

080-182-06
080-182-05
ROBERT R. RHYNE, JR. & WIFE
222 S. CHURCH STREET
CHARLOTTE, N.C. 28202

080-182-04
WAKEFIELD OPTICAL CO.
P.O. BOX 32517
CHARLOTTE, N.C. 28232

080-182-03
WAKEFIELD OPTICAL CO.
711 CENTRAL AVENUE
CHARLOTTE, N.C. 28232

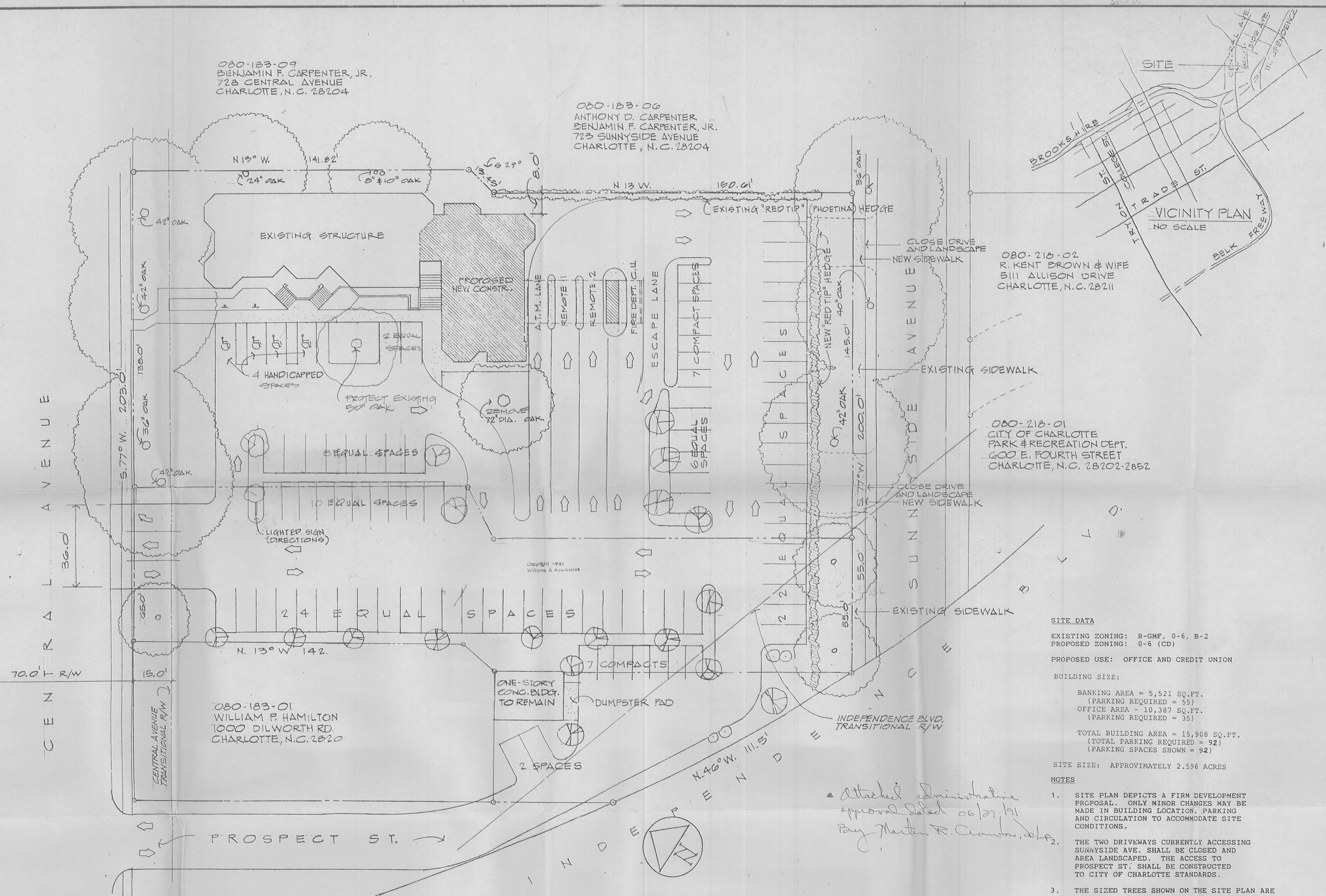
080-182-14
BRADLEY A. HOLCOM
WILLIAM D. PATTERSON
P.O. BOX 37321
CHARLOTTE, N.C. 28204

080-183-09
BENJAMIN F. CARPENTER, JR.
723 CENTRAL AVENUE
CHARLOTTE, N.C. 28204

080-183-06
ANTHONY D. CARPENTER,
BENJAMIN F. CARPENTER, JR.
723 SUNNYSIDE AVENUE
CHARLOTTE, N.C. 28204

080-218-02
A. KENT BROWN & WIFE
1811 ALLISON DRIVE
CHARLOTTE, N.C. 28211

080-218-01
CITY OF CHARLOTTE
PARK & RECREATION DEPT.
600 E. FOURTH STREET
CHARLOTTE, N.C. 28202-2852



CHARLOTTE METRO CREDIT UNION
REZONING SITE PLAN
SCALE 1" = 20.0'

SITE DATA
EXISTING ZONING: R-GMF, 0-6, B-2
PROPOSED ZONING: 0-6 (CD)
PROPOSED USE: OFFICE AND CREDIT UNION
BUILDING SIZE:
BANKING AREA = 5,521 SQ. FT.
(PARKING REQUIRED = 53)
OFFICE AREA = 10,387 SQ. FT.
(PARKING REQUIRED = 35)
TOTAL BUILDING AREA = 15,908 SQ. FT.
(TOTAL PARKING REQUIRED = 92)
(PARKING SPACES SHOWN = 92)
SITE SIZE: APPROXIMATELY 2.596 ACRES

- NOTES**
1. SITE PLAN DEPICTS A FIRM DEVELOPMENT PROPOSAL. ONLY MINOR CHANGES MAY BE MADE IN BUILDING LOCATION, PARKING AND CIRCULATION TO ACCOMMODATE SITE CONDITIONS.
 2. THE TWO DRIVEWAYS CURRENTLY ACCESSING SUNNYSIDE AVE. SHALL BE CLOSED AND AREA LANDSCAPED. THE ACCESS TO PROSPECT ST. SHALL BE CONSTRUCTED TO CITY OF CHARLOTTE STANDARDS.
 3. THE SIZED TREES SHOWN ON THE SITE PLAN ARE EXISTING AND SHALL BE PRESERVED. BARRICADES SHALL BE ERRECTED AROUND THEM DURING CONSTRUCTION TO PROTECT THEM.
 4. ADDITIONAL TREES AND OTHER LANDSCAPING SHALL BE INSTALLED TO MEET TREE ORDINANCE REQUIREMENTS.
 5. IF REQUIRED, STORM WATER DETENTION FACILITIES WILL BE PROVIDED ACCORDING TO THE GOVERNING ORDINANCES.
 6. IF A BOARD OF ADJUSTMENT WAIVER IS SOUGHT AND SECURED FOR THE INDEPENDENCE EXPRESSWAY TRANSITIONAL SETBACK, THE PARKING PLAN MAY BE ADJUSTED WITH PLANNING STAFF APPROVAL.

Attached Administrative approval dated 06/27/91 by Martin R. Cranston, Jr.

CHARLOTTE-MECKLENBURG
PLANNING COMMISSION
INTER-OFFICE COMMUNICATION

DATE: June 27, 1991
TO: Robert Brandon
Zoning Administrator
FROM: Martin R. Cranston, Jr.
Planning Director

SUBJECT: Administrative approval for Petition #90-42 by Charlotte Metro Credit Union, Tax Parcel #080-183-03, 02, 04, 12

Attached is a revised plan for the above mentioned petition. The plan has been revised to show a new parking lot circulation pattern and to show parking in the transitional right-of-way as allowed by the Board of Adjustment. Since these changes are internal and do not effect the yards at the exterior of the property, I am administratively approving this plan. Please use this plan when evaluating requests for building permits and certificates of occupancy.

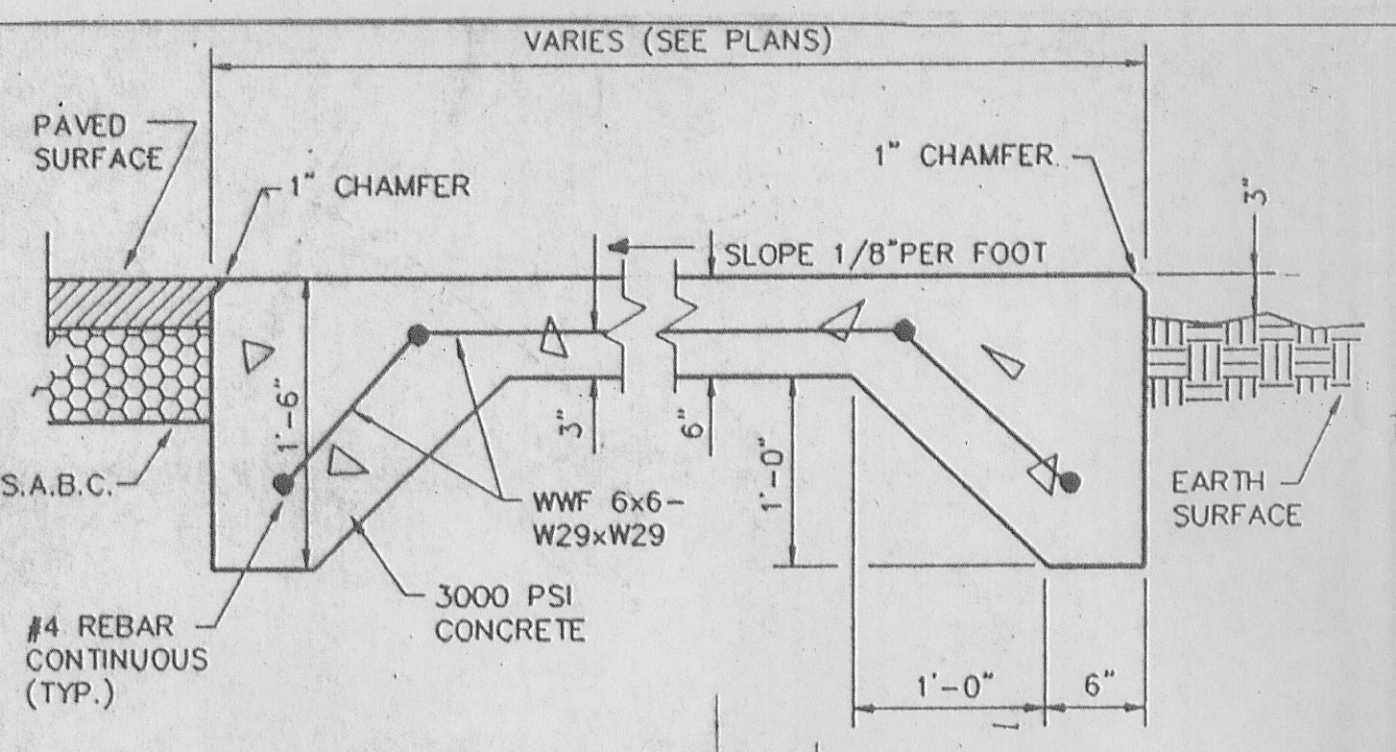
MRCJc/KRM/sls
Attachment

THIS DRAWING IS THE PROPERTY OF THE ARCHITECTS AND IS NOT TO BE USED FOR CONSTRUCTION PURPOSES OR REPRODUCED WITHOUT WRITTEN CONSENT OF THE ARCHITECTS. CONTRACTOR TO VERIFY ALL DIMENSIONS.

WILLIAMS AND ASSOCIATES
ARCHITECTS - ENGINEERS
POST OFFICE BOX 187, NORTH TRADE STREET
MATTHEWS, NORTH CAROLINA 28106

ISSUE DATE: 3.13.90
REVISION DATE: 9.09.90/10.4.90
DRAWN BY: FHW
CHECKED BY:
APPROVED BY:

CHARLOTTE METRO CREDIT UNION
CHARLOTTE, N.C.
SITE PLAN



SECTION @ DUMPSTER WALL
NO SCALE

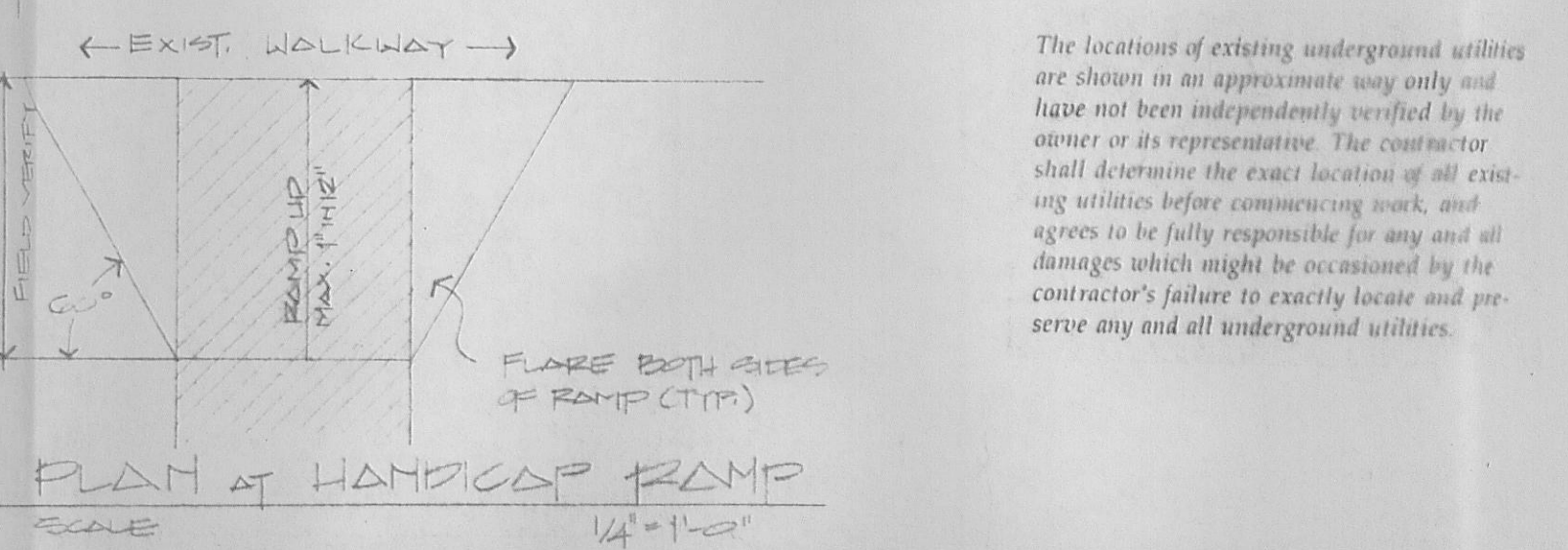
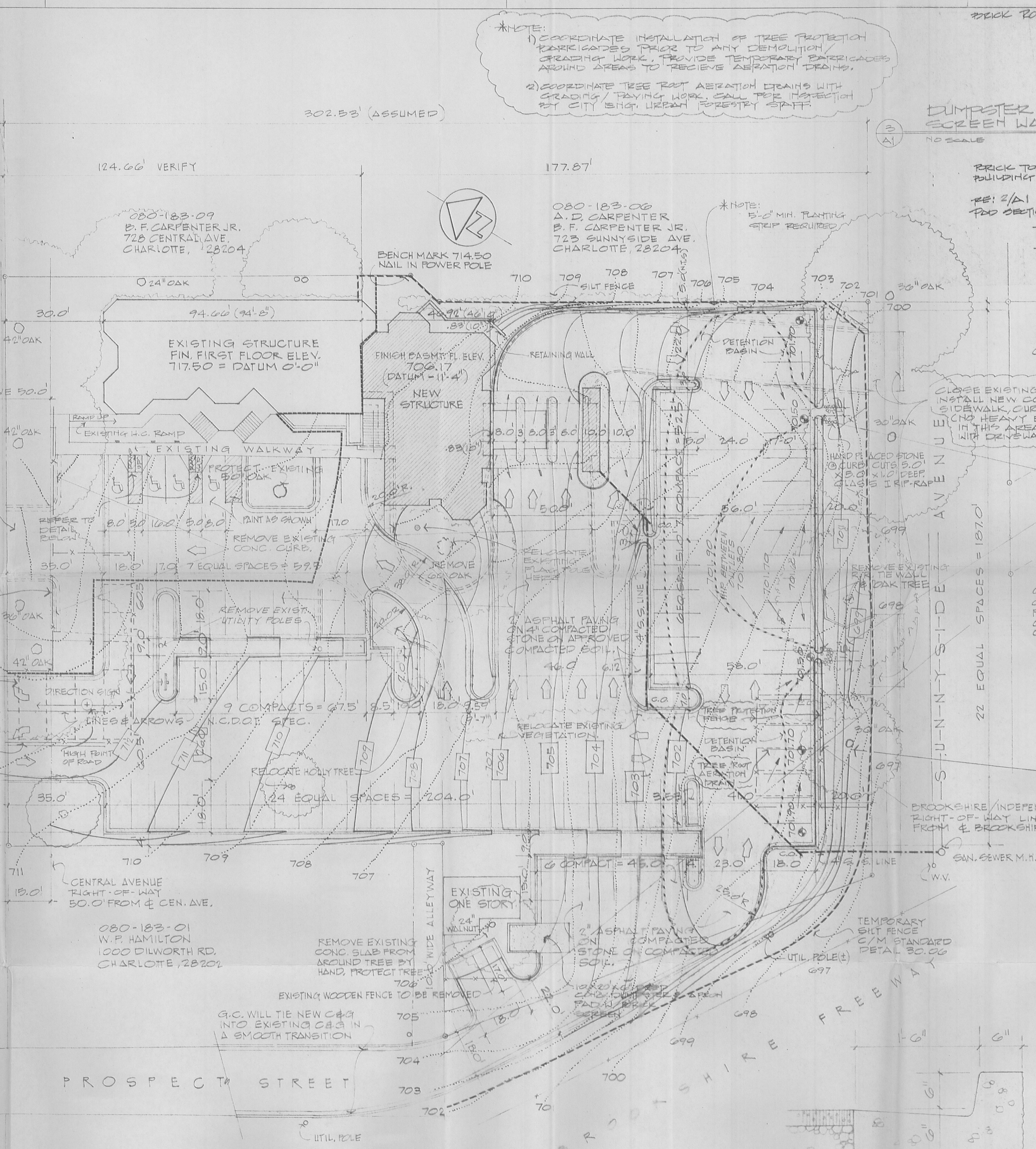
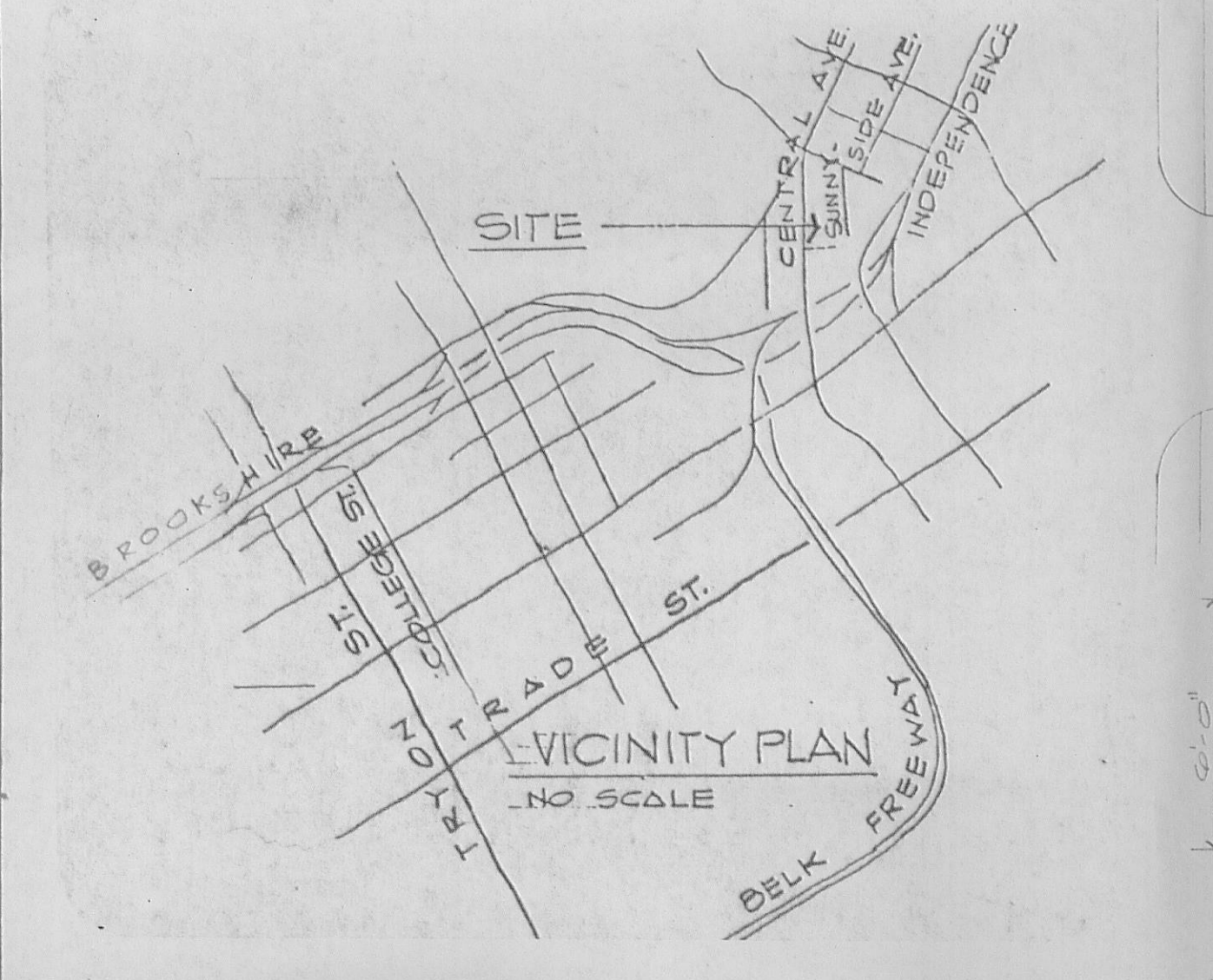
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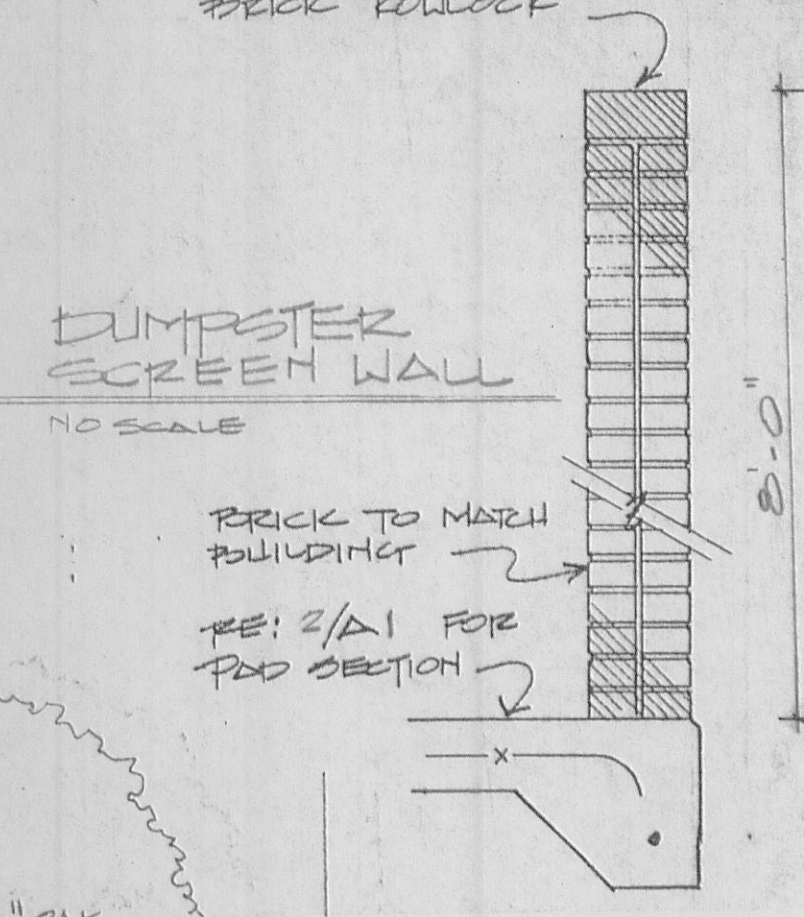
080-182-03
WAKEFIELD OPTICAL
711 CENTRAL AVE.
CHARLOTTE, 28232

*NOTE: FINE GRADE & FEATHER CUT WASHED STONE BOTTOM AS REQ'D FOR ADEQUATE COVER OVER AERATION DRAIN

FIRE HYDRANT



*NOTE:
1) COORDINATE INSTALLATION OF TREE PROTECTION BARRICADES PRIOR TO ANY DEMOLITION/GRADING WORK. PROVIDE TEMPORARY BARRICADES AROUND AREAS TO RECEIVE AERATION DRAINS.
2) COORDINATE TREE ROOT AERATION DRAINS WITH GRADING/PAVING WORK. CALL TREE PROTECTION BY CITY ENGR. URBAN FORESTRY STAFF.



- GRADING AND EROSION CONSTRUCTION SEQUENCE
1. Obtain Grading Permit from the City of Charlotte Engineering Department.
 2. Set up preconstruction conference on-site with Erosion Control Inspector of the City Engineering Department at 316-458 to discuss erosion control measures.
 3. Install silt fence, inlet protection, sediment basins, diversion ditches and other measures as shown on plans, clearing only as necessary to install these devices.
 4. Call 316-291 for on-site inspection by Engineering Inspector. When approved, begin clearing and grubbing.
 5. Maintain erosion control devices as needed.
 6. Stabilize site as areas are brought up to finished grade.
 7. All erosion control measures shall be in accordance with the N.C. Erosion and Sediment Control Planning and Design Manual, U.S. Dept. of Agriculture, SCS, the City of Charlotte Erosion Control Ordinance, and the standards of the City of Charlotte Engineering Department.
 8. The Contractor shall diligently and continuously maintain all erosion control devices and structures to minimize erosion. The Contractor shall maintain close contact with the City of Charlotte Erosion Control Inspector so that periodic inspections can be conducted at appropriate stages of construction.

- NOTES
1. All "Std." numbers refer to the Charlotte/Mecklenburg Land Development Standards Manual.
 2. To appear on all plans: "On-site burial pits require an on-site demolition landfill permit from the Zoning Administrator."
 3. Any grading beyond the denuded limits shown on the plans is subject to a fine.
 4. Grading more than one acre without an approved erosion control plan is subject to a fine.
 5. Any temporary sediment basin that is to be converted to a permanent stormwater detention facility requires a paved spillway when constructed in fill or over a fill dam.
 6. Stabilization is the best form of erosion control. Temporary seeding is necessary to achieve erosion control on large denuded areas and especially when the construction sequence requires it. All graded slopes are to be seeded within 30 days of completion of grading. All remaining areas are to be seeded within 120 days.

*NOTE: CONTRACTOR TO INSURE PROPER DRAINAGE TO CURB CUTS.
*NOTE: ROOF DRAIN(S) WILL EITHER SURFACE DISCHARGE INTO PLANTER AREAS OR DISCHARGE ONTO PAVEMENT IN WHICH CASE THE FLOW WILL FOLLOW FINISH CONTOUR.

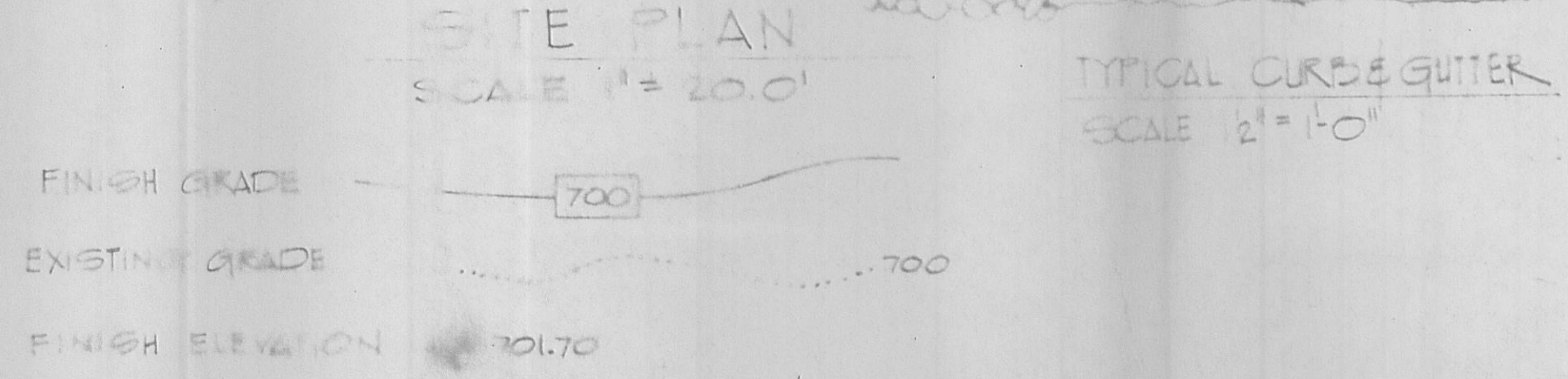
*NOTE: REFER TO SHEET A1.2 AND SECTION OF THE SPECIFICATIONS FOR LANDSCAPE AND PLANTING PLAN.

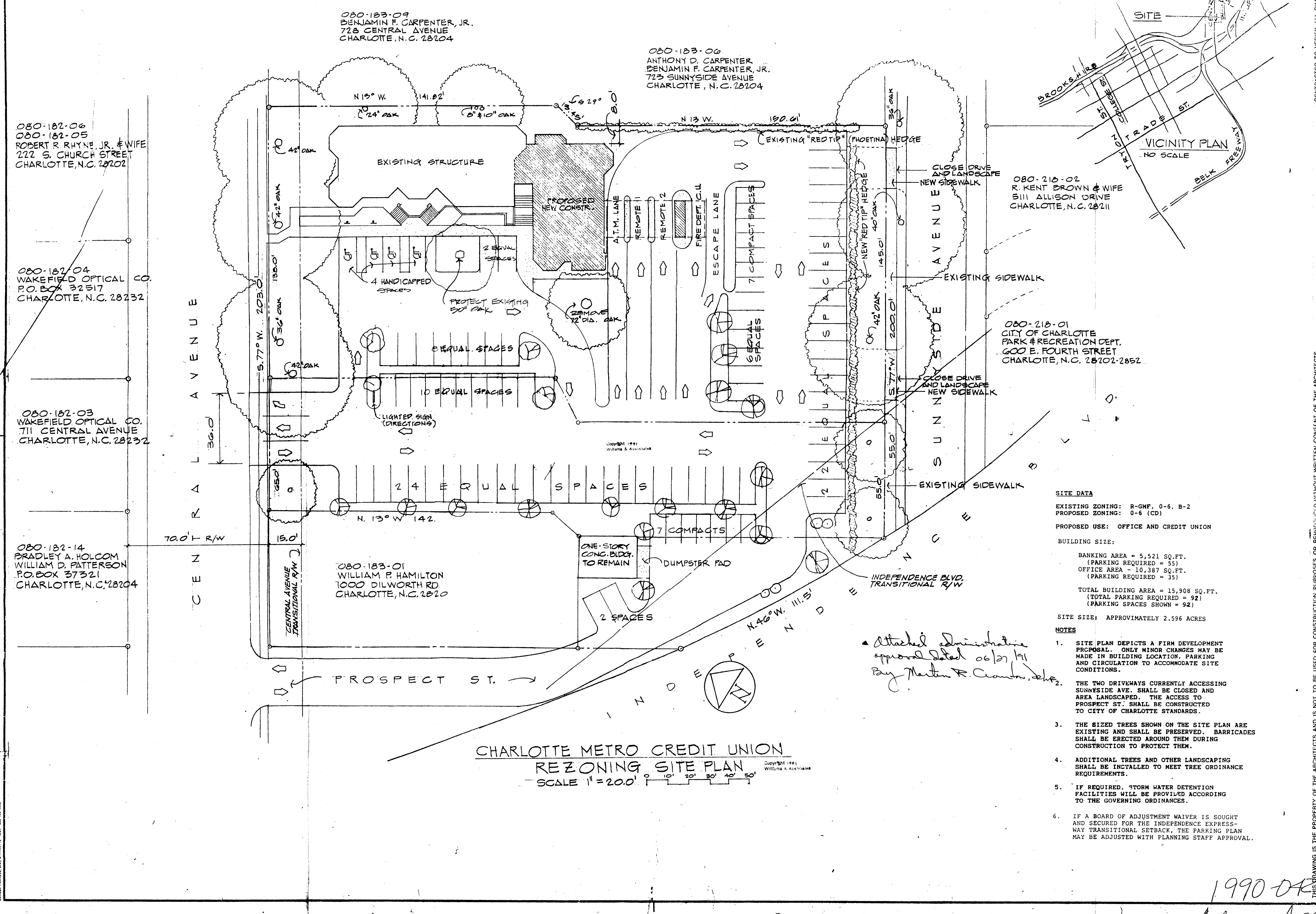
*NOTE: REFER TO SHEET A1.1 FOR DIMENSIONS AND COORDINATES OF PROPERTY LINES.

*NO FILL DIRECTLY UP TO TREE; INSTALL SMALL TIMBER WALL IF REQ'D

SITE DATA
EXISTING ZONING: R-GMF, 0-6, B-2
PROPOSED ZONING: 0-6 (CD)
PROPOSED USE: OFFICE AND CREDIT UNION
BUILDING SIZE:
BANKING AREA + 5,521 SQ.FT. (PARKING REQUIRED = 55)
OFFICE AREA - 10,387 SQ.FT. (PARKING REQUIRED = 35)
TOTAL BUILDING AREA = 15,908 SQ.FT. (TOTAL PARKING REQUIRED = 92)
SITE SIZE: APPROXIMATELY 1.596 ACRES

- NOTES:
1. THE TWO DRIVEWAYS CURRENTLY ACCESSING SUNNYSIDE AVE. SHALL BE CLOSED AND AREA LANDSCAPED. THE ACCESS TO PROSPECT ST. SHALL BE CONSTRUCTED TO CITY OF CHARLOTTE STANDARDS.
 2. THE TREES SHOWN ON THE SITE PLAN ARE EXISTING AND SHALL BE PRESERVED. BARRICADES SHALL BE ERECTED AROUND THEM DURING CONSTRUCTION TO PROTECT THEM.
 3. ADDITIONAL TREES AND OTHER LANDSCAPING SHALL BE INSTALLED TO MEET TREE ORDINANCE REQUIREMENTS.





SITE DATA

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 PROPOSED ZONING: 0-6 (CD)

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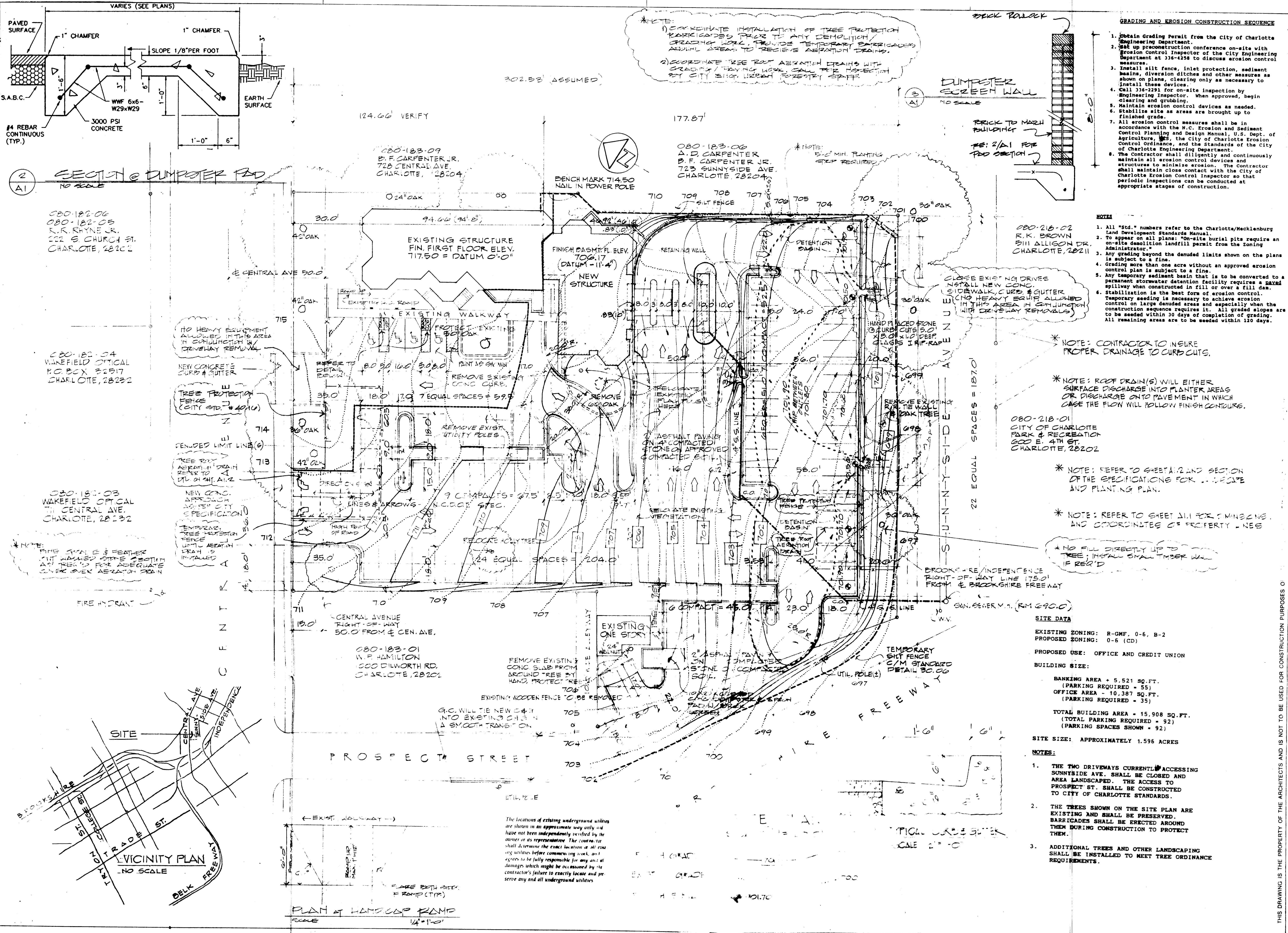
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- IF A BOARD OF ADJUSTMENT WAIVER IS SOUGHT AND SECURED FOR THE INDEPENDENCE EXPRESSWAY TRANSITIONAL SETBACK, THE PARKING PLAN MAY BE ADJUSTED WITH PLANNING STAFF APPROVAL.

Attached Administrative Approval Dated 06/27/11 By: Martin & Co., Inc.

1990-DR
 Admin. Approval

CONTRACTOR TO VERIFY ALL DIMENSIONS
 WILLIAMS AND ASSOCIATES
 ARCHITECTS AND ENGINEERS
 3111 ALLISON DRIVE
 CHARLOTTE, N.C. 28211
 PHONE: 704.371.9400
 FAX: 704.371.9400
 POST OFFICE BOX 187, NORTH TRADE STREET
 MATTHEWS, NORTH CAROLINA 28106
 TOTAL SHEETS: 1



GRADING AND EROSION CONSTRUCTION SEQUENCE

- Obtain Grading Permit from the City of Charlotte Engineering Department.
- Set up preconstruction conference on-site with Erosion Control Inspector of the City Engineering Department at 336-4258 to discuss erosion control measures.
- Install silt fence, inlet protection, sediment basins, diversion ditches and other measures as shown on plans, clearing only as necessary to install these devices.
- Call 311-2191 for on-site inspection by Engineering Inspector. When approved, begin clearing and grubbing.
- Install erosion control devices as needed.
- Stabilize site as areas are brought up to finished grade.
- All erosion control measures shall be in accordance with the N.C. Erosion and Sediment Control Planning and Design Manual, U.S. Dept. of Agriculture, and the standards of the City of Charlotte Engineering Department.
- The Contractor shall diligently and continuously maintain all erosion control devices and structures to minimize erosion. The Contractor shall maintain close contact with the City of Charlotte Erosion Control Inspector so that periodic inspections can be conducted at appropriate stages of construction.

NOTES:

- All "E.C." numbers refer to the Charlotte/Mecklenburg Land Development Standards Manual.
- All plans shall include a permit for on-site construction and a permit from the City of Charlotte Engineering Department.
- Any grading beyond the demarcated limits shown on the plans is subject to a fine.
- Grading more than one acre without an approved erosion control plan is subject to a fine.
- Any temporary sedimentation facility requires a permit from the City of Charlotte Engineering Department.
- Stabilization is the best form of erosion control. Temporary seeding is necessary to achieve erosion control on large denuded areas and especially when the construction requires it. All graded slopes are to be seeded within 30 days of completion of grading. All remaining areas are to be seeded within 90 days.
- NOTE: CONTRACTOR TO MAINTAIN PROPER DRAINAGE TO CURB CUTS.
- NOTE: ROOF DRAIN(S) WILL EITHER SURFACE DISCHARGE INTO PLANTER AREAS OR DISCHARGE INTO DRAINAGE IN WHICH CASE THE FLOW WILL FOLLOW FINISH CONTOUR.
- NOTE: REFER TO SHEET 02 AND SECTION OF THE SPECIFICATIONS FOR CURB AND PLANTING PLAN.
- NOTE: REFER TO SHEET 03 AND SECTION OF THE SPECIFICATIONS FOR CURB AND PLANTING PLAN.
- NOTE: ALL FULL DIRECTLY UP TO THE CURB TO BE MAINTAINED THROUGHOUT CONSTRUCTION IF REQ'D.

WILLIAMS AND ASSOCIATES
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