

OVERALL SITE DATA:

EXISTING ZONING: PARCEL 1: I-1(CD)
SITE PLAN AMENDMENT
(PETITIONS #88-37C / #8953C
 PARCEL 2: I-1(CD) SITE PLAN
AMENDMENT
PROPOSED ZONING: PARCEL 1: I-1(CD) SITE PLAN
AMENDMENT (PETITION #8953C
 PARCEL 2: B-D

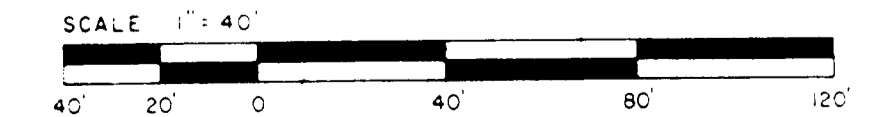
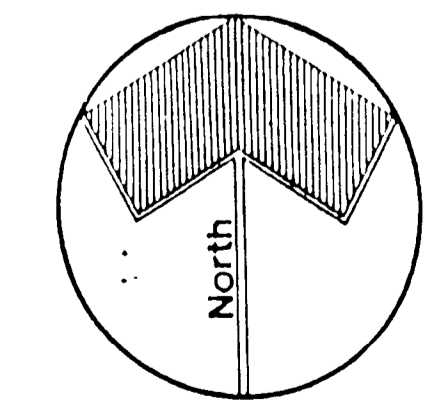
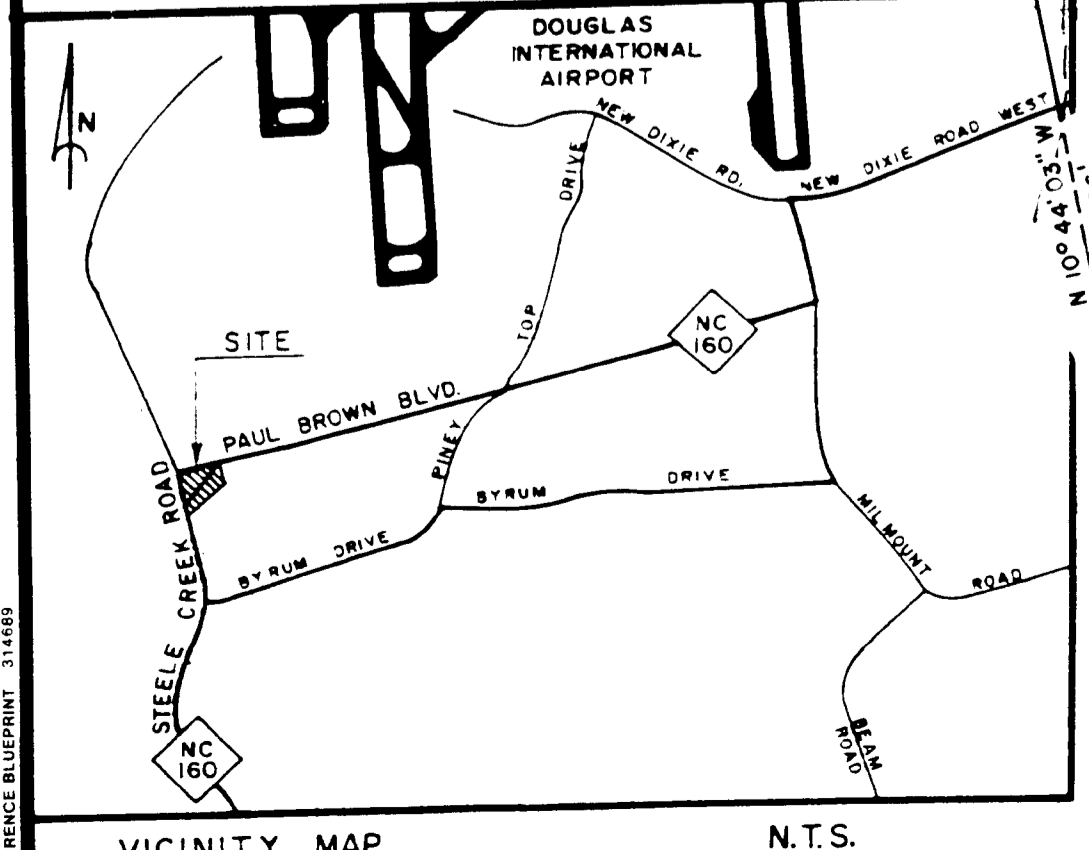
PARCEL 1: REQUEST BY FESTO CORPORATION
EXISTING ZONING: I-1(CD)
PROPOSED ZONING: I-1(CD) SITE PLAN
AMENDMENT
4.146 ACRES TOTAL
50,000 S.F. MAXIMUM

EXISTING B-D
 ACTION OF TAX PARCEL # 44 9502
 DEED REFERENCE # 667-577
 ROBERT O. BROWN

EXISTING B-D
 TAX PARCEL # 44 9502
 DEED REFERENCE # 667-577
 ROBERT O. BROWN
PARCEL 2: REQUEST BY ROBERT O. BROWN
EXISTING ZONING: I-1(CD)
PROPOSED ZONING: B-D
6.65 ACRES TOTAL

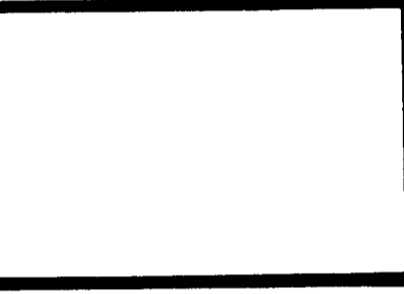
- FESTO C.D. REZONING:
- GENERAL CONDITIONS
- THIS SITE PLAN DEPICTS THE GENERAL LAYOUT AND CHARACTER OF THE PROPOSED BUILDINGS, PARKING AREAS, VEHICULAR CIRCULATION AND ACCESS POINTS FROM PAUL BROWN BOULEVARD. THE FINAL BUILDING FOOTPRINTS AND ASSOCIATED PARKING, CIRCULATION AND ACCESS POINTS WILL BE SUBJECT TO MINOR MODIFICATIONS AS FINAL CONSTRUCTION DRAWINGS ARE DEVELOPED. IN NO EVENT SHALL BUILDING(S) BE LOCATED OUTSIDE THE BUILDING DEVELOPMENT AREA.
 - A 20 FOOT BUFFER AREA IS PROPOSED ADJACENT TO PAUL BROWN BOULEVARD. THIS BUFFER AREA WILL CONTAIN THE REQUIRED 10 FOOT SIDE YARD. NO PARKING OR BUILDINGS SHALL OCCUR WITHIN THIS 20 FOOT AREA. THIS BUFFER AREA WILL BE LANDSCAPED USING A COMBINATION OF EARTH BERMS AND EVERGREEN SHRUBS IN ORDER TO SCREEN THE ADJACENT PARKING AREA. NO TREES ARE PROPOSED AS THIS 20 FOOT BUFFER AREA IS PART OF AN EXISTING 50 FOOT GAS EASEMENT IN WHICH PLANTING OF TREES IS NOT ALLOWED.
 - A 40 FOOT WIDE STREETSCAPE LANDSCAPE BUFFER IS ALSO PROPOSED ADJACENT TO STEEL CREEK ROAD AND THE INTERSECTION OF PAUL BROWN BOULEVARD AND STEEL CREEK ROAD. NO DEVELOPMENT OR PARKING SHALL OCCUR WITHIN THIS BUFFER AREA. THIS BUFFER SHALL ALSO FUNCTION AS A SCREENED AREA AND WILL BE LANDSCAPED USING A COMBINATION OF EVERGREEN TREES, DECIDUOUS STREET TREES AND EVERGREEN SHRUBS. THE EARTH BERM SHALL BE A MINIMUM OF 6 FEET IN HEIGHT. THIS 40 FOOT BUFFER AREA ALSO SERVES AS THE REQUIRED SETBACK.
 - A 15 FOOT BUFFER AREA IS PROPOSED ALONG THE SOUTH PROPERTY LINE. THE REQUIRED 10 FOOT SIDE YARD IS INCLUDED WITHIN THIS BUFFER AREA. THIS AREA WILL BE LANDSCAPED USING A COMBINATION OF DECIDUOUS AND EVERGREEN TREES AND EVERGREEN SHRUBS.
 - ALL BUFFER AREAS, AS INDICATED ON THIS PLAN, ARE IN EXCESS OR EQUAL TO THE REQUIRED SETBACK, SIDEYARD AND REAR YARD REGULATIONS FOR THE I-1 DISTRICT. THUS, THE BUFFER AREAS AND THE CONDITIONS/RESTRICTIONS AND IMPROVEMENTS ASSOCIATED WITH THESE AREAS WILL TAKE PRECEDENT OVER THE I-1 DISTRICT YARD REGULATIONS.
 - SIGNAGE FOR THIS PROJECT WILL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 2100, OF THE MECKLENBURG COUNTY ZONING ORDINANCE.
 - DRIVEWAY ACCESS ONTO PAUL BROWN BOULEVARD WILL BE SUBJECT TO REVIEW AND APPROVAL BY MECKLENBURG COUNTY ENGINEERING DEPARTMENT AND N.C.D.O.T. THROUGH THE ESTABLISHED DRIVEWAY PERMIT PROCESS. THERE WILL BE A MAXIMUM OF ONE MAIN ENTRANCE AND ONE AUXILIARY (SERVICE) ENTRANCE FROM PAUL BROWN BOULEVARD. NO ACCESS POINTS ARE PROPOSED FROM THE OTHER PUBLIC R.O.W.'S.
 - BOUNDARY INFORMATION FOR THE REZONING PARCEL WAS TAKEN FROM A CERTIFIED BOUNDARY SURVEY PLAT FOR ELBERT G. BROWN AS PREPARED BY HENRY L. PARNELL N.C.R.L.S. # 1631 AND DATED FEB. 15, 1988, AND FROM THE CERTIFIED BOUNDARY SURVEY PLAT FOR FESTO CORPORATION AND ROBERT O. BROWN PREPARED BY GIFFORD NELSON ASSOCIATES, INC.
 - TOPOGRAPHICAL INFORMATION FOR THE REZONING PARCEL WAS TAKEN FROM AERIAL TOPOGRAPHY FOR MECKLENBURG COUNTY SHEET NO. 137.
 - THE NUMBER OF PARKING SPACES SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 2000, OF THE MECKLENBURG COUNTY ZONING ORDINANCE.
 - THE BUILDINGS, AS SHOWN ON THIS SITE PLAN, MAY BE CONSTRUCTED AS TWO SEPARATE BUILDINGS OR AS ONE COMBINED BUILDING, DEPENDENT UPON FINAL SPACE AND PHASING REQUIREMENTS. BY EITHER CIRCUMSTANCE, THE MAXIMUM SQUARE FEET AND HEIGHT REQUIREMENTS, AS DEPICTED ON THIS PLAN, WILL NOT BE EXCEEDED.
 - THIS ENTIRE PARCEL WILL BE DEVELOPED AROUND A UNIFIED ARCHITECTURAL THEME IN ORDER TO PROVIDE A VISUALLY INTEGRATED DEVELOPMENT. ALL EXTERIOR LANDSCAPING WILL BE DESIGNED WITH CONSISTENT PLANT MATERIAL. THE PLANT MATERIAL WITHIN THE 50 FOOT GAS EASEMENT WILL REQUIRE APPROVAL BY PIEDMONT NATURAL GAS COMPANY.

EXISTING R-12
 N/F
 TAX PARCEL # 141-12-11
 DEED REF # 20-21-101
 WM. FRANKLIN BROWN
 EARL FRESTON
 CHARLOTTE, NC 28202



APPROVED BY COUNTY COMMISSION
 DATE 19 Nov 1990

DESIGN ASSOCIATES, INC.
 208 EAST 7TH ST. #202
 CHARLOTTE, NC 28202
 Phone: 704/375-1807
 Fax: 704/375-1807
 Landscape Architecture • Civil Engineering



Project: **C.D. REZONING SITE PLAN**
 MECKLENBURG COUNTY NORTH CAROLINA
 HAUPPAUGE, NEW YORK
 Sheet Title

Drawn By: TLH/SJH
 Date Drawn: 8/3/90

Revisions	No.	Date	By
	1	8/5/90	TLH/SJH
	2		HEARLICH
	3		
	4		
	5		

FILING DATE: 8/6/90

Project Number: **27046.01**
 Sheet: **1** of **1**

REVISED FOR PUBLIC HEARINGS PETITION # 89-53C

90-436