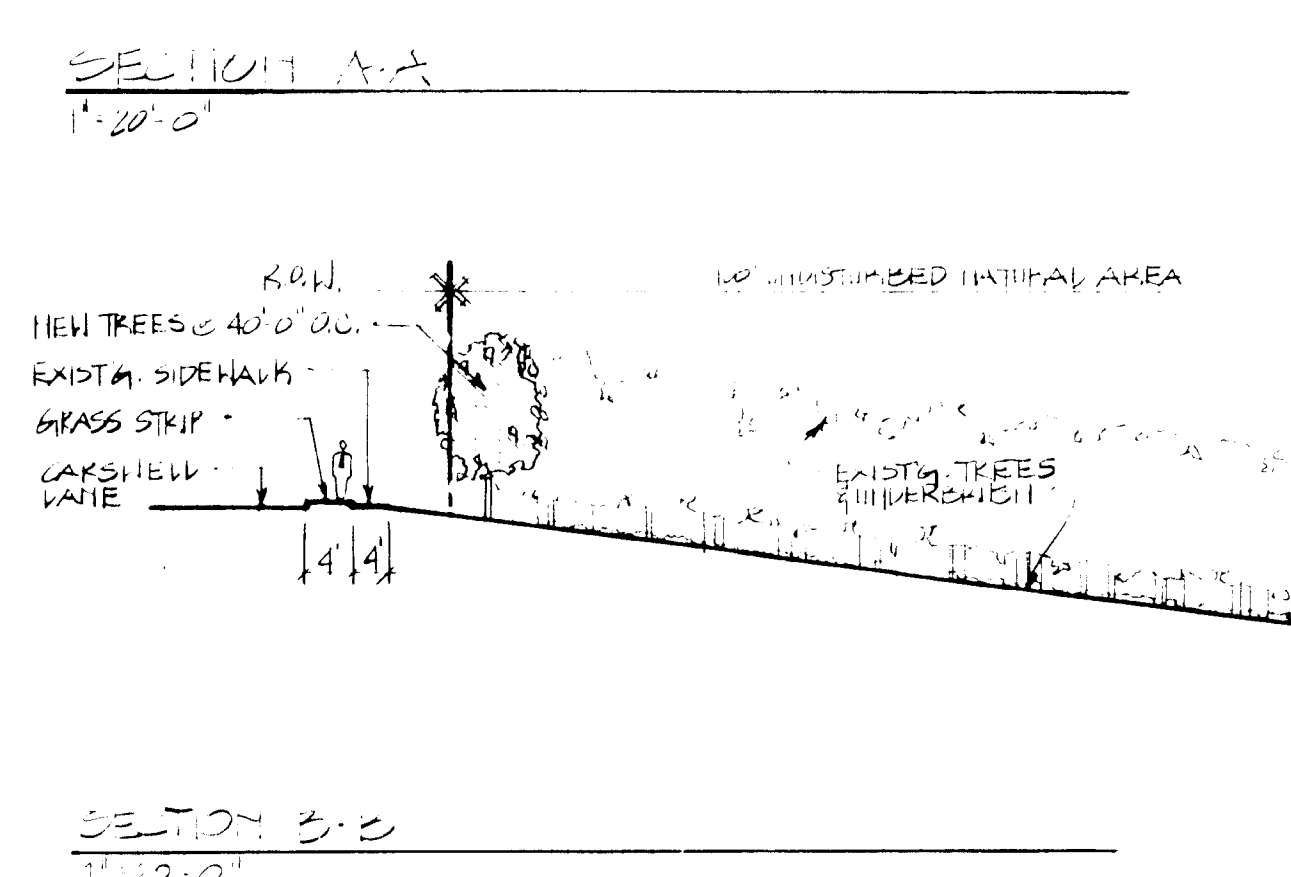
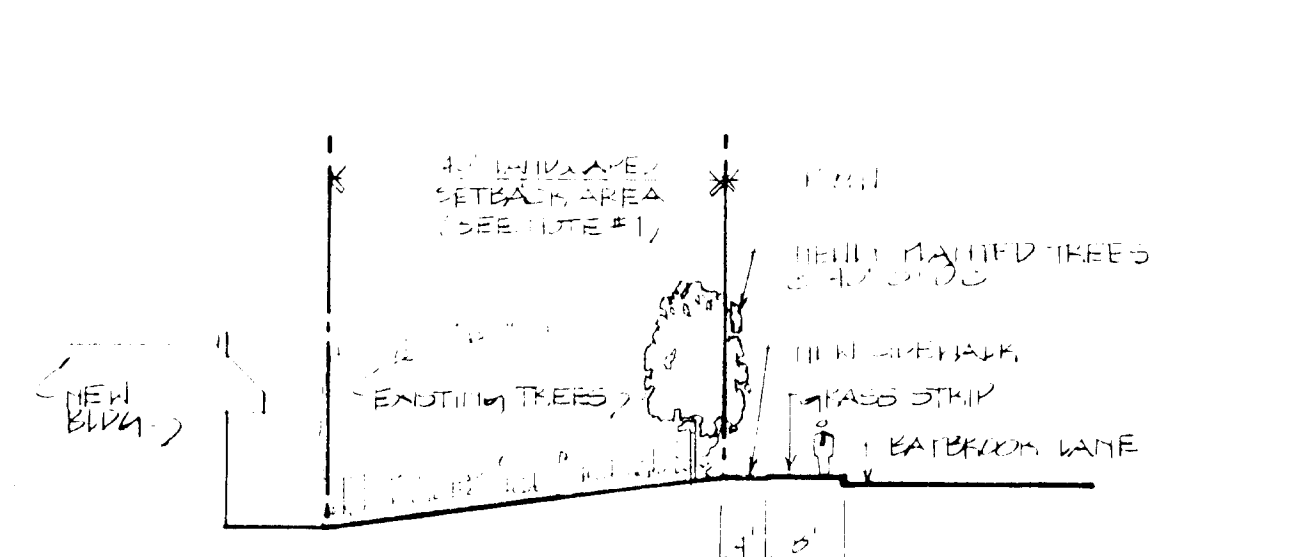
SITE DATA PHASE 1&2
PROBABLE COMPLETION BY 1995

Net Acreage	25.000
Community Parcel	4.200
Landscaped Setback	2.100
Community Building	1.500
Other	7.200
Total	15.000

PHASE 1
PROBABLE COMPLETION BY 1990

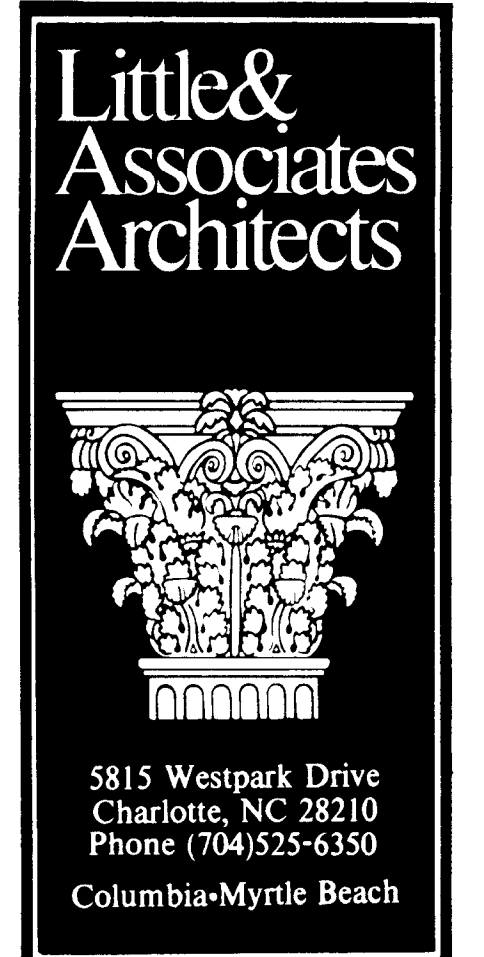
Net Acreage	25.000
Community Parcel	4.200
Landscaped Setback	2.100
Community Building	1.500
Other	7.200
Total	15.000

EXISTING ZONING B1-CO
 TOTAL ACERAGE 12.80 ±
 AREA OF NATURAL AREAS & SETBACKS 5.50 AC.
 AREA OF COMMUNITY PARCEL .358 AC.
 AREA OF RETAIL SITE 6.95 AC.



1 THESE SYMBOLS OF PRESENT ADJACENT PROPERTY OWNERS ARE CODED TO THE TAX MAP

ATTACHED to Administrative Approval DATED 2/3/90
 By MARTIN R. CRANTON, JR./W-
 See Administrative Approval DATED 8/21/90 FOR REVISED PLAN.



5815 Westpark Drive
 Charlotte, NC 28210
 Phone (704) 575-6350
 Columbia-Myrtle Beach

Project TOUCHSTONE VILLAGE CENTER
 FOR: CROSLAND GROUP

Sheet Title
 REZONING PLAN

Partner In Charge
 Project Architect/Job Captain
 Drawn By
 Date Drawn
 Date
 Date
 Date

Project Number
 2094-X4
 SF-1

CHARLOTTE-MECKLENBURG PLANNING COMMISSION
 INTER-OFFICE COMMUNICATION

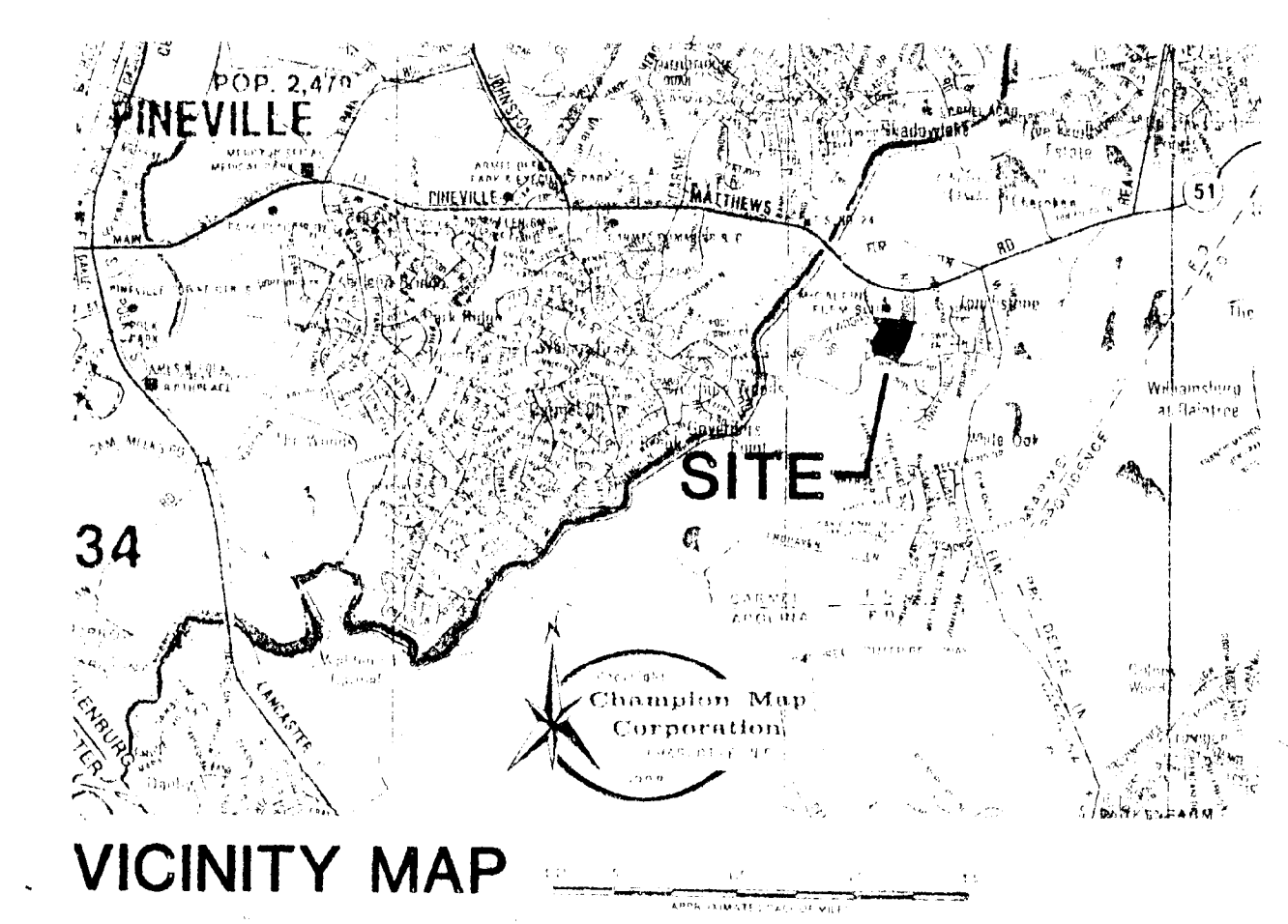
DATE: April 3, 1990
 TO: Robert Brandon, Zoning Administrator
 FROM: Martin R. Cranton, Jr., Planning Director
 SUBJECT: Administrative Approval for Petition #90-13 Tax Parcel #223-025-02

Attached is a revised plan for the above mentioned rezoning petition. The petition has been revised to eliminate eight proposed trees along Carswell Lane. These trees are not needed due to the large number of existing trees along portions of Carswell Lane. If these trees were planted existing trees would have to be removed. Since this change is minor in nature I am administratively approving this plan. Please use this plan when evaluating requests for building permits.

MRC/NMK:sls
 Attachment

NOTES:

1. Select the primary only to be on the landscaped setback area to the back fence. This primary shall cover underground, pipes, and other subsurface utilities. No trees larger than 4" diameter shall be removed. Worked trees to be preserved and landscaped with pine needle mulch or other suitable ground cover.
2. Building identification signs including names of no more than 3 letters to be located on the building front or side. In addition, identification for primary occupants in the community building shall be provided for an identification sign. An area of landscape to be left open of trees of the same size density of each sign the sign shall not exceed 1,000 sq. ft. Signs indicating service only to be located in service entrance to sign. In all other cases, signs to conform with the appearance of the building. Maximum area of sign shall be that area specified on the site plan. Signs shall be placed on the building facade for the community building and signs shall be placed on the side of the building facade.
3. Building front shall be landscaped with shrubs, perennials, and annuals. Landscaping shall be installed in the residential character of the neighborhood.
4. Land for the community building will be dedicated by the owner for public purposes. The owner, however, shall be permitted to improve the land for the use of the building, such as parking, sidewalks, water and sewer service, etc. The use shall be approved by the board and subject to the planning commission for final approval prior to construction of facilities. Such use shall be a library, public office, or other public community use. Architectural style, color, and materials shall be compatible with the character of the neighborhood.
5. All dumpsters and freestanding mechanical equipment buffers or landscaped areas shall be located with walls, earth retention, planting, or other approved measures to minimize their visual impact on the neighborhood.
6. Trees of buildings will be planted in a row to screen the building from the street.
7. Parking lot landscaping shall be in 10' x 10' grids to minimize glare to surrounding areas.
8. If community signs are approved by appropriate agency prior to the start of construction, signs shall be placed on the building facade. **PARCEL SHALL BE RE-ZONED TO B-1 USE.**
9. Owner will provide traffic control signage and clearly defined pedestrian walks at these entrances to parcel.
10. The parcel to be coordinated with Engineering Department.
11. Notation that the architectural style and theme of the improvements will be consistent with the architectural character of the area.
12. Owner to fence school property between school and the shopping center as shown.
13. All trees to be preserved shall be marked with a 4" diameter tree tag.
14. Owner will coordinate with the city arboretist, removal of "tag" tagged trees in buffer along Baybrook Road. Because tree planting will be in some extent in the future, the city arboretist's direction shall be followed in all other respects, including but not limited to applicable tree ordinances.
15. Community parking will comply with parking requirements.



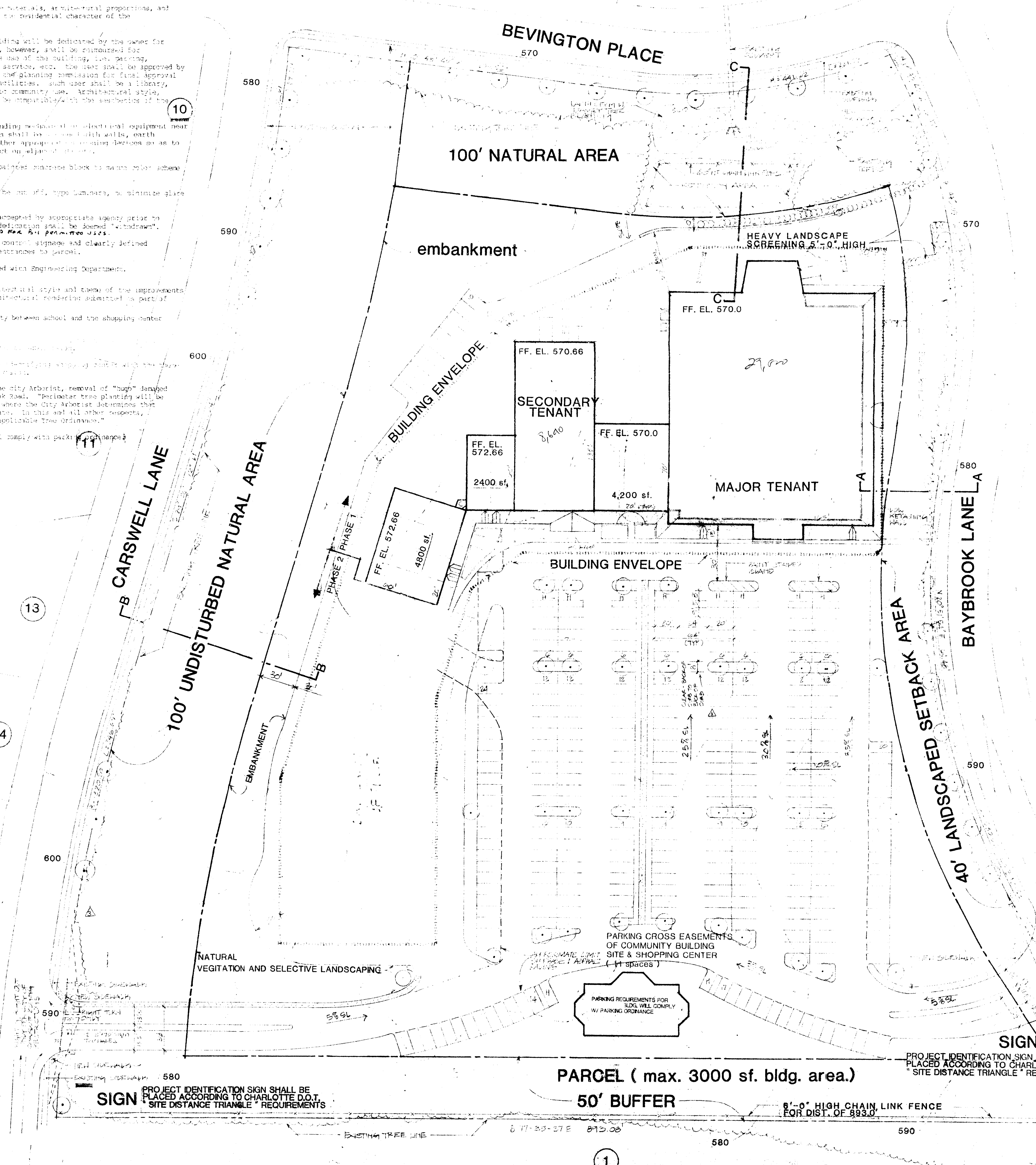
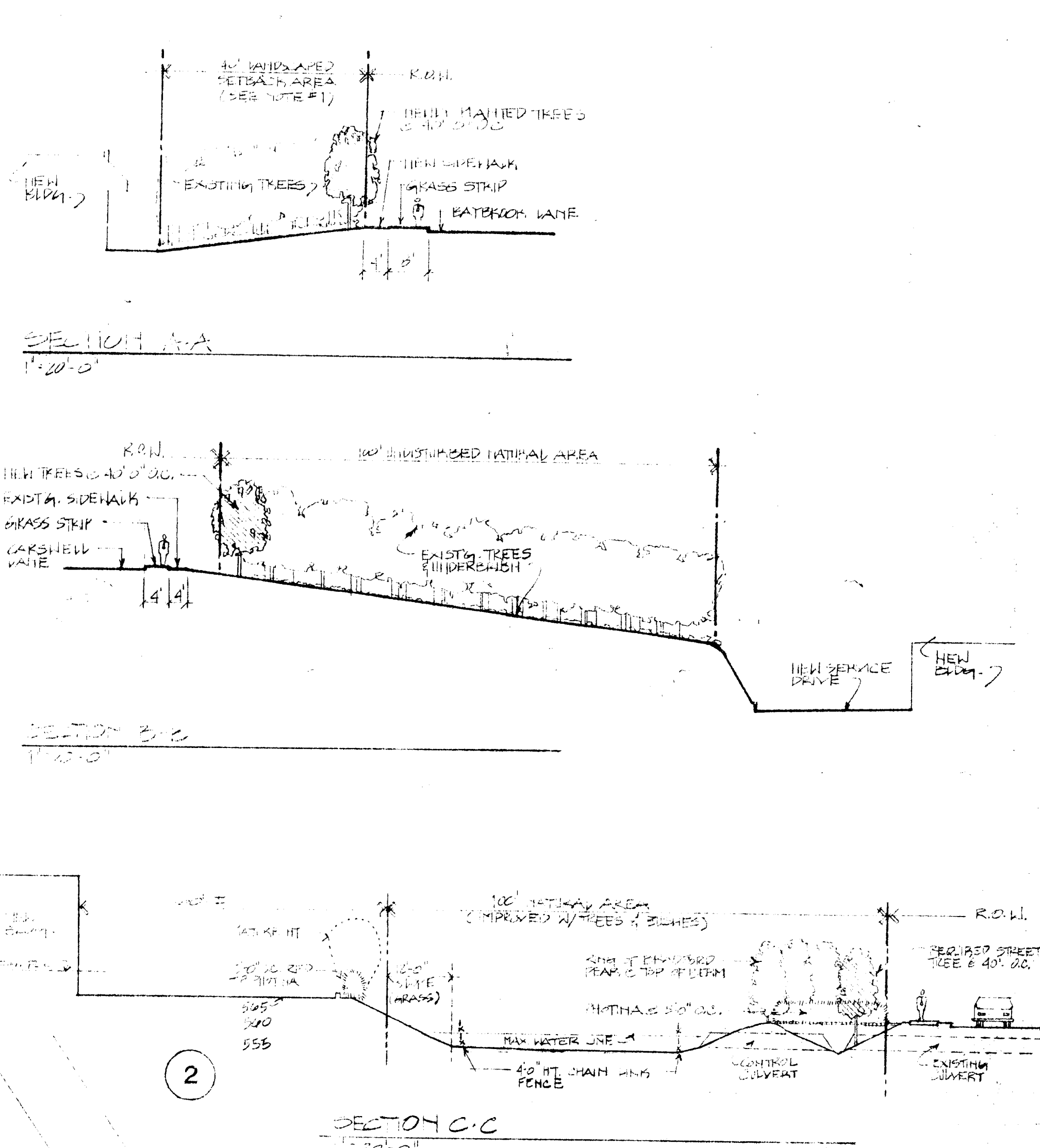
SITE DATA PHASE 1&2
PROBABLE COMPLETION BY 1995

Wood Volume	42,000
Shrubbery Volume	4,000
Planting Volume	2,000
Planting Volume	24,000 + 18 (Gross)
Planting Volume	24,000 + 18 (Net)
Planting Volume	51,112 + 200 = 257

PHASE 1
PROBABLE COMPLETION BY 1990

Major Tenant	25,000
Secondary Tenant	9,400
Food Store	11,100
Other	37,200 + 90 (Gross)
Other	39,232 (Net)
Other	39,232 + 200 = 197

EXISTING ZONING B1-CD
TOTAL ACERAGE 12.80 ±
AREA OF NATURAL AREAS & SETBACKS 5.50 AC.
AREA OF COMMUNITY PARCEL .358 AC.
AREA OF RETAIL SITE 6.95 AC.



- 12
- 13
- 14
- 15
- 16
- 17

PARCEL (max. 3000 sf. bldg. area.)
50' BUFFER
8'-0" HIGH CHAIN LINK FENCE FOR DIST. OF 893.0'
THESE SYMBOLS OF PRESENT ADJACENT PROPERTY OWNERS ARE CODED TO THE TAX MAP

ATTACHED TO ADMINISTRATIVE APPROVAL
DATED: 6/11/96
BY: MARTIN R. CRANTON, JR.

Little & Associates Architects
5815 Westpark Drive
Charlotte, NC 28210
Phone (704) 525-6350
Columbia-Myrtle Beach

TOUCHSTONE VILLAGE CENTER
FOR
REZONING PLAN

Partner in Charge
Project Architect/Job Captain
Drawn By
Date Drawn
Revisions
No. 1 Date 1-22-95
No. 2 Date 2-21-95
No. 3 Date 3-23-95
No. 4 Date 5-10-96
Issue Date

Project Number
2094-X4
Sheet
SP-1

CHARLOTTE-MECKLENBURG PLANNING COMMISSION
INTER-OFFICE COMMUNICATION

DATE: June 11, 1996
TO: Robert Brandon, Zoning Administrator
FROM: Martin R. Cranton, Jr., Planning Director

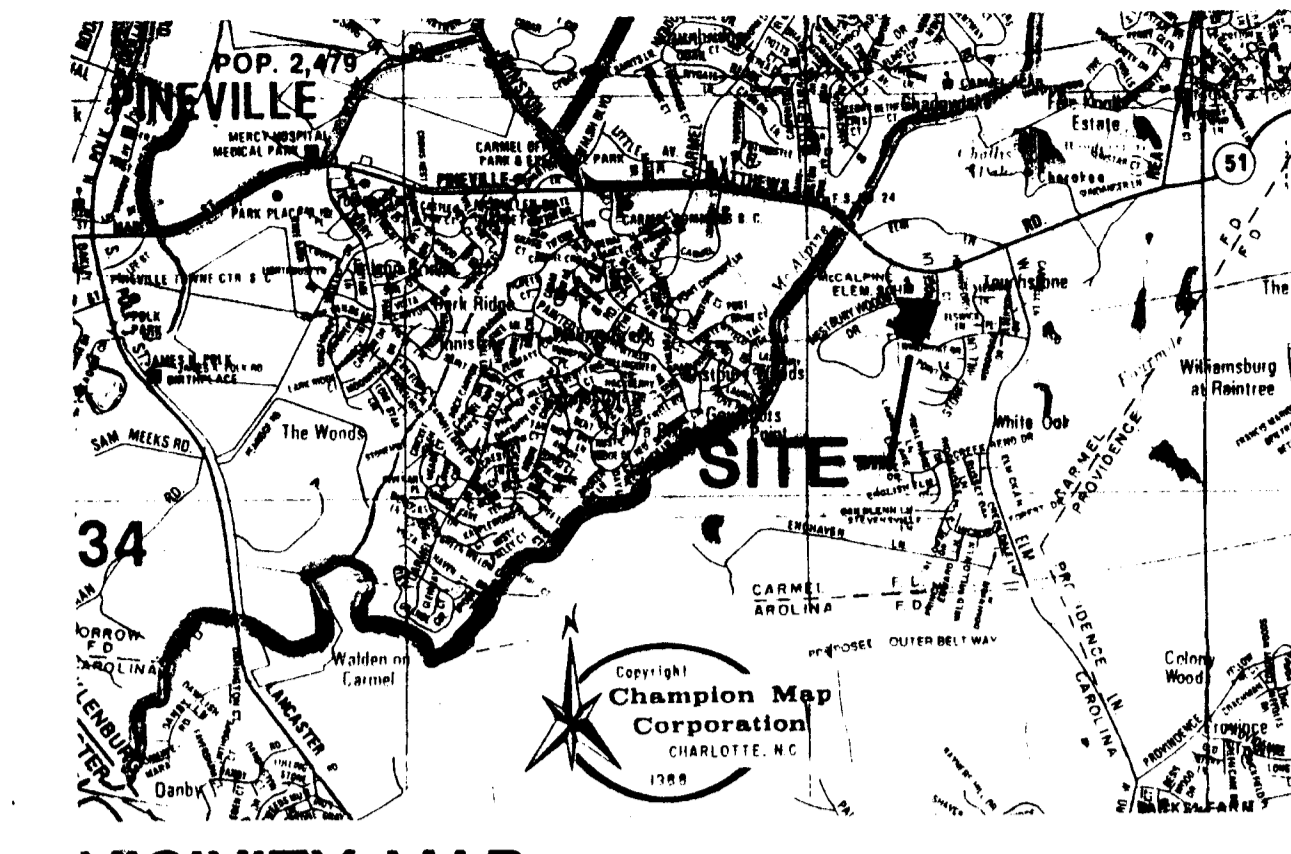
SUBJECT: Administrative Approval for Petition No. 90-13 by Touchstone Assoc. Ltd. Partnership Tax Parcel # 223-025-02

Attached is a revised plan for the above mentioned rezoning petition. The plan has been revised to eliminate the commitment to a 3,000sqft. Community Parcel. The originally approved plan had committed to making this parcel available upon request by a community organization. The plan had also stated that any such request would need to occur prior to January 3rd 1994 otherwise the offer of dedication would be withdrawn. Since this date has passed and no request has been made by any community organization the owner has requested that we administratively approve a revised plan that eliminates the commitment to the community parcel and allows the community parcel building to be used for any use allowed by the approved conditional plan and the B-1 zoning classification. The square footage of any building built on this parcel will be limited to 3,000sqft. and subject to all other conditions of the approved conditional plan.

Since this change is minor and the total square footage for the center has not been exceeded and the commitment to dedicate the community parcel has elapsed we are administratively approving this revised plan. Please use this revised plan when evaluating request for building permits and certificates of occupancy.

NOTES:

- Selective pruning only to occur in the landscaped setback area on Bay Brook Lane. This pruning shall clear underbrush, vines, and other undesirable growth. No trees larger than 4" caliper shall be removed. Wooded floor to be dressed and landscaped with pine needle mulch or other suitable ground cover.
- Building identification sign including names of no more than 5 tenants to be located at each public entry to shopping center. In addition, identification for primary occupants in the community building shall be provided for on this sign. An area of landscape to be left void of trees in the immediate vicinity of each sign for visibility not to exceed 1,500 SF. Sign indicating service only to be located at service entrance to site. In all other respects, signage to conform with all applicable signage ordinances for a B-1 district. Maximum area of sign shall be that area specified appropriate for a shopping center plus the area specified appropriate for the community building according to Section 2108 of the City of Charlotte zoning ordinance.
- Building front shall utilize materials, architectural proportions, and detailing commensurate with the residential character of the neighborhood.
- Land for the community building will be dedicated by the owner for public purpose. The owner, however, shall be reimbursed for improvement relating to the use of the building, i.e., grading, sidewalks, water and sewer service, etc. The user shall be approved by the owner and submitted to the planning commission for final approval prior to construction of facilities. Such user shall be a library, post office, or other public community use. Architectural style, color, and materials shall be compatible with the aesthetics of the neighborhood.
- All dumpsters and free-standing mechanical or electrical equipment near buffers or landscaped areas shall be screened with walls, earth embankment, planting, or other appropriate screening devices so as to minimize their visual impact on adjacent streets.
- Rear of buildings will be painted concrete block to match color scheme of front of buildings.
- Parking lot lighting shall be cut off, type luminaires, to minimize glare to surrounding areas.
- If community space is not accepted by appropriate agency prior to January 3, 1994, offer of dedication shall be deemed "withdrawn".
- Owner will provide traffic control signage and clearly defined pedestrian walks at drive entrances to parcel.
- Turn lanes to be coordinated with Engineering Department.
- Owner agrees that the architectural style and theme of the improvements will be similar to the architectural rendering submitted as part of this proposal.
- Owner to fence school property between school and the shopping center as shown.
- Owner to coordinate landscaping at entrances to the shopping center with landscaping at entrances to subdivision.
- Owner to coordinate signage identifying shopping center with the theme of the center and the subdivision.
- Owner will coordinate with the city arborist, removal of "top" damaged trees in buffer along Baybrook Road. "Perimeter tree planting" will be as shown except in the areas where the City Arborist determines that existing tree cover is adequate. In this and all other respects, landscaping will conform to applicable Tree Ordinance.
- Community parcel parking will comply with parking ordinance.



VICINITY MAP

SITE DATA PHASE 1&2
PROBABLE COMPLETION BY 1995

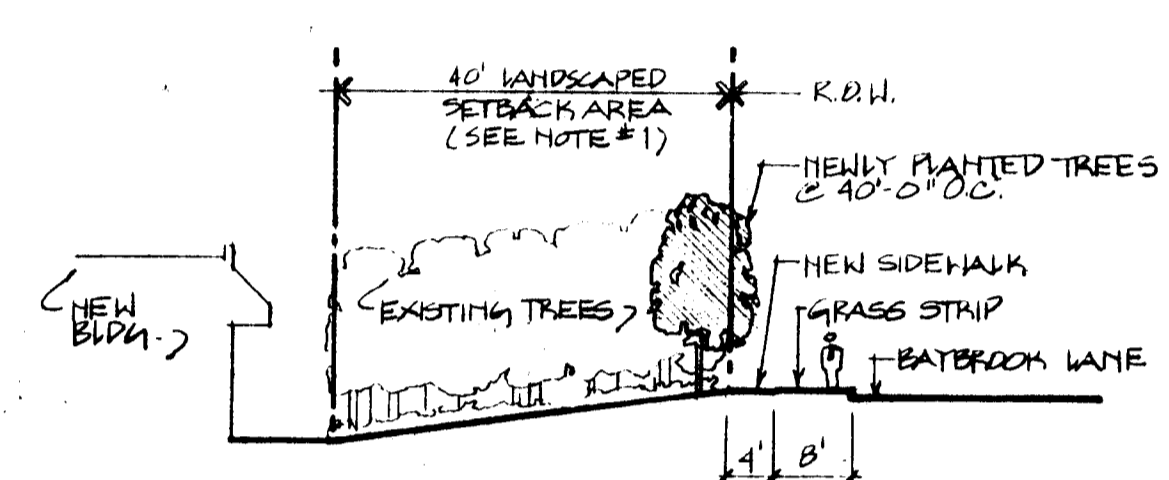
Major Tenant	29,800
Secondary Tenant	8,640
Local Shops	25,980
Total	64,420 x 8 (Gross)
	51,312 SF (Net)
	51,312 ÷ 200 = 257
Community Building	3800 SF (Max.)
EMPLOYEES	
Major Tenant	20
Secondary Tenant	5
Locals	48
	65 ÷ 2 = 33 Spaces
Parking Required @ 200	257 + 33 = 298 Spaces
"Parking Designated" Community Parcel	15 Spaces
Parking Provided	317 Spaces
TOTAL BUILDING AREA	67,140 sf.

PHASE 1
PROBABLE COMPLETION BY 1990

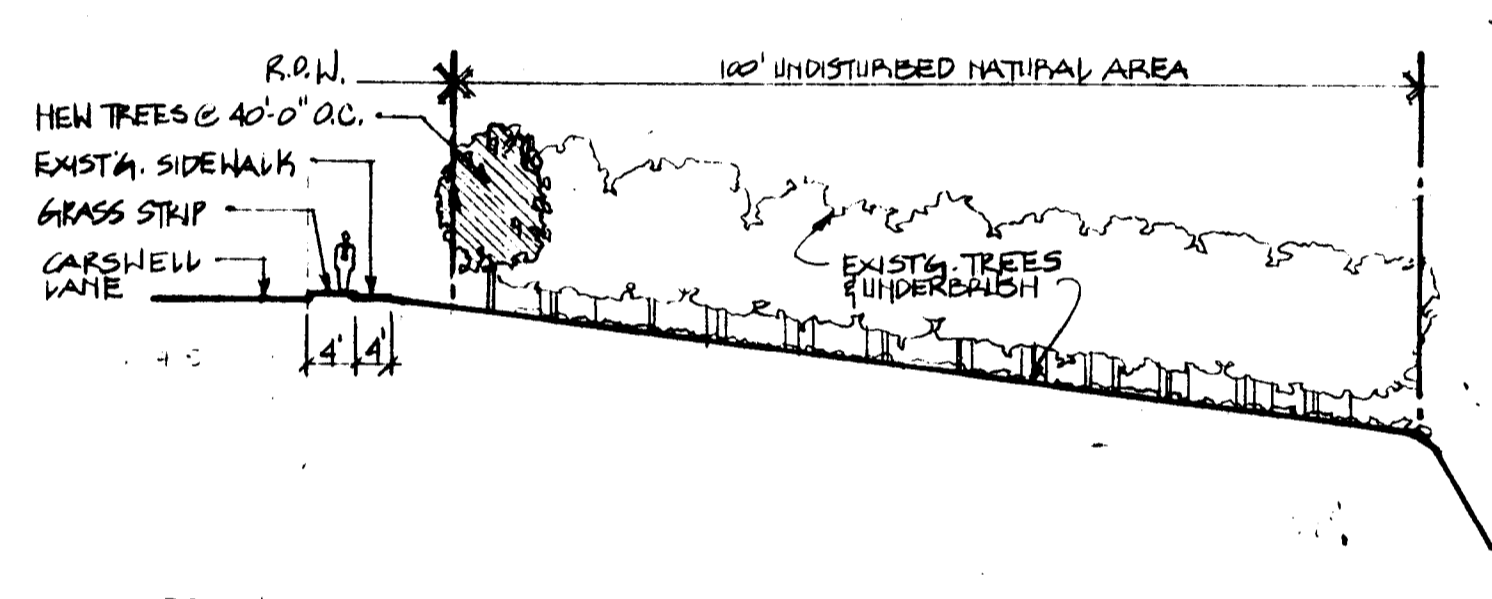
Major Tenant	29,800
Secondary Tenant	8,640
Local Shops	13,480
Total	47,920 x 80 (Gross)
	39,232 SF (Net)
	39,232 ÷ 200 = 197
EMPLOYEES	
Major Tenant	20
Secondary Tenant	5
Locals	24
	24 ÷ 2 = 12 Spaces
Parking Required @ 200	197 + 22 = 219 Spaces
Parking Provided Phase 1 + 2	243 Spaces

EXISTING ZONING B1-CD

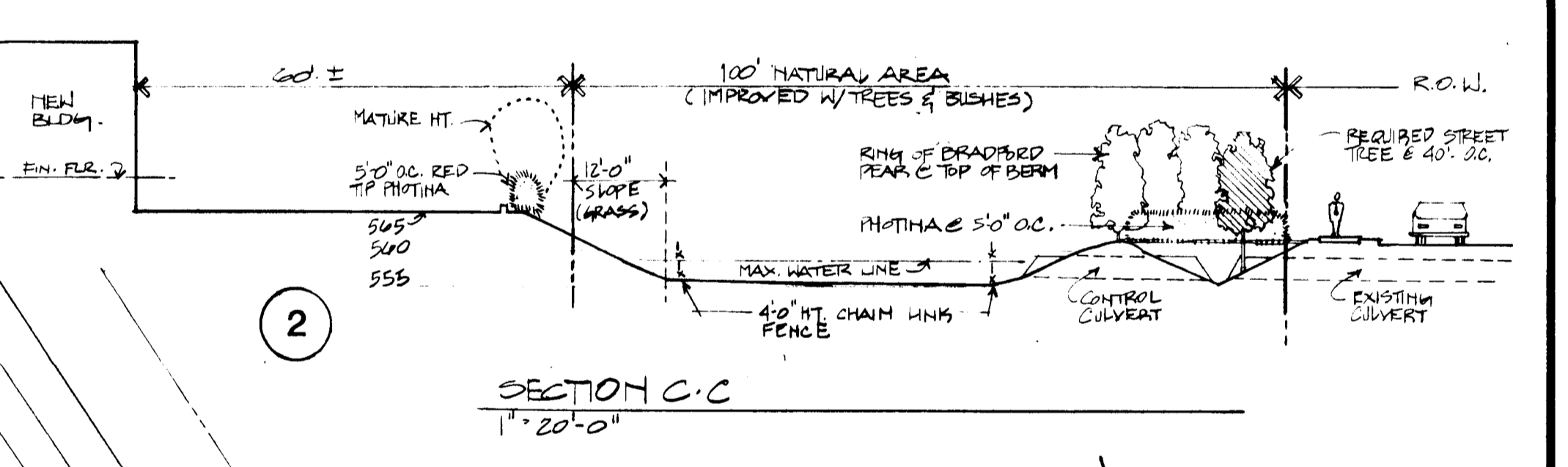
TOTAL ACERAGE	12.80 ±	
AREA OF NATURAL AREAS & SETBACKS		5.50 AC.
AREA OF COMMUNITY PARCEL		.358 AC.
AREA OF RETAIL SITE		6.95 AC.



SECTION A-A
1" = 20'-0"

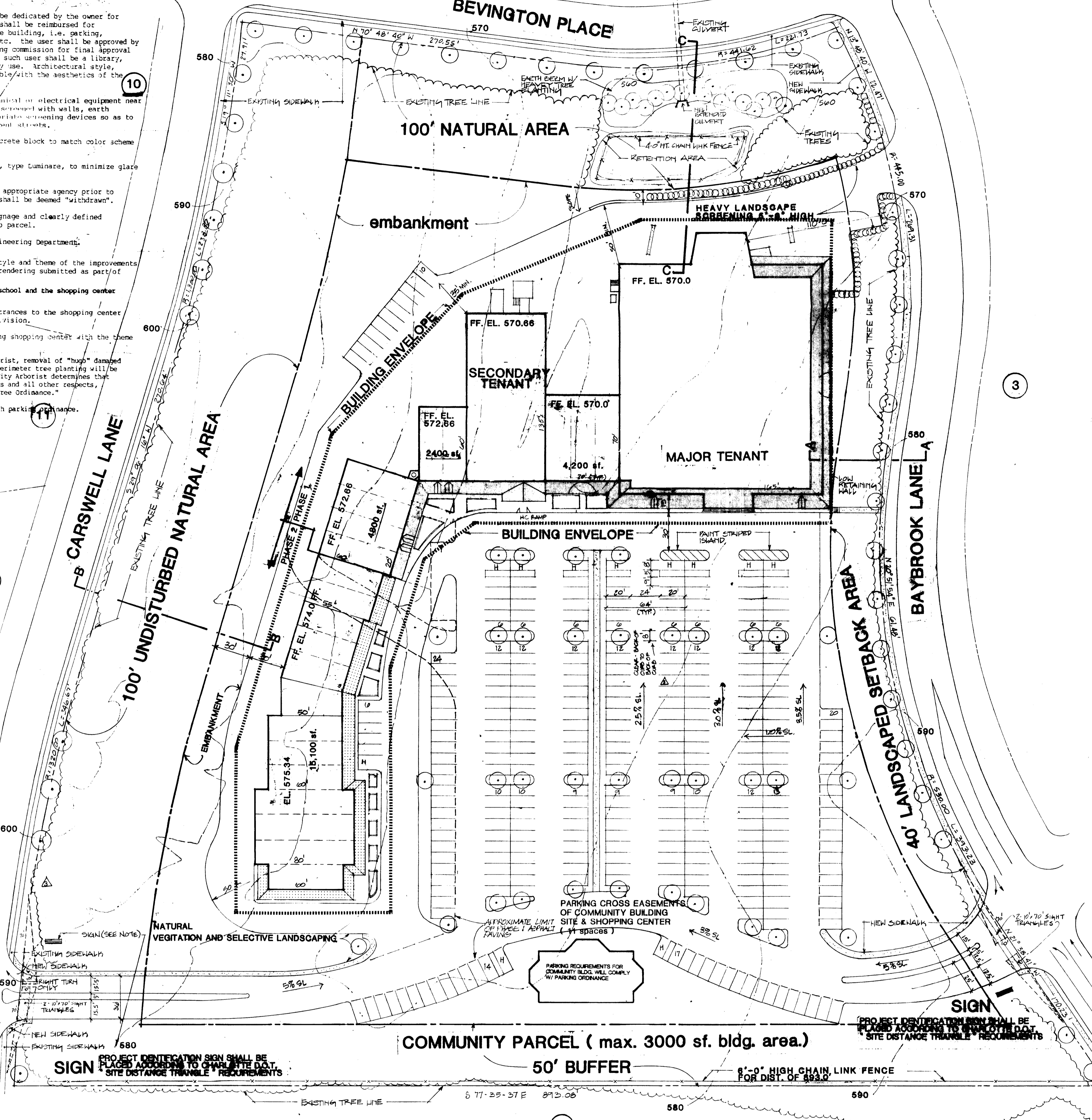


SECTION B-B
1" = 20'-0"



SECTION C-C
1" = 20'-0"

ATTACHED TO ADMINISTRATIVE APPROVAL DATED 8/28/90
By MARTIN R. CRANTON, JR.
See administrative approval dated 12/18/90 for revised Plan



1 THESE SYMBOLS OF PRESENT ADJACENT PROPERTY OWNERS ARE CODED TO THE TAX MAP

CHARLOTTE-MECKLENBURG PLANNING COMMISSION
INTER-OFFICE COMMUNICATION

DATE: August 28, 1990
TO: Robert Brandon, Zoning Administrator
FROM: Martin R. Cranton, Jr., Planning Director
SUBJECT: Administrative Approval for Petition #90-13 Touchstone Assoc. Ltd. Partnership, Tax Parcel #223-025-02

Attached is a revised plan for the above mentioned rezoning petition. The plan is being revised to show a new location for the project identification sign along Carswell Lane. The sign is being moved from the north side of the driveway to the south side of the driveway. This shift will allow the developer to save the trees between the driveway and the school property to the north.

Pursuant to the authority as outlined in the zoning ordinance, I am administratively approving this plan. Please use it when evaluating requests for building permits.

MRC/ROK:sla
Attachment



This drawing and the design shown on it are the property of Little & Associates, Inc. No reproduction, copying, or other use of this drawing without the written consent of Little & Associates, Inc. is permitted. Any infringement will be subject to legal action.
© 1990 Little & Associates Architects, Inc.

TOUCHSTONE VILLAGE CENTER
FOR: CROSLAND GROUP
REZONING PLAN

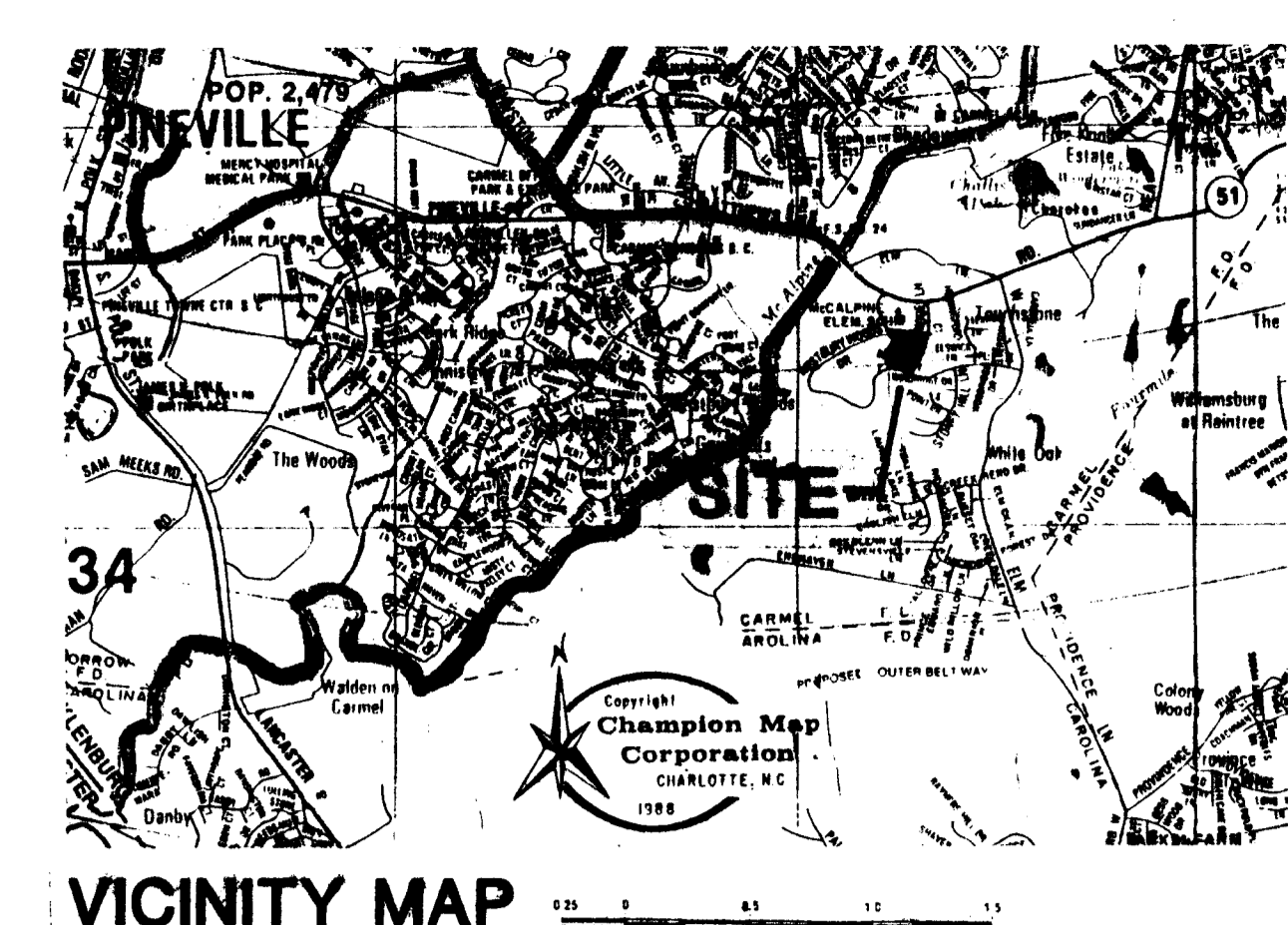
Partner in Charge: KRISTINA
Project Architect/Job Captain: CAROL
Drawn By: M. CRANTON, JR.
Date Drawn: 10/18/90

Revisions	No.	Date
	1	1-22-90
	2	2-21-90
	3	3-23-90
	4	
	5	
	6	
	7	
	8	
	9	
	10	

Issue Date:

Project Number: 2094-X4
Sheet: SP-1

- NOTES:**
- Selective pruning only to occur in the landscaped setback area on Bay Brook Lane. This pruning shall clear underbrush, vines, and other undesirable growth. No trees larger than 4" caliber shall be removed. Woodland floor to be dressed and landscaped with pine needle mulch or other suitable ground cover.
 - Building identification on sign including names of no more than 5 tenants to be located at each public entry to shopping center. In addition, identification for primary occupants in the community building shall be provided for on this sign. An area of landscape to be left void of trees in the immediate vicinity of each sign for legibility not to exceed 1,500 SF. Sign indicating service only to be located at service entrance to site. In all other respects, signage to conform with all applicable signage ordinances for a B-1 district. Maximum area of sign shall be that area specified appropriate for a shopping center plus the area specified appropriate for the community building according to Section 2188 of the City of Charlotte zoning ordinance.
 - Building front shall utilize materials, architectural proportions, and detailing commensurate with the residential character of the neighborhood.
 - Land for the community building will be dedicated by the owner for public purpose. The owner, however, shall be reimbursed for improvement relating to the use of the building, i.e., parking, sidewalks, water and sewer service, etc. The user shall be approved by the owner and submitted to the planning commission for final approval prior to construction of facilities. Such user shall be a library, post office, or other public community use. Architectural style, color, and materials shall be compatible with the aesthetics of the shopping center.
 - All dumpsters and free-standing mechanical or electrical equipment near buffers or landscaped areas shall be screened with walls, earth embankment, planting, or other appropriate screening devices so as to minimize their visual impact on adjacent streets.
 - Rear of buildings will be painted concrete block to match color scheme of front of buildings.
 - Parking lot lighting shall be cut off, type luminaire, to minimize glare to surrounding areas.
 - If community space is not accepted by appropriate agency prior to January 3, 1994, offer of dedication shall be deemed "withdrawn".
 - Owner will provide traffic control signage and clearly defined pedestrian walks at drive entrances to parcel.
 - Turn lanes to be coordinated with Engineering Department.
 - Owner agrees that the architectural style and theme of the improvements will be similar to the architectural rendering submitted as part of this proposal.
 - Owner to fence school property between school and the shopping center as shown.
 - Owner to coordinate landscaping at entrances to the shopping center with landscaping at entrance to subdivision.
 - Owner to coordinate signage identifying shopping center with the theme of the center and the subdivision.
 - Owner will coordinate with the City Arborist, removal of "top" damaged trees in buffer along Baybrook Road. Perimeter tree planting will be as shown except in the areas where the City Arborist determines that existing tree cover is adequate. In this and all other cases, landscaping will conform to applicable tree ordinance.
 - Community parcel parking will comply with parking ordinance.

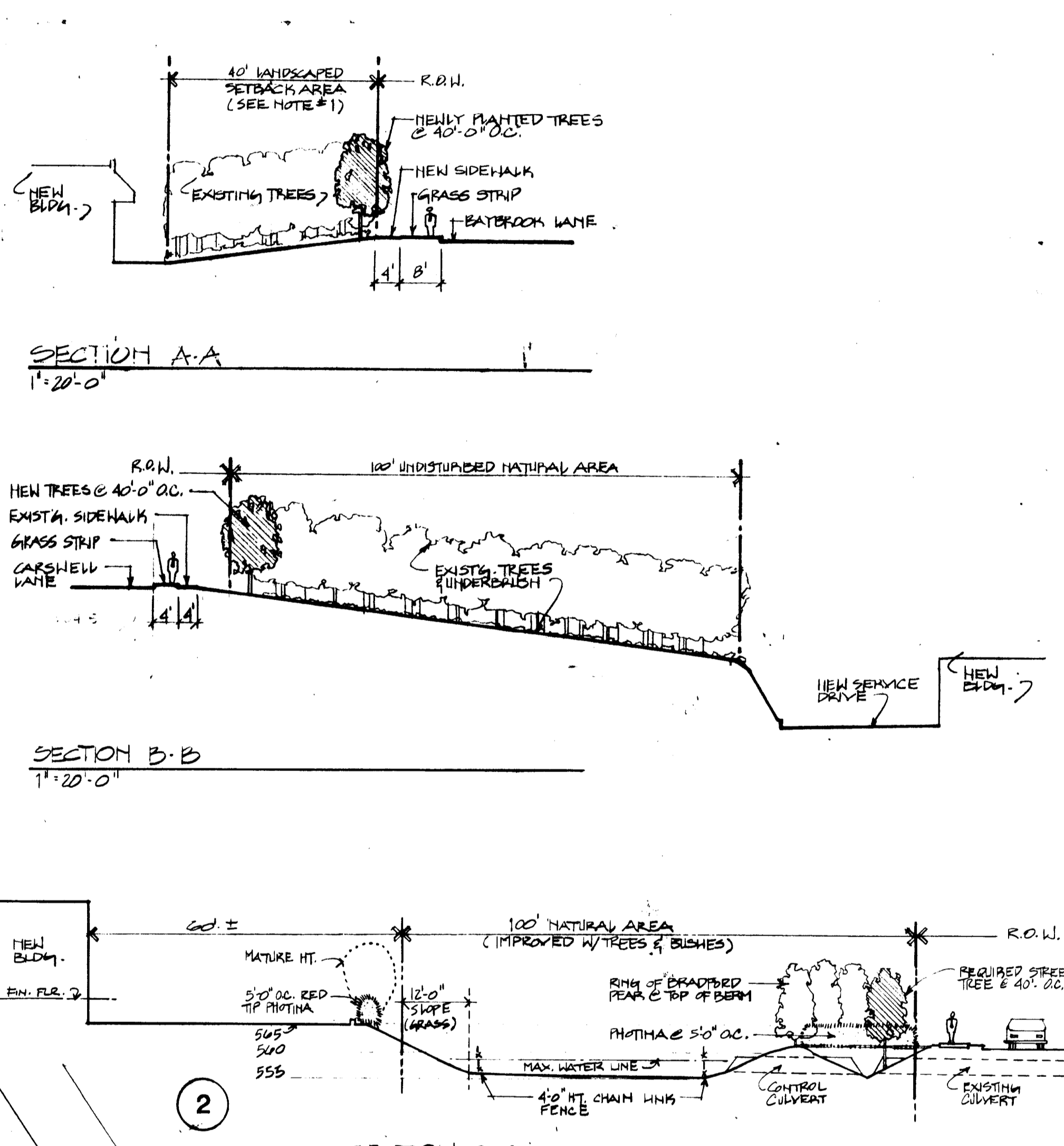


SITE DATA PHASE 1A2
PROBABLE COMPLETION BY 1995

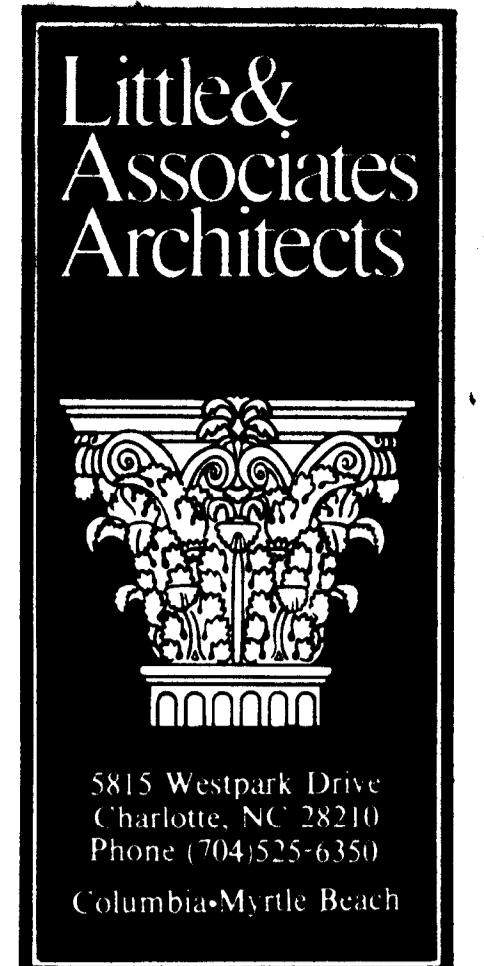
Major Tenant	29,000	Major Tenant	29,000
Secondary Tenant	8,600	Secondary Tenant	8,600
Local Shops	25,500	Local Shops	11,400
Total	64,100 ± 8 (Gross)	Total	47,000 ± 38 (Gross)
	51,312 SF (Net)		39,232 SF (Net)
	51,312 ± 200 ± 257		39,232 ± 200 ± 197

Community Building	3000 SF (Max.)	EMPLOYEES	
Major Tenant	28	Major Tenant	28
Secondary Tenant	6	Secondary Tenant	6
Locals	6	Locals	6
	66 ± 2 ± 33 Spaces		44 ± 2 ± 22 Spaces
Parking Required @ 200	257 ± 33 ± 230 Spaces	Parking Required	197 ± 22 ± 219 Spaces
"Parking Designated" Community Parcel	16 Spaces	Parking Provided Phase 1	243 Spaces
Parking Provided	317 Spaces		
TOTAL BUILDING AREA	67,140 sf.		

EXISTING ZONING B1-OD
TOTAL ACERAGE 12.80 ±
AREA OF NATURAL AREAS & SETBACKS 5.50 AC.
AREA OF COMMUNITY PARCEL .358 AC.
AREA OF RETAIL SITE 6.95 AC.



ATTACHED to Administrative Approval DATED 6/18/90
By MARCEL R. CANNON, Jnr



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Project: TOUCHSTONE VILLAGE CENTER
for: CROSLAND GROUP
Sheet Title: REZONING PLAN
Sheet Title

Partner in Charge: V. P. TIGG
Project Architect/Job Captain: G. P. D.
Drawn by: H. C. W. T. H.
Date Drawn: 12-18-90

Revisions:

No. 1	Date 1-22-91
No. 2	Date 2-21-91
No. 3	Date 3-28-91
No. 4	Date
No. 5	Date
No. 6	Date
No. 7	Date
No. 8	Date
No. 9	Date
No. 10	Date

Issue Date:

Project Number: 2094-X4
Sheet: SP-1

CHARLOTTE-MECKLENBURG PLANNING COMMISSION
INTER-OFFICE COMMUNICATION

DATE: December 18, 1990

TO: Robert Brandon, Zoning Administrator

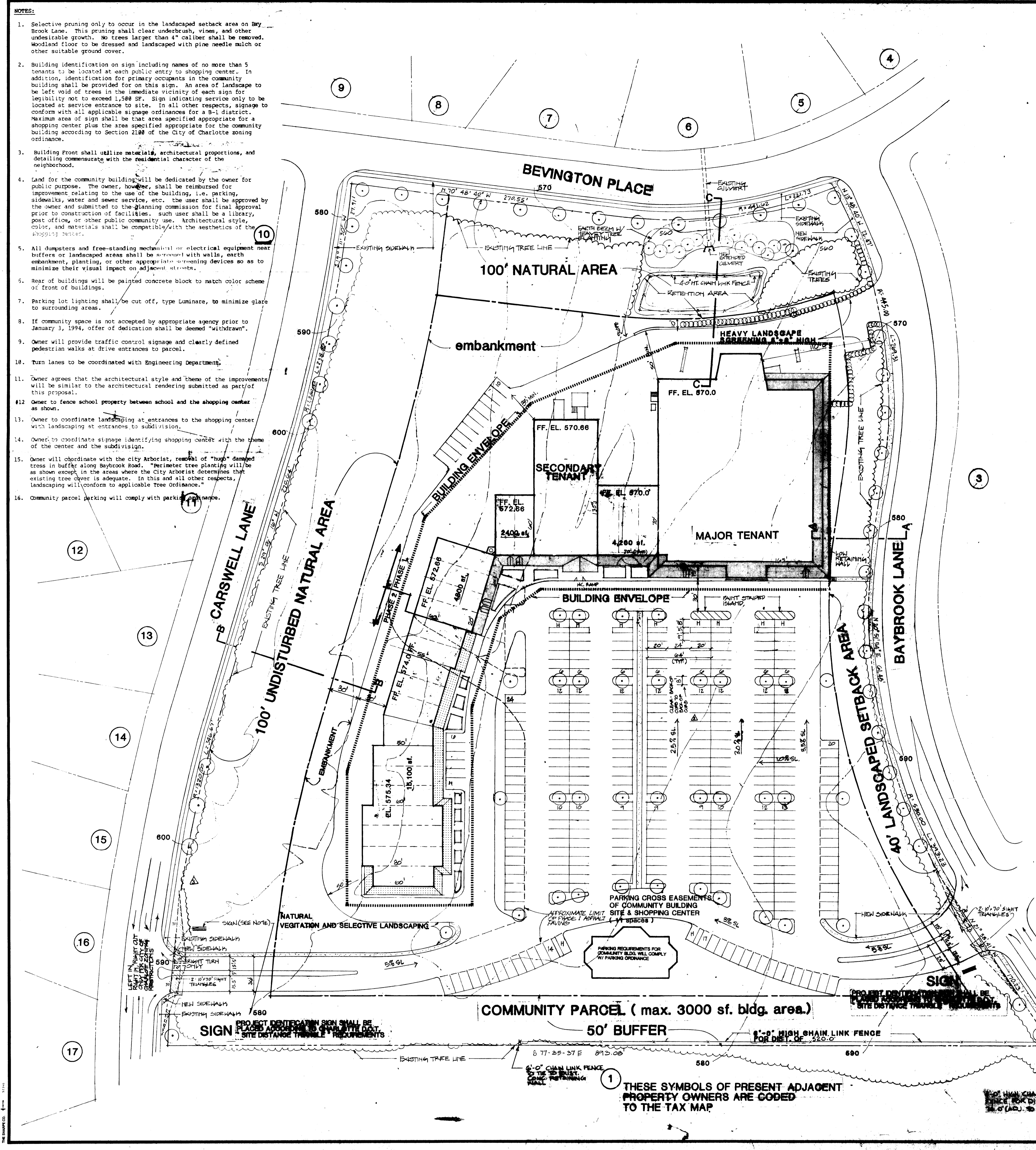
FROM: Mattie E. Cannon, Planning Director

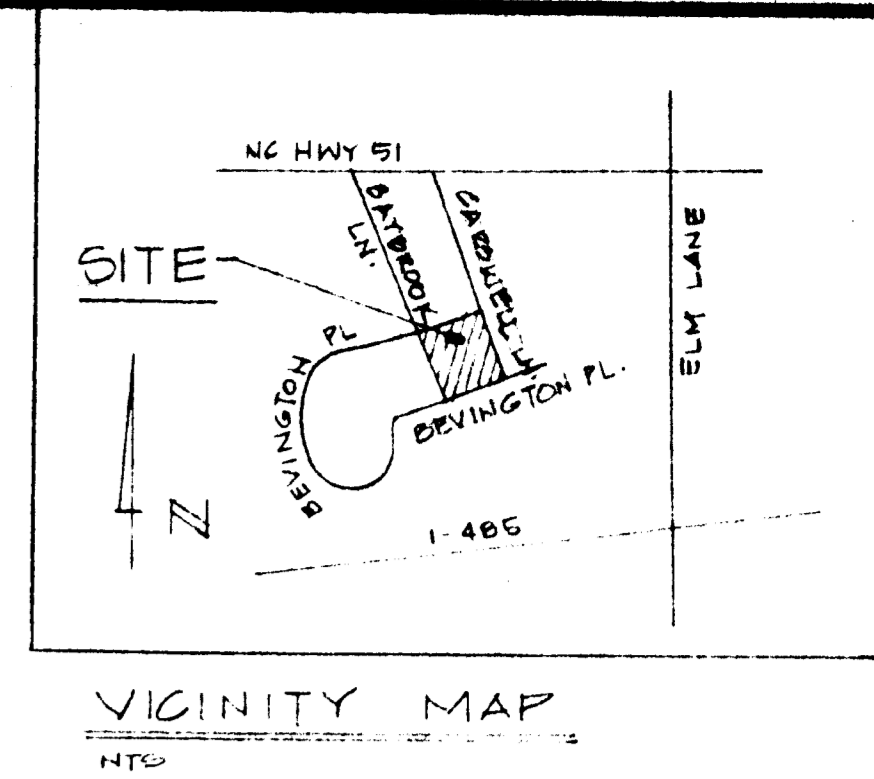
SUBJECT: Administrative Approval for Petition #90-13 by Touchstone Assoc. Ltd. Partnership, Tax Parcel #223-025-02

Attached is a revised plan for the above mentioned rezoning petition. The plan has been revised to show a new location for the proposed chain link fence between the school and the shopping center. The changes were made as a result of conversations with Charles Allison of the schools who preferred these new locations. Also changed on the plan is the wording restricting the vehicular movements on the Carswell Drive entrance. The wording has been changed to allow "left in" movements as well as right in right out movements. This wording was inadvertently left off the plan during the last site plan amendment.

Pursuant to the authority as outlined in the zoning ordinance, I am administratively approving this plan. Please use it when evaluating requests for building permits.

MRCjr/ROD:als
Attachment: see attached drawings for details of fence location.





PROJECT DATA:

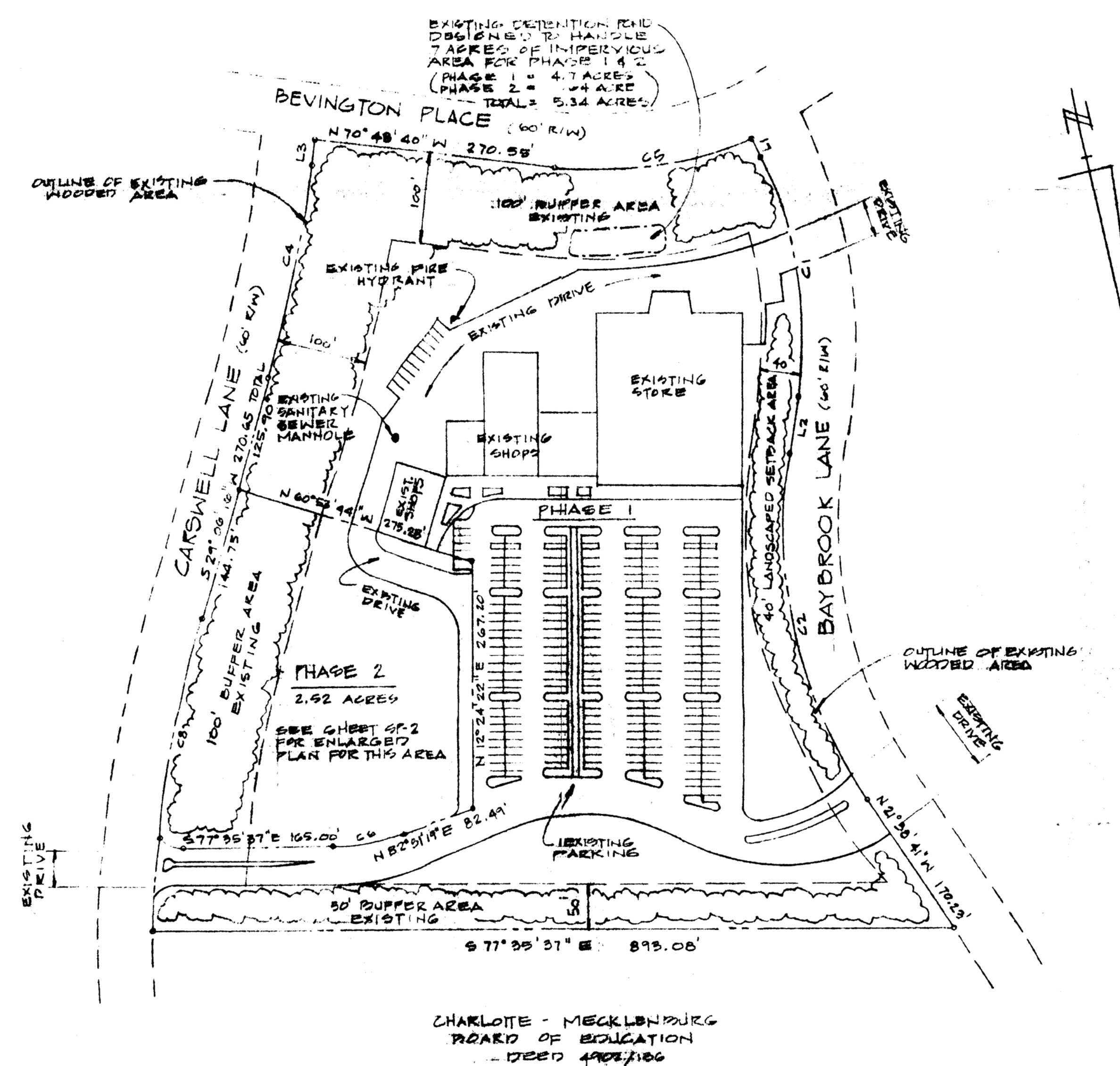
1. SITE ADDRESS: TOUCHSTONE VILLAGE CENTER, BAYBROOK LN / CARSWELL LN / DEVINGTON PL., CHARLOTTE, NC
2. TAX PARCEL NO: 223-253-02
3. SITE ACREAGE: 10.28 AC. PHASE 1, 2.52 AC. PHASE 2
4. ZONED: B-100 PER REZONING PETITION 90-13 BY TOUCHSTONE ASSOCIATES
5. DETENTION POND IS EXISTING FOR THIS SITE. EXISTING DETENTION POND WAS DESIGNED TO HANDLE 7 ACRES OF IMPERVIOUS AREA PER THE CITY OF CHARLOTTE ENGINEERING DEPT.
 - PHASE 1 = 4.7 ACRES IMPERVIOUS AREA
 - PHASE 2 = .64 ACRE IMPERVIOUS AREA
 - TOTAL = 5.34 ACRES IMPERVIOUS AREA

LINE	DIRECTION	DISTANCE
L1	N13°48'40" W	22.47'
L2	N20°51'54" E	81.48'
L3	S18°11'30" W	27.91'
L4	N82°51'13" E	82.49'
L5	S12°13'00" W	181.99'
L6	S50°08'55" E	80.43'
L7	N82°53'44" W	30.08'
L8	N58°18'17" W	88.34'
L9	N78°34'05" W	18.82'
L10	N12°24'22" E	251.86'
L11	N82°51'13" E	20.77'

CURVE	LENGTH	RADIUS	DIRECTION	CHORD
C1	269.31'	445.00'	N05°31'50" E	269.31'
C2	363.23'	530.00'	N02°23'24" W	363.23'
C3	348.87'	1320.00'	S21°34'53" W	348.87'
C4	238.80'	1380.00'	S24°08'53" W	238.80'
C5	221.74'	441.82'	N82°11'43" W	221.74'
C6	83.86'	251.83'	S72°22'00" E	83.86'
C7	29.30'	40.00'	S56°38'21" E	29.30'
C8	244.83'	1320.00'	S23°17'27" W	244.83'

CURVE	LENGTH	RADIUS	DIRECTION	CHORD
C9	8.16'	11.73'	N04°48'23" E	8.16'
C10	42.87'	86.86'	N02°49'56" W	42.87'
C11	18.97'	37.03'	S40°50'23" E	18.97'
C12	46.51'	86.41'	N05°24'49" E	46.51'
C13	74.86'	149.72'	N12°04'33" E	74.86'
C14	102.64'	187.07'	N12°18'02" E	102.64'

NOTE:
 ALL SITE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY:
 CAROLINA SURVEYORS
 P.O. BOX 267
 PINEVILLE, NC 28134
 HUGH WHITE, NCLRS
 DATED: 6/16/94



NOTE: SEE SHEET SP-2 FOR ENLARGED PHASE 2 SITE PLAN.

ATTACHED TO ADMINISTRATIVE APPROVAL
 DATED: 08/10/95
 BY: MARTIN R. CRAMTON, JR.

TOTAL SITE PLAN
 SCALE: 1" = 100'

REVISIONS		Project	Drawing
No.	Date	STEP AHEAD DAY CARE CHARLOTTE, NC LEE SHORE	TOTAL SITE PLAN
		Owner	
		Scale: NOTED	
		Date: 5/30/95	
		Drawn By: JDH	
		Appvd: CLM	
		Issue	

D. DAVIS CONSTRUCTION COMPANY, INC.
 2206 W. ROOSEVELT BLVD., MORRIS, N.C. 28110

CHARLOTTE - MECKLENBURG PLANNING COMMISSION
 INTER - OFFICE COMMUNICATION

DATE: August 10, 1995
 TO: Robert Brandon, Zoning Administrator
 FROM: Martin R. Cramton, Jr., Planning Director

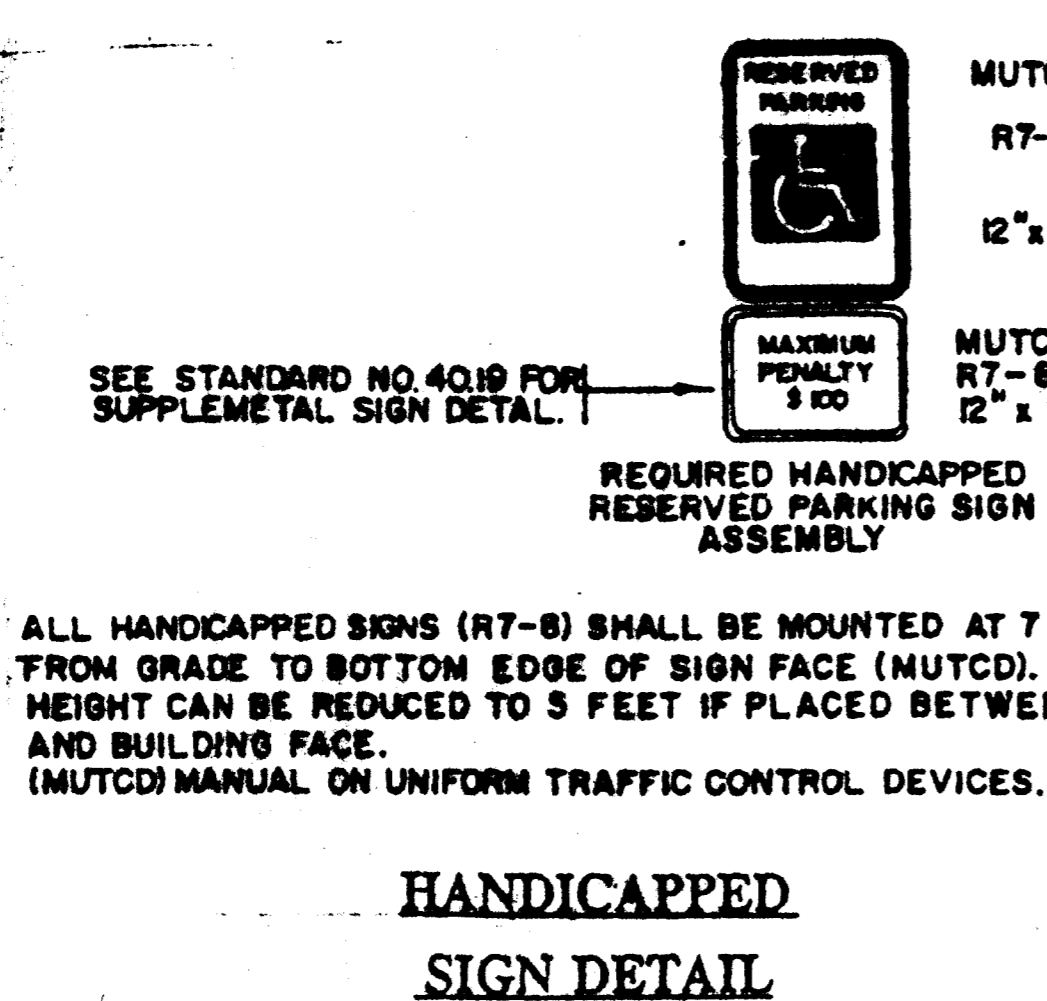
SUBJECT: Administrative Approval for Petition No. 90-13 by Touchstone Associates Ltd. Partnership Tax Parcel # 223-025-02

Attached is a revised plan for a phase two of the Touchstone Shopping Center showing the development of this phase with a day care center. The originally approved plan had shown the development of this phase with additional shop space. Since day care centers are allowed by B-1 zoning classification and the total square footage for the shopping center is not being exceeded we are administratively approving this revised plan. Please use this revised plan when evaluating requests for building permits and certificates of occupancy.

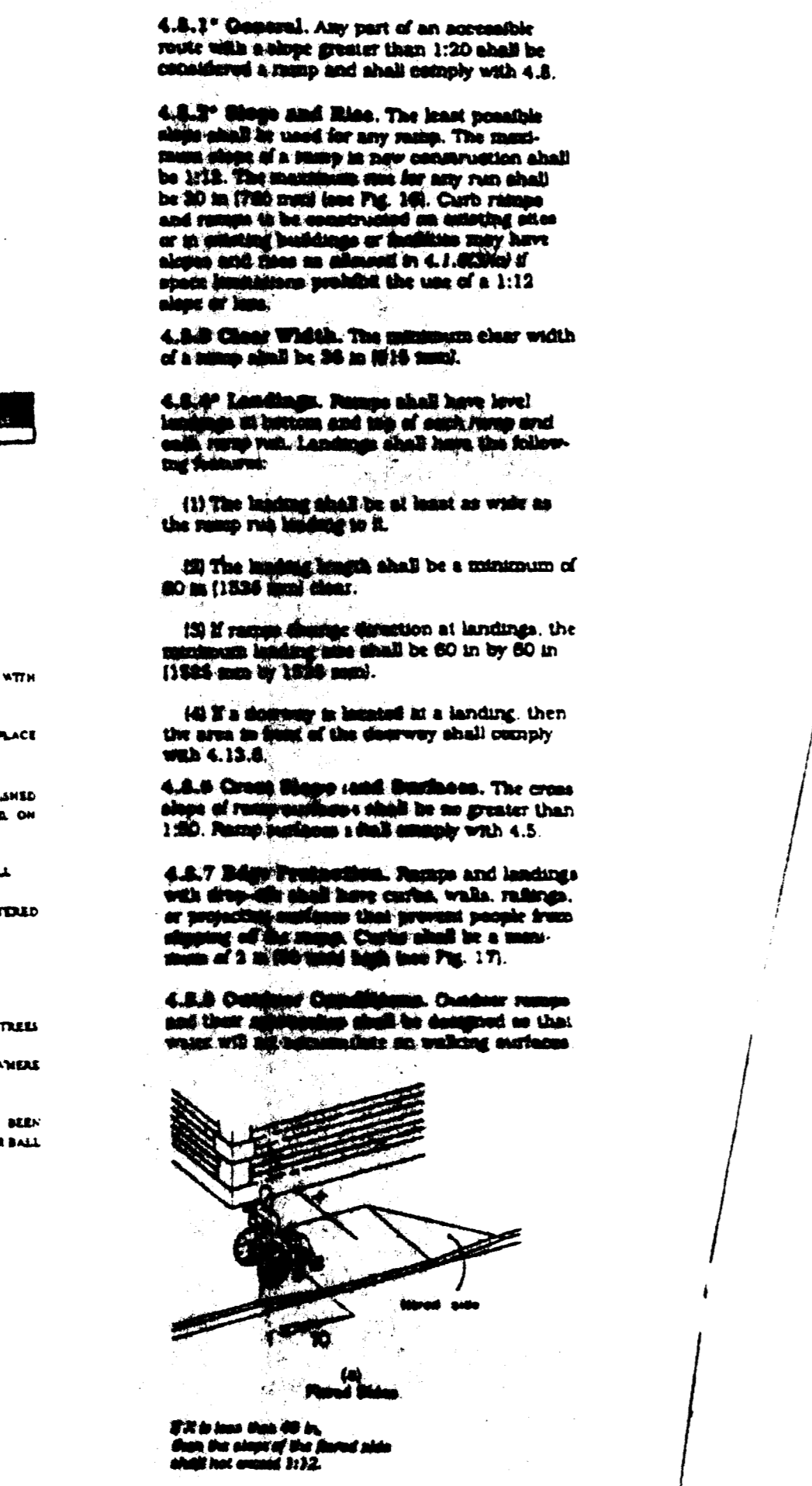
Also included are building elevations noting that the building will use the same brick and roofing material as the shopping center.

TREE ORDINANCE NOTES:

- 1. PERIMETER PLANTING REQUIREMENTS:**
All properties are required to have a perimeter planting strip (not including service drive) of an average 4:1 slope. However, the property owner may opt to have a perimeter planting strip of an average 2:1 slope. The minimum tree spacing shall be 10 feet. The planting strip shall be 10 feet wide. The minimum tree spacing shall be 10 feet. The planting strip shall be 10 feet wide. The minimum tree spacing shall be 10 feet.
- 2. INTERNAL PLANTING REQUIREMENTS:**
In addition to perimeter planting requirements, internal area planting may be required. If the average tree spacing is 1000:1, the tree spacing shall be 10 feet. The planting strip shall be 10 feet wide. The minimum tree spacing shall be 10 feet.
- 3. REPLACEMENT AND PROTECTION OF TREE:**
When trees are required by the ordinance, they must be replaced during the same planting season. The replacement tree shall be of the same or better species and shall be of the same or better size as the tree being replaced.
- 4. TREE SURVEY AND PROTECTION PLAN:**
Trees within the tree protection zone (equal to the stated setback where the property abuts the public right-of-way, and not to exceed 40 feet) shall be surveyed and mapped before any construction begins. The tree survey and protection plan shall be approved by the Planning Department. The tree survey and protection plan shall be approved by the Planning Department.



HANDICAPPED SIGN DETAIL



GENERAL TREE NOTES:

- 1. MINIMUM TREE SIZE AT PLANTING:** 1.5" DBH, 5' TALL. SINGLE TRUNK. MINIMUM 10' CLEARANCE FROM OVERHEAD POWER LINES. MINIMUM 10' CLEARANCE FROM ADJACENT PROPERTIES. MINIMUM 10' CLEARANCE FROM DRIVEWAYS. MINIMUM 10' CLEARANCE FROM SIDEWALKS. MINIMUM 10' CLEARANCE FROM CURBS. MINIMUM 10' CLEARANCE FROM BUILDINGS. MINIMUM 10' CLEARANCE FROM UTILITIES. MINIMUM 10' CLEARANCE FROM FENCES. MINIMUM 10' CLEARANCE FROM SIGNAGE. MINIMUM 10' CLEARANCE FROM LIGHT FIXTURES. MINIMUM 10' CLEARANCE FROM AIR CONDITIONING UNITS. MINIMUM 10' CLEARANCE FROM TELEPHONE POLES. MINIMUM 10' CLEARANCE FROM STREET LIGHTS. MINIMUM 10' CLEARANCE FROM TRAFFIC SIGNALS. MINIMUM 10' CLEARANCE FROM RAILROADS. MINIMUM 10' CLEARANCE FROM AIRPORTS. MINIMUM 10' CLEARANCE FROM AIRCRAFT. MINIMUM 10' CLEARANCE FROM HELICOPTERS. MINIMUM 10' CLEARANCE FROM MISSILES. MINIMUM 10' CLEARANCE FROM ROCKETS. MINIMUM 10' CLEARANCE FROM EXPLOSIVES. MINIMUM 10' CLEARANCE FROM HAZARDOUS MATERIALS. MINIMUM 10' CLEARANCE FROM RADIOACTIVE MATERIALS. MINIMUM 10' CLEARANCE FROM NUCLEAR REACTORS. MINIMUM 10' CLEARANCE FROM NUCLEAR POWER PLANTS. MINIMUM 10' CLEARANCE FROM NUCLEAR WASTE STORAGE. MINIMUM 10' CLEARANCE FROM NUCLEAR WASTE DISPOSAL. MINIMUM 10' CLEARANCE FROM NUCLEAR WASTE TREATMENT. MINIMUM 10' CLEARANCE FROM NUCLEAR WASTE REPROCESSING. MINIMUM 10' CLEARANCE FROM NUCLEAR WASTE RESEARCH. MINIMUM 10' CLEARANCE FROM NUCLEAR WASTE DEVELOPMENT. MINIMUM 10' CLEARANCE FROM NUCLEAR WASTE DEMONSTRATION. MINIMUM 10' CLEARANCE FROM NUCLEAR WASTE STORAGE. MINIMUM 10' CLEARANCE FROM NUCLEAR WASTE DISPOSAL. MINIMUM 10' CLEARANCE FROM NUCLEAR WASTE TREATMENT. MINIMUM 10' CLEARANCE FROM NUCLEAR WASTE REPROCESSING. MINIMUM 10' CLEARANCE FROM NUCLEAR WASTE RESEARCH. MINIMUM 10' CLEARANCE FROM NUCLEAR WASTE DEVELOPMENT. MINIMUM 10' CLEARANCE FROM NUCLEAR WASTE DEMONSTRATION.
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- 3. REPLACEMENT AND PROTECTION OF TREE:** When trees are required by the ordinance, they must be replaced during the same planting season. The replacement tree shall be of the same or better species and shall be of the same or better size as the tree being replaced.
- 4. TREE SURVEY AND PROTECTION PLAN:** Trees within the tree protection zone (equal to the stated setback where the property abuts the public right-of-way, and not to exceed 40 feet) shall be surveyed and mapped before any construction begins. The tree survey and protection plan shall be approved by the Planning Department. The tree survey and protection plan shall be approved by the Planning Department.

DUMPSTER PAD SCREENING

Any fence or wall shall be constructed in a durable fashion of brick, stone, other masonry materials or wood posts and planks or any combination of such materials. No more than 25 percent of the fence surface shall be left open and the finished side of the fence shall face the abutting property.

CURVE	LENGTH	RADIUS	DIRECTION	CHORD
C1	269.31	445.00'	N03°11'36"E	265.22'
C2	351.91	530.00'	N02°31'24"E	344.27'
C3	346.67	1320.00'	S21°34'35"W	346.67'
C4	238.00	1380.00'	S24°04'15"W	238.00'
C5	221.74	441.62'	N85°11'43"E	219.41'
C6	85.65	251.03'	S87°20'00"E	85.34'
C7	29.50	40.00'	S56°36'27"E	28.65'
C8	244.63	1320.00'	S23°47'27"W	244.28'

LINE	DIRECTION	DISTANCE
L1	N12°48'00"W	22.47'
L2	N20°51'36"E	81.48'
L3	S19°11'36"W	81.48'
L4	N82°11'36"E	81.48'
L5	S12°15'00"W	191.99'
L6	S26°08'36"E	180.49'
L7	N80°33'44"E	170.08'
L8	N85°18'12"E	176.34'
L9	N75°54'05"W	18.82'
L10	N12°11'36"E	81.48'
L11	N82°11'36"E	81.48'

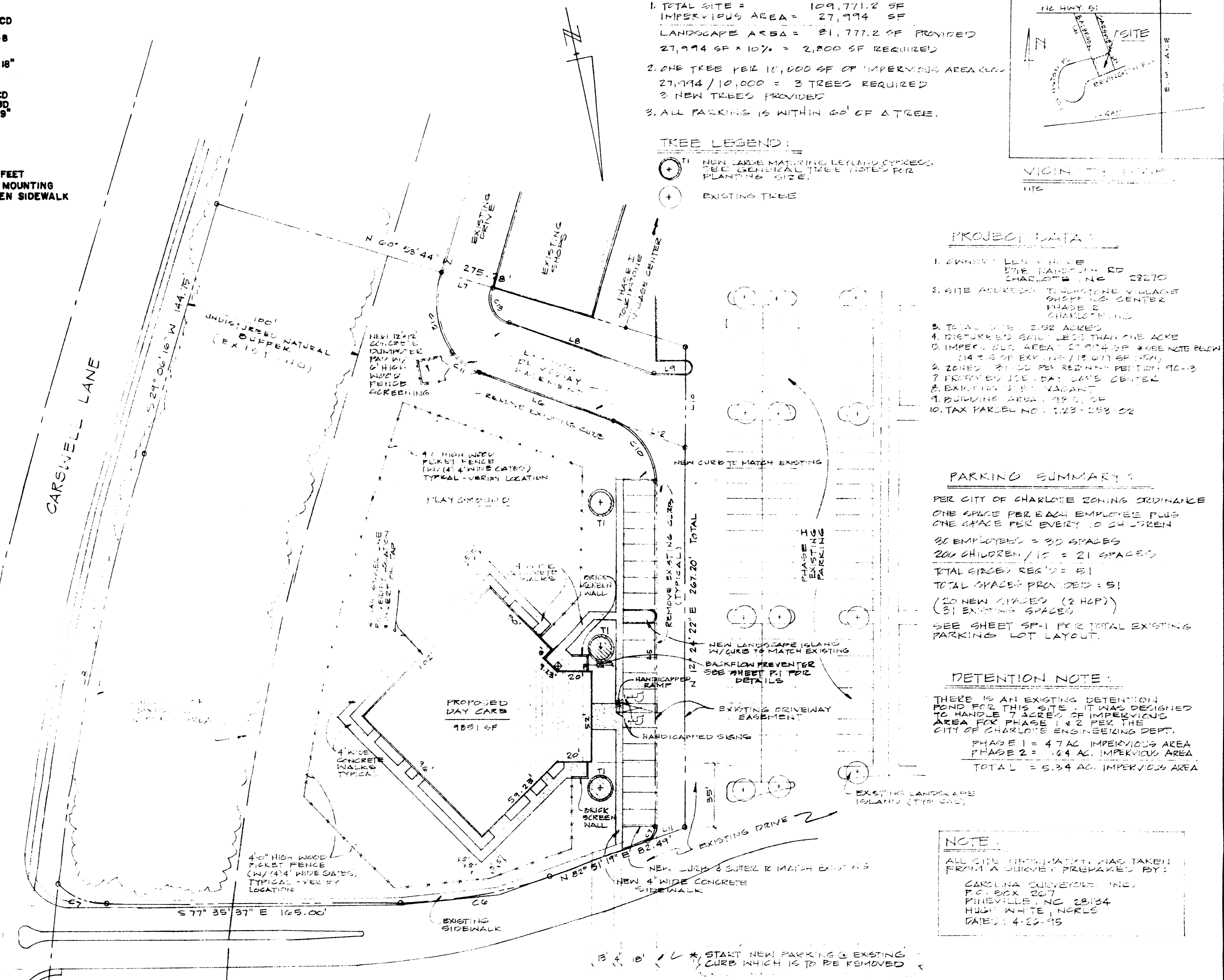
CURVE	LENGTH	RADIUS	DIRECTION	CHORD
C9	8.16'	11.71'	N34°48'28"E	8.00'
C10	42.87'	36.85'	N22°58'56"W	40.49'
C11	19.91'	19.03'	S45°02'25"E	18.67'
C12	46.51'	49.44'	N05°24'49"E	44.82'
C13	24.86'	11.15'	N1°58'04"W	24.79'
C14	102.84'	1320.00'	N18°18'02"E	102.02'

NOTE: 1. SEE SHEET SP-1 FOR TOTAL SITE PLAN (PHASE 1 & 2).
2. G.C. TO VERIFY FINISHED FLOOR BLEV. WITH PLUMBING CONTRACTOR PRIOR TO CONSTRUCTION.

SCALE: 1" = 30'

PHASE 2 - ENLARGED SITE PLAN

SCALE: 1" = 30'



PHASE 2 - ENLARGED SITE PLAN

SCALE: 1" = 30'

NOTE: 1. SEE SHEET SP-1 FOR TOTAL SITE PLAN (PHASE 1 & 2).
2. G.C. TO VERIFY FINISHED FLOOR BLEV. WITH PLUMBING CONTRACTOR PRIOR TO CONSTRUCTION.

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SCALE: 1" = 30'

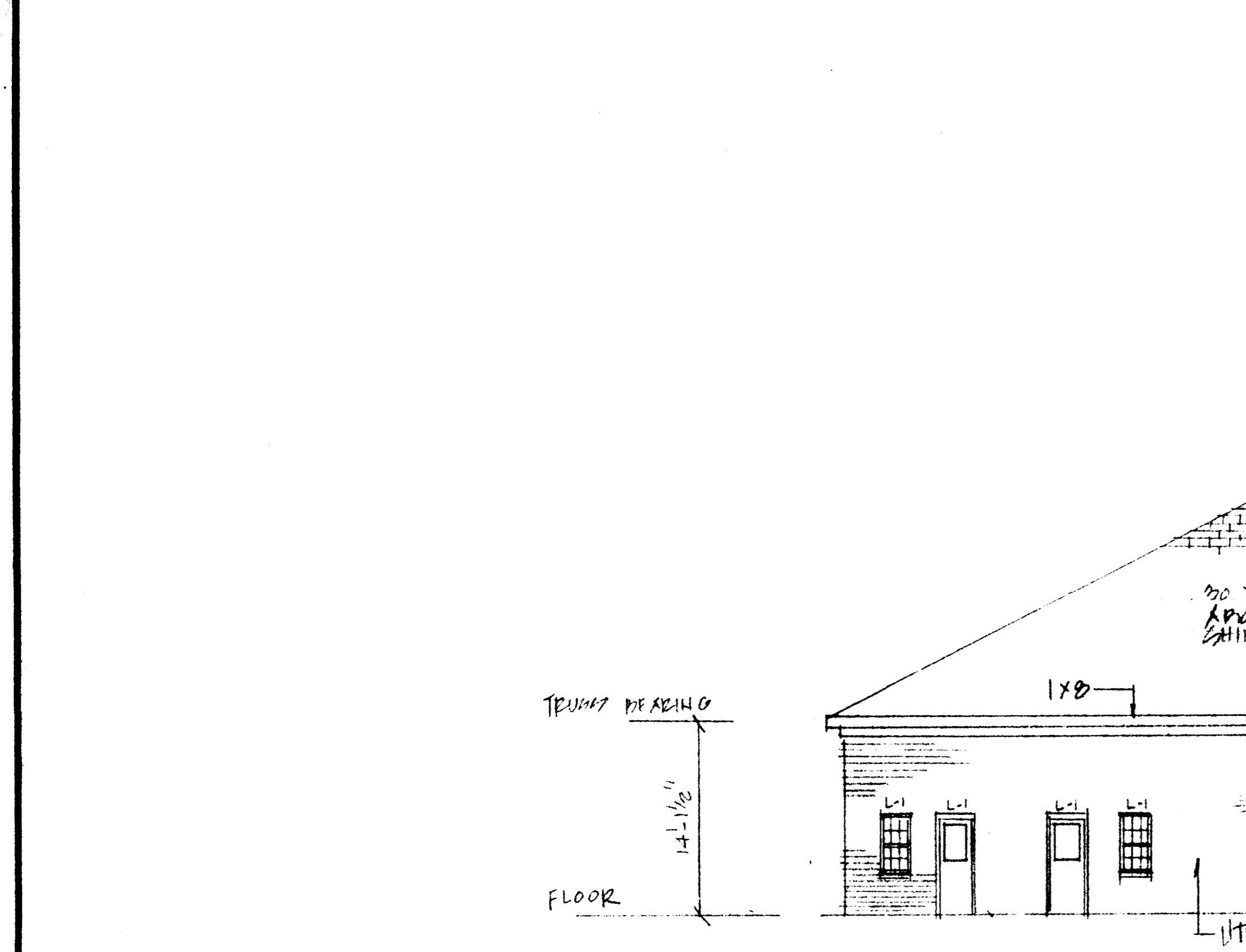
PHASE 2 - ENLARGED SITE PLAN

SCALE: 1" = 30'

PHASE 2 - ENLARGED SITE PLAN

SCALE: 1" = 30'

LEFT SIDE ELEVATION



LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

LEFT SIDE ELEVATION

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LEFT SIDE ELEVATION

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LEFT SIDE ELEVATION

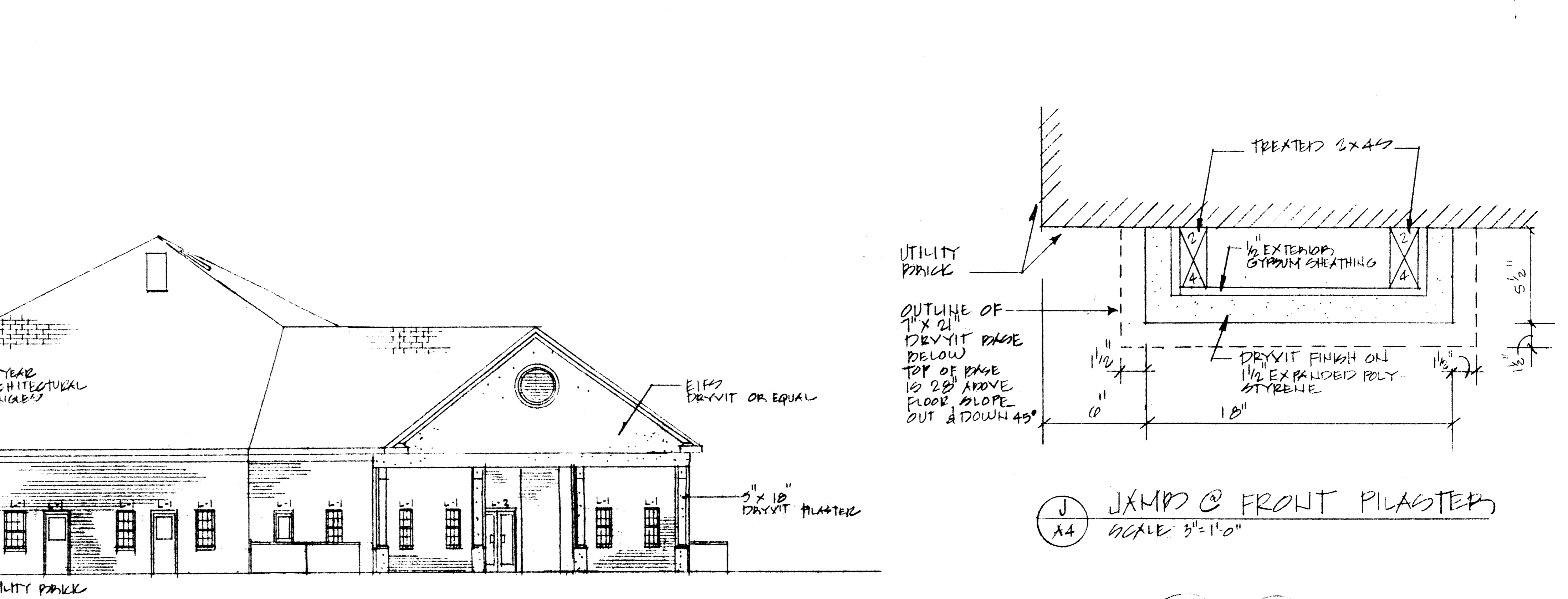
SCALE: 1/8" = 1'-0"

LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

LEFT SIDE ELEVATION

REAR ELEVATION



REAR ELEVATION

SCALE: 1/8" = 1'-0"

REAR ELEVATION

SCALE: 1/8" = 1'-0"

REAR ELEVATION

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REAR ELEVATION

SCALE: 1/8" = 1'-0"

REAR ELEVATION

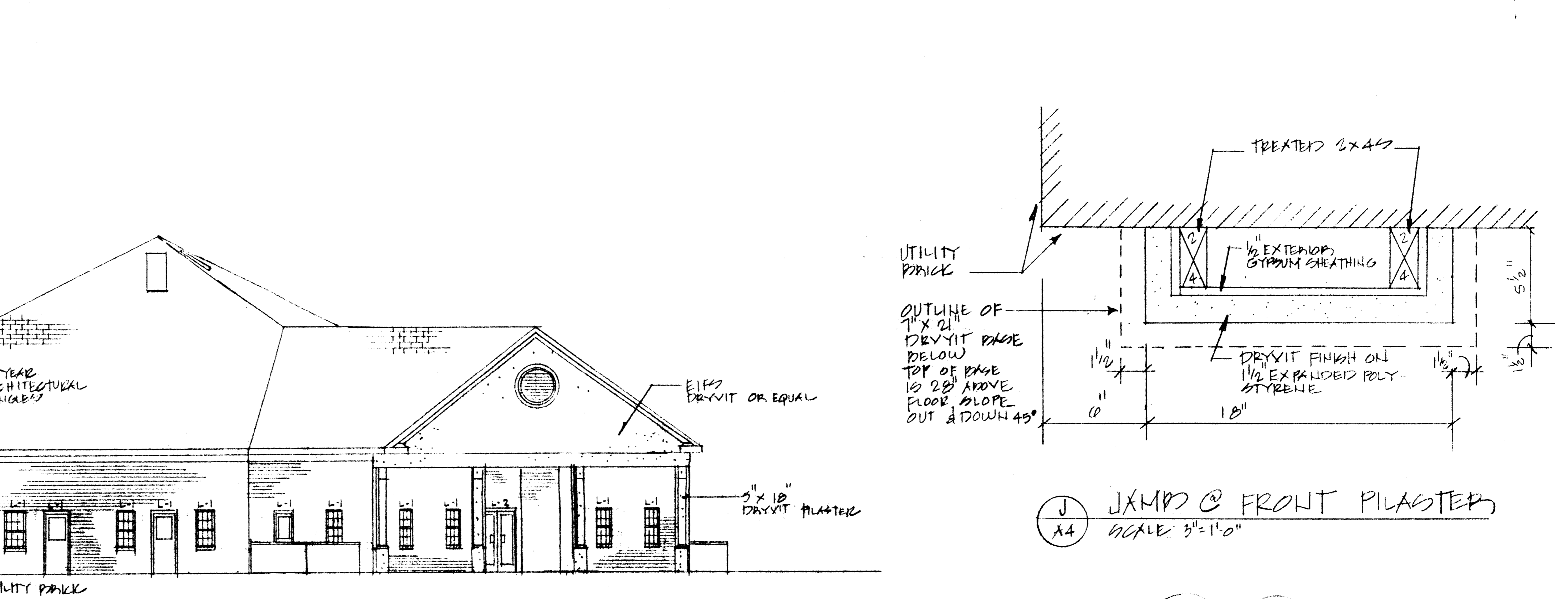
SCALE: 1/8" = 1'-0"

REAR ELEVATION

SCALE: 1/8" = 1'-0"

REAR ELEVATION

FRONT ELEVATION



FRONT ELEVATION

SCALE: 1/8" = 1'-0"

FRONT ELEVATION

SCALE: 1/8" = 1'-0"

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FRONT ELEVATION

SCALE: 1/8" = 1'-0"

FRONT ELEVATION

PRICK LINTELS:

- L-1: L 3/2 x 3/2 x 2/16 UP TO 5'-0" OPENING
 - L-2: L 4 x 3/2 x 2/16 OVER 5'-0" TO 7'-0" OPENING
- BEAR 4" ON EACH END

PRICK LINTELS:

SCALE: 1/8" = 1'-0"

PRICK LINTELS:

SCALE: 1/8" = 1'-0"

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PRICK LINTELS:

SCALE: 1/8" = 1'-0"

PRICK LINTELS:

NOTE:

THE EXTERIOR BRICK & BOLT MATERIALS NEED TO BE THE SAME AS THE ADJACENT SHOPPING CENTER.

NOTE:

SCALE: 1/8" = 1'-0"

NOTE:

SCALE: 1/8" = 1'-0"

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JUMP @ FRONT PLASTER

JUMP @ FRONT PLASTER

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