

**SITE PLAN NOTES**

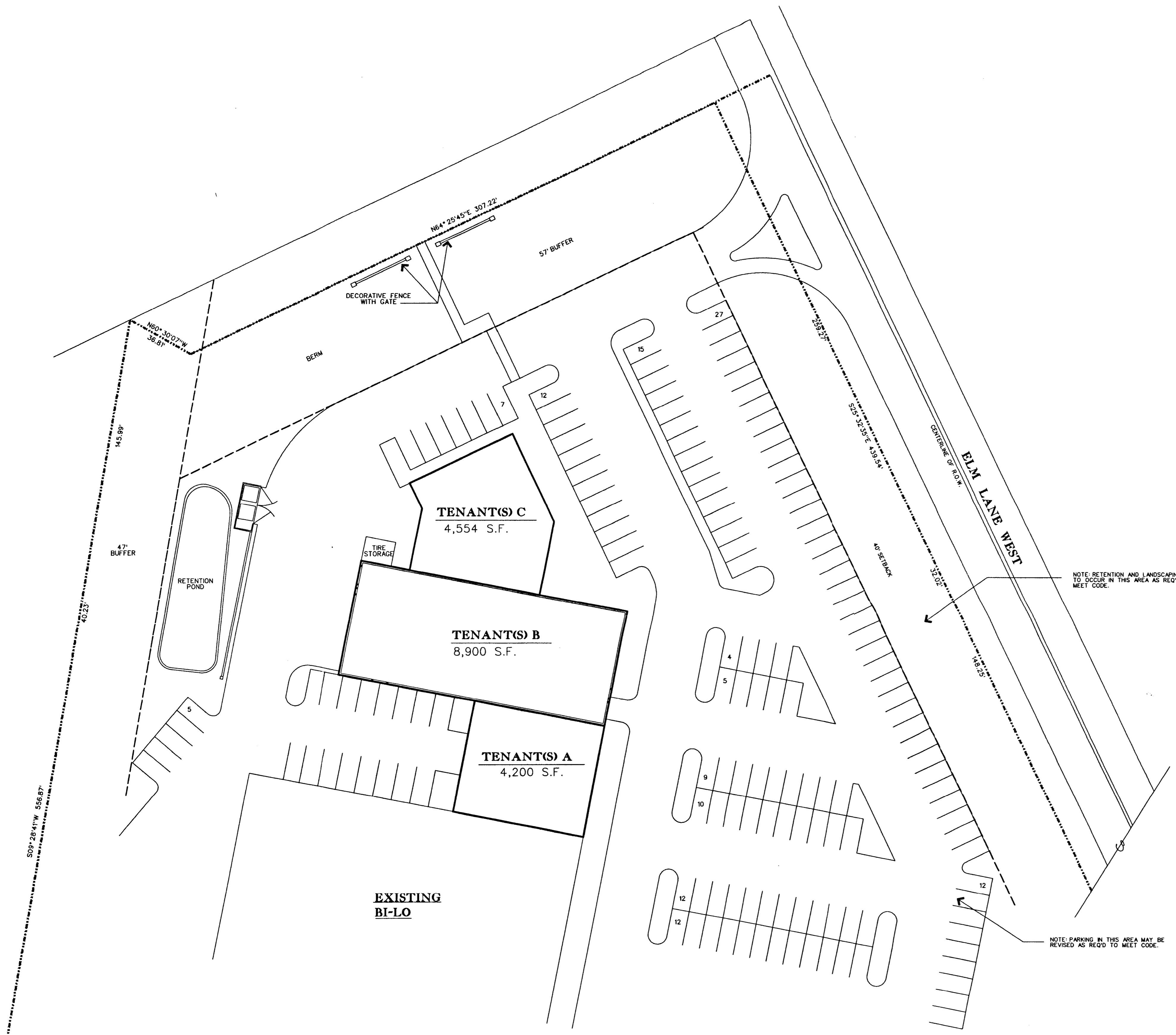
- The tenant indicated as 8,900 square feet is proposed to be a tire sales and service center. However, it may be any use approved by zoning classification.
- Other tenant uses shall be as allowed by zoning.
- The total square footage of the addition to the project shall not exceed the allowable square footage allowed for the total site under the approved B-1 (CD) Zoning. (17,720 sf additional sf allowed - 70,000 sf allowed for entire shopping center.)
- Certificate of Occupancy for Tenant B will not be issued prior to Certificate of Occupancy for the shell space at Tenant A (which includes walls and roof).

**ZONING NOTES**

- The tenant indicated as 8,900 sf is proposed to be a tire sales and service center, and this shall be the only tenant location where a tire sales and service center may be located. However, it may be any use approved by the zoning classification.
- In the event the tenant indicated as 8,900 sf is a tire sales and service center, the construction, use and operation of the space for that purpose shall be subject to the following:
  - The center shall be an enclosed bay design, i.e., it shall be completely enclosed with one point of vehicular entry on the west end of the building and one vehicular exit on the east end of the building and with all service bays on the interior.
  - The interior walls at the entrance and exit of the building shall include sound absorbent material.
  - The exterior walls of the building shall be consistent with and of similar design to the existing architecture of Camfield Corners and all wall signage shall be similar in size, location and design as other signage in Camfield Corners and shall meet the requirement of the Zoning Ordinance. Roadway signs shall be as allowed by the rezoning document RZ-1 (dated September 1, 1995) and the Ordinance.
  - All new tires shall be stored inside the center.
  - Any exterior used tire storage shall be in the area designated "tire storage" which shall be enclosed by a gated fence or walls and screened by the planting of not less than five (5) Cryptomeria trees, each not less than six feet (6') tall. The used tire storage area shall not be larger than three hundred (300) square feet and shall have a roof.
  - No structure shall be allowed outside the building envelope indicated.
  - A permanent sound absorbent wooden fence not less than fifty feet (50') in length shall be constructed as shown between the center and the retention pond at a height of twelve feet (12') with staggered vertical slats on both faces (staggered joints) and with landscaping on the western side of the fence.
  - All service work and tire replacement with the exception of used tire storage as permitted in these notes, shall occur inside the center.
  - Any lease covering the space occupied in the center will prohibit activity inconsistent with these notes and shall provide that the residents of the Village of Troon and Southgate Commons shall be third-party beneficiaries to the lease provisions.

This note no. 2(i) is the result of a dismissal to be taken in Southgate Commons Homeowners Association v. City of Charlotte, et al (00-CVS-13235). The interpretation and enforcement of this note is solely between the petitioner and any successors in interest and the residents of the Village of Troon and Southgate Commons. The interpretation and enforcement of this note does not pertain in any way to the City of Charlotte, the Zoning Administrator, or City's Zoning Board of Adjustment.

- Tenant uses indicated as 4,200 sf and 4,554 sf shall be allowed by zoning classification subject to the following:
  - The exterior walls and roof of Tenants A, B, and C shall be consistent with and of similar design to the existing architecture of Camfield Corners and all wall signage shall be similar in size, location and design as other signage in Camfield Corners.
  - No structure shall be allowed outside the building envelopes indicated and all structures will be attached.
- Sidewalks at a width of five feet (5') and curb and gutter shall be installed for the entire length of Elm Lane, an approximate distance of four hundred twenty feet (420') and shall connect the existing sidewalk in front of the Shopping Center to the existing sidewalk in front of Parcel II. This must be in conformance with the notes on Sheet RZ-1 (dated September 1, 1995) and the Ordinance.
- Before construction of improvements on the property commences, the following plantings and improvements in the berm and buffer areas shall be completed so as to provide a buffer during the construction period and thereafter.
  - 47' Western Buffer (Southgate Commons). Twenty-Six (26) Cryptomeria trees, a minimum of eight to ten feet (8' - 10') in height shall be planted along the fence line at intervals of not more than ten feet (10') so as to screen the rear of the structures.
  - 57' Northwestern Buffer (Village at Troon). Thirteen (13) Willow Oaks (2" caliper minimum), twenty-six (26) standard Burford Hollies (7 gallon minimum) and twenty-five (25) Osmanthis (7 gallon minimum) will be planted on the berm from the end of the fence to the pedestrian walkway. The current posts and structures surrounding the pedestrian walkway shall be removed and a six foot (6') black aluminum fence and gate (4'-5' width minimum) to match will be installed in or across the area between the two (2) berms connecting the ridge of each berm on each side of the pedestrian walkway. Nine (9) Willow Oaks (2" caliper minimum), eighteen (18) standard Burford Hollies (7 gallon minimum), and seventeen (17) Osmanthis (7 gallon minimum) will be planted on the berm extending from the pedestrian walkway to Elm Lane.
- Pavilion Properties, Inc., is successors and assigns, shall keep the property in good condition, including the regular maintenance of all landscape plantings, trees, shrubs, grass and lawn areas, in an attractive and thriving condition, with a full stand of grass, trimmed and weed free, edging, fertilizer, and re-seeding of grass areas as needed; repair and maintenance of underground irrigation systems (if any); replacement of dead shrubbery, plants and trees, and such other activities as shall be necessary to maintain the landscaping.
- Pedestrian sidewalks and crosswalks shall be built for pedestrian traffic to the Bi-Lo.
- The total square footage of the addition to the project shall not exceed the allowable square footage allowed for the total site pursuant to the approved B-1 (CD) Zoning (17,720 sf additional sf allowed).
- The Landscape notes above notwithstanding, the requirements for a Class B Buffer must be provided as defined in the Ordinance.



1 SITE PLAN  
SCALE: 1" = 30'-0"



ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: November 16, 2001  
BY: MARTIN R. CRAMTON, JR.

APPROVED: *Norman E. Williams*  
For Village of Troon

APPROVED: *Michael E. Lister*  
Richard E. Zeller, President  
Southgate Commons Homeowners Association

APPROVED: *R. Davis*  
PRESIDENT, PAVILION PROPERTIES, INC.

APPROVED: *Kath A. Malin*  
CMPC

CHARLOTTE - MECKLENBURG  
PLANNING COMMISSION

INTER - OFFICE COMMUNICATION

TO: Robert Brandon  
Zoning Administrator

DATE: November 16, 2001  
FROM: Martin R. Cramton, Jr.  
Planning Director

SUBJECT: Administrative Approval for Petition No. 95-50(c), Crosland Group, Inc.

Attached is a revised plan showing a minor reconfiguration of the shops located within this site and additional requirements agreed to with the surrounding neighbors. Since these changes are minor and do not alter the intent of the approved plan, I am administratively approving this revised plan. Please use this revised plan when evaluating requests for building permits and certificates of occupancy.

CHILDREY  
ROBINSON  
ASSOCIATES  
ARCHITECTURE

TIRE KINGDOM  
CAMFIELD CORNERS  
CHARLOTTE, NORTH CAROLINA  
PAVILION DEVELOPMENT CO.  
CHARLOTTE, NORTH CAROLINA

SEAL

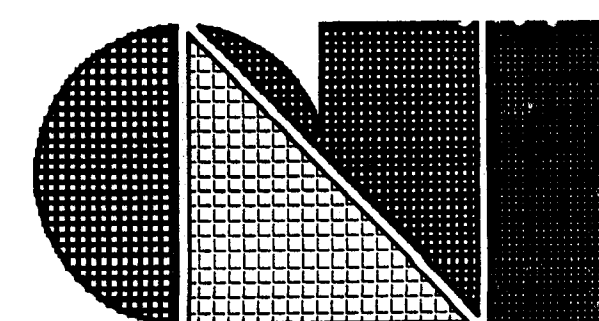
REVISIONS

DATE  
11-14-01

SHEET TITLE  
PHASE 2  
SITE PLAN

SHEET NUMBER

SP-1  
OF



C.L. Helt, Architect Inc.

1136 Greenwood Cliff  
Charlotte, NC 28204

Ph. 704-342-1686  
Fx. 704-343-0054  
E-MAIL CHETHLT@AOL.COM

ARCHITECT'S PROJECT # 03-272

Project: **UP-FIT**  
FOR  
**TOKYO EXPRESS**  
8634 CAMFIELD STREET  
SUITE B  
CHARLOTTE, NC 28202

Sheet Description:  
**SITE PLAN**

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Drawn By:  
WEAVER

Checked By:  
CHIEF

Revisions:  
①  
②  
③

Seal  
Date:  
9-20-03

Sheet No.  
C-1  
of 1

# NEW OUTSIDE WALK-IN COOLER AND FREEZER

## AREA OF WORK

F.F. 678

**CONSTRUCTION NOTES**

- 4" WIDE SIDEWALK
- 8" x 8" MIN. 4" THICK REINFORCED CONCRETE SLAB ON COMPACTED FILL
- HEAVY DUTY ASPHALT 2" B.C.S.C. - TYPE I
- LIGHT DUTY ASPHALT 1" B.C.S.C. - TYPE I
- 8" OAU SLOPED WALL (6" HIGH) (ALT. SHOWN BOX HOOD TRENCH)
- SOLID WASTE DISPOSER PAD (4" THICK, 3000 P.S. CONCRETE)
- 18" CONCRETE CURB AND GUTTER
- 18" x 18" LOADING SPACE/STRAIGHT BODY TROUGH
- STOP SIGN
- HANDICAP SIGN
- HANDICAP RAMP
- PAVED PLUME
- WHEEL STOPS

**GENERAL STAGING NOTES**

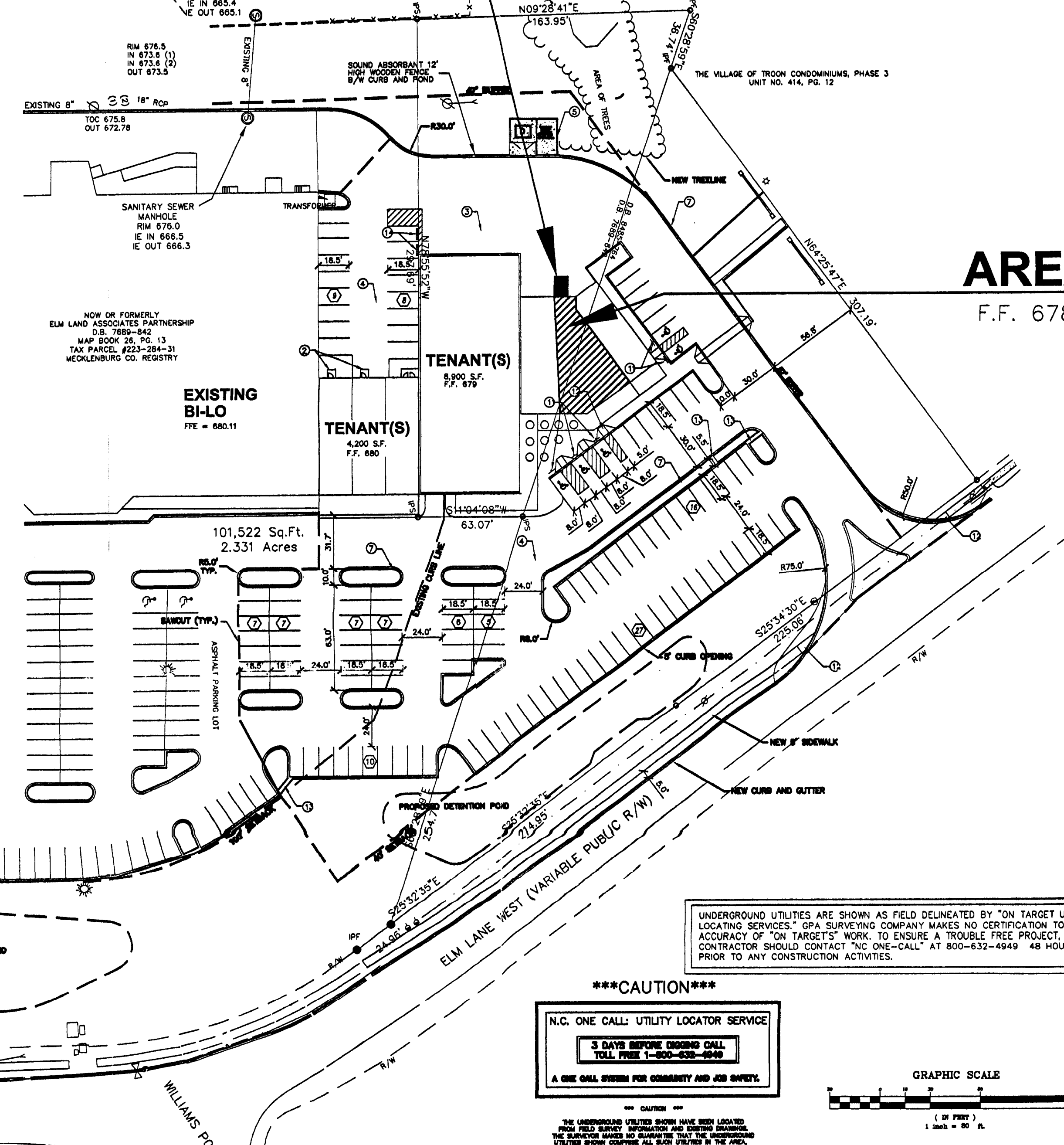
- PROPERTY BOUNDARY INFORMATION SHOWN HEREIN IS TAKEN FROM A BOUNDARY SURVEY PREPARED FOR THE PAVILION DEVELOPMENT COMPANY BY GFA LAND SURVEYING, INC.
- REFER TO SHEET C-XX FOR SITE CONSTRUCTION DETAILS.
- REFER TO SHEET C-XX FOR GRADING, DRAINAGE, AND STORM CONTROL NOTES.
- CONTRACTOR TO FIELD VERIFY THE EXISTING UTILITIES, STORM DRAINAGE, AND STAGING INFORMATION SHOWN HEREIN AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- WATER SERVICE TO BE EXTENDED TO THE SERVICE CENTER PROPERTY IS TO BE PROVIDED BY CHARLOTTE-MECKLENBURG UTILITIES (CALL CONTRACTOR TO CONTRACT PROPOSED WATER SERVICE FROM WATER TO THE BUILDING AS SHOWN HEREIN).

**SITE NOTES**

- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
- CONTRACTOR SHALL MATCH PROPOSED CURBS AND GUTTERS TO EXISTING CURBS AND GUTTERS IN GRADE AND ALIGNMENT.
- CONTRACTOR SHALL REPAIR PAVEMENT & CONCRETE IN ACCORDANCE WITH SPECIFICATIONS OF ALL APPLICABLE SPECIFICATIONS.
- GENERAL CONTRACTOR IS TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES AS INDICATED ON PLANS.
- CONTRACTOR SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STOPPING CURBS, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
- CONTRACTOR TO REMOVE OR RELOCATE, WHEN APPLICABLE, ALL EXISTING DRAIN PIPES, SANITARY SEWER PIPES, POWER HOLES, AND BUY WELLS, WATER METERS, AND WATER LINES, AND REPAIRS TO EXISTING UTILITIES, STORM DRAINAGE, AND STAGING INFORMATION SHOWN HEREIN AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS IN DISPOSING OF DEGRADED MATERIALS REMOVED FROM THE SITE.
- ALL UNPAVED AREAS DISTURBED BY GRADING OPERATIONS SHALL BE REVEGETATED WITHIN 90 DAYS OF COMPLETION OF CONSTRUCTION UNLESS OTHERWISE NOTED OTHERWISE.
- DIMENSIONS SHOWN ARE TO FACE OF CURB, FACE OF BUILDING, OR CENTERLINE OF PARKING BAY UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, PAVEMENT SHALL BE STANDARD DUTY ASPHALT.

**GENERAL NOTES**

- CONTRACTOR TO REMOVE OR RELOCATE, WHEN APPLICABLE, ALL EXISTING DRAIN PIPES, SANITARY SEWER PIPES, POWER HOLES, AND BUY WELLS, WATER METERS, AND WATER LINES, AND REPAIRS TO EXISTING UTILITIES, STORM DRAINAGE, AND STAGING INFORMATION SHOWN HEREIN AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
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- DIMENSIONS SHOWN ARE TO FACE OF CURB, FACE OF BUILDING, OR CENTERLINE OF PARKING BAY UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, PAVEMENT SHALL BE STANDARD DUTY ASPHALT.



UNDERGROUND UTILITIES ARE SHOWN AS FIELD DELINEATED BY "ON TARGET UTILITY LOCATING SERVICES." GFA SURVEYING COMPANY MAKES NO CERTIFICATION TO THE ACCURACY OF "ON TARGET'S" WORK. TO ENSURE A TROUBLE FREE PROJECT, THE CONTRACTOR SHOULD CONTACT "NC ONE-CALL" AT 800-632-4949 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES.

**\*\*\*CAUTION\*\*\***  
N.C. ONE CALL: UTILITY LOCATOR SERVICE  
3 DAYS BEFORE DIGGING CALL TOLL FREE 1-800-632-4949  
A ONE CALL SERVICE FOR COMMUNITY AND JOB SAFETY.

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED AND FIELD DELINEATED BY "ON TARGET UTILITY LOCATING SERVICES." GFA SURVEYING COMPANY MAKES NO CERTIFICATION TO THE ACCURACY OF "ON TARGET'S" WORK. TO ENSURE A TROUBLE FREE PROJECT, THE CONTRACTOR SHOULD CONTACT "NC ONE-CALL" AT 800-632-4949 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES.

# SITE/DIMENSIONING PLAN

CHARLOTTE-MECKLENBURG  
PLANNING COMMISSION  
INTER-OFFICE COMMUNICATION

TO: Robert Brandon  
Zoning Administrator

DATE: February 26, 2004

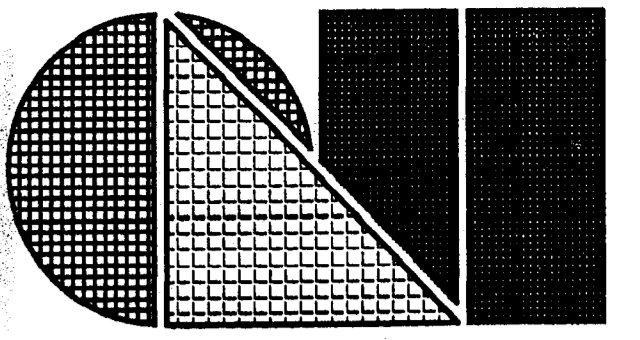
FROM: Debra Campbell  
Interim Planning Director

SUBJECT: Administrative Approval for Petition No. 95-50(e), Crosland Group, Inc. specifically the up-fit for Tokyo Express.

Attached is a specific plan showing an up-fit for the Tokyo Express. This plan indicates an enclosed cooler at the rear of the building that will require an increase of 49 square feet from the previously approved plan for a total of 70,049 square feet on the site. The cooler will be constructed of block with a roof and painted to match the rear of the building. Since these changes are minor and the addition of 49 square feet is allowed under the Zoning Ordinance, I am administratively approving this specific plan. Please use this specific plan when evaluating requests for building permits and certificates of occupancy.

**SITE NOTES**

- EXISTING BUILDING AREA = 69,930 SF
- ADDED WALK-IN COOLER = 119 SF
- GRASS TOTAL AREA = 70,049 SF
- CONC BLOCK VAULT WILL BE PAINTED TO MATCH THE EXISTING MORTAR & ROOFING WILL COVER THE TOP.



C.L. Helt, Architect Inc.

1136 Greenwood Cliff  
Charlotte, NC 28204

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Fx. 704-343-0054  
E-MAIL CHHELTH @ CLHELT.COM

ARCHITECT'S PROJECT # 03273

Project: UP-FIT

FOR  
**TOKYO EXPRESS**  
8634 CAMFIELD STREET  
SUITE B  
CHARLOTTE, NC 28202

Sheet Description: DIMENSION FLOOR PLAN

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Drawn By: CHIEF

Checked By: CLH

Revisions:

Seal

Date: 10-21-03

Sheet No. A-1 of 2

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS BEFORE DETERMINING THE BID PRICE. ANY VARIANCE SHALL BE REPORTED TO THE ARCHITECT OFFICE IMMEDIATELY. NO EXTRAS WILL BE PAID FOR WORK DONE DUE TO THE FAILURE OF CHECKING THE EXISTING CONDITIONS.

CONSTRUCTION NOTES:

- 1. DIMENSIONS ON FLOOR PLANS ARE FINISH WALL SURFACE TO FINISH WALL SURFACE.
2. VERTICAL DIMENSIONS AND NUMERICAL ELEVATIONS ARE TO THE FINISH SURFACE.
3. METAL STUD PARTITIONS SHALL HAVE REINFORCEMENT FOR ATTACHMENT OF WALL MOUNTED ITEMS AS REQUIRED, AND SHALL BE BRACED TO STRUCTURE ABOVE FOR HEAVY ITEMS AS REQUIRED FOR SUPPORT.
4. DIMENSIONS MARKED "CLEAR" INDICATE A MINIMUM CLEARANCE THAT MUST BE MAINTAINED.
5. CONTRACTOR TO PROVIDE DOORS, FRAMES, STOPS, MUTES, AND BUTTS THROUGHOUT FOR A COMPLETE INSTALLATION.
6. REFER TO ELEVATIONS AND SECTIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
7. REFER TO FINISHES AND MILLWORK PLANS FOR ADDITIONAL SPECIFICATIONS.
8. INFORMATION CONTAINED IN THESE DOCUMENTS IS BASED ON EXISTING DOCUMENTS AND LISTED FIELD MEASUREMENTS AND MAY BE REQUIRED ADJUSTMENTS AND/OR MODIFICATIONS TO CONFORM TO EXISTING CONDITIONS.
9. PERFORM CUTTING AND PATCHING IN A NEAT AND WORKMANLIKE MANNER.
10. IF EXISTING FIREPROOFING OR FIRE ASSEMBLIES ARE DAMAGED DURING CONSTRUCTIONS, THEY SHALL BE RESTORED TO CONFORM TO ORIGINAL FIRE PROTECTION REQUIREMENTS.
11. VERIFY THAT CONSTRUCTION OF EXISTING WALLS, FLOORS AND OPENINGS WITHIN THE PROJECT SCOPE MEET THE FIRE PROTECTION RATING DESIGNATED ON THESE DRAWINGS.
12. DO NOT SCALE DRAWINGS, IF DRAWINGS AGREE IN QUESTIONS, OBTAIN CLARIFICATION FROM ARCHITECT C. L. HELT, 704-342-1686 PRIOR TO CONTINUING CONSTRUCTION.
13. WORK SHALL COMPLY WITH THE A.D.A. REQUIREMENTS.
14. CONTRACTOR TO PROVIDE NEW 4" THICK CONCRETE SLAB, WITH SEALER, CONCRETE STRENGTH TO BE 3000 PSI @ 28 DAYS W/ 1 LAYER 6X6 10/10 WWF.
15. ALL TELEPHONE AND COMMUNICATIONS WIRING, WHETHER IN THIS CONTRACT OR UNDER SEPARATE CONTRACT, MUST BE AIR PLENUM APPROVED OR IN CONDUIT.
16. IF AUTOMATIC SPRINKLER SYSTEM IS EXISTING, MODIFICATIONS AND DOCUMENTATION FOR OBTAINING PERMITS IS RESPONSIBILITY OF THE CONTRACTOR.
17. IF HVAC IS EXISTING, RELOCATE DUCTWORK TO CONFORM TO REVISED WALL LOCATIONS.
18. MISCELLANEOUS HVAC AND PLUMBING WORK NOT SPECIFICALLY NOTED ON THE DRAWINGS SHALL COMPLY WITH THE APPLICABLE FEDERAL, STATE AND LOCAL CODES.
19. IF APPLICABLE, CONTRACTOR TO CLEAN AND REPAIR ALL EXISTING PLUMBING FIXTURES AND TOILET ACCESSORIES TO A NEW APPEARANCE AND GOOD WORKING CONDITION.
20. ALL 5/8" G.W.B. (MOISTURE RESISTANT IN RESTROOMS) IN THE LEASED PREMISES SHALL BE FURNISHED, INSTALLED, TAPED AND SPACKLED BY G.C.

PARTITION SYMBOL

Table with 2 columns: MARK, DESCRIPTION. Includes symbols for new wall, existing wall to remain, existing wall to be removed, and new one hr fire wall.

PARTITION LEGEND

Table with 2 columns: MARK, DESCRIPTION. Lists various partition types such as existing exterior wall, 1-hr partition, and standard interior walls.

\*\*\* WHERE PLUMBING IS SHOWN, CONTRACTOR TO ALLOW FOR SPECIAL WALL THICKNESS REQUIRED FOR SAME

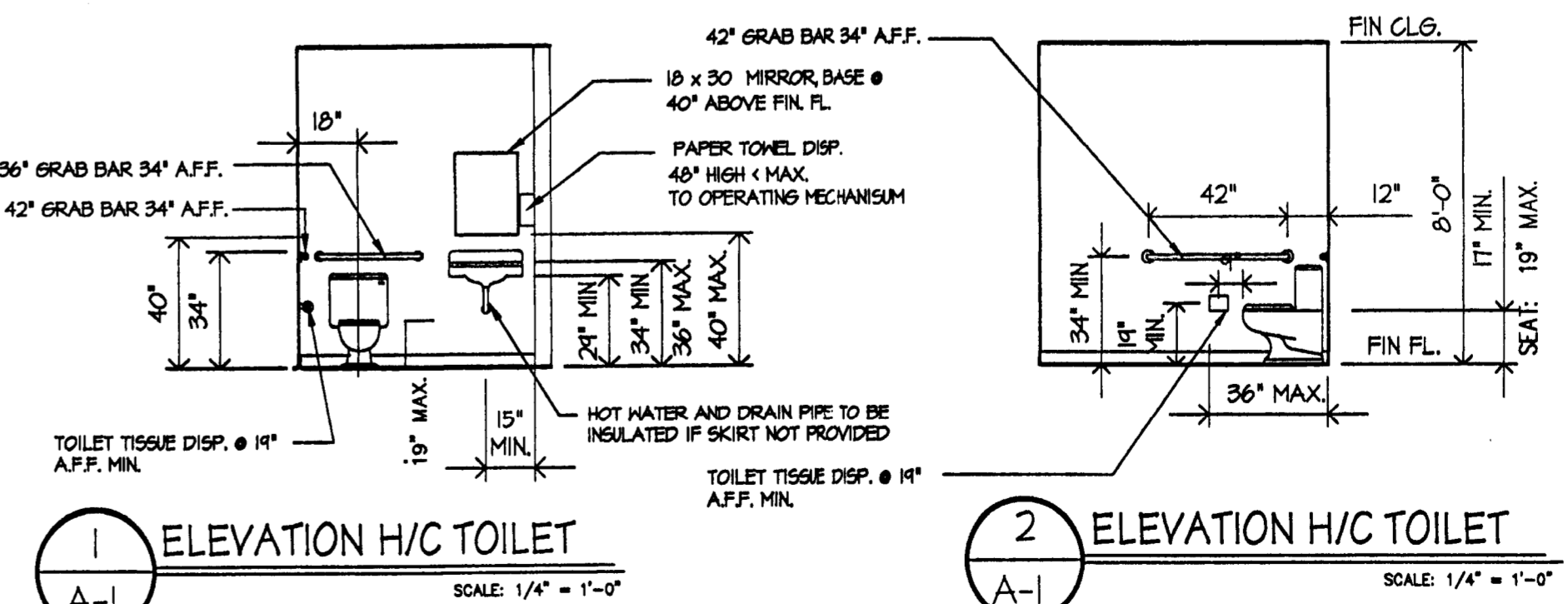
TOILET ACCESSORIES

Table with 6 columns: MARK, QTY, PROVIDED BY, INSTALLED BY, DESCRIPTION, MANUFACTURER/MODEL #. Lists items like grab bars, mirrors, and dispensers.

- NOTES:
- MOUNTING HEIGHTS SHALL COMPLY WITH ADA GUIDELINES.
- INSTALL ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- PROVIDE BLOCKING IN WALLS TO RECEIVE FIXTURES AND ACCESSORIES.
- PAPER TOWEL AND LIQUID SOAP DISPENSERS ARE INSTALLED AT EVERY LAVATORY AND/OR HAND SINK

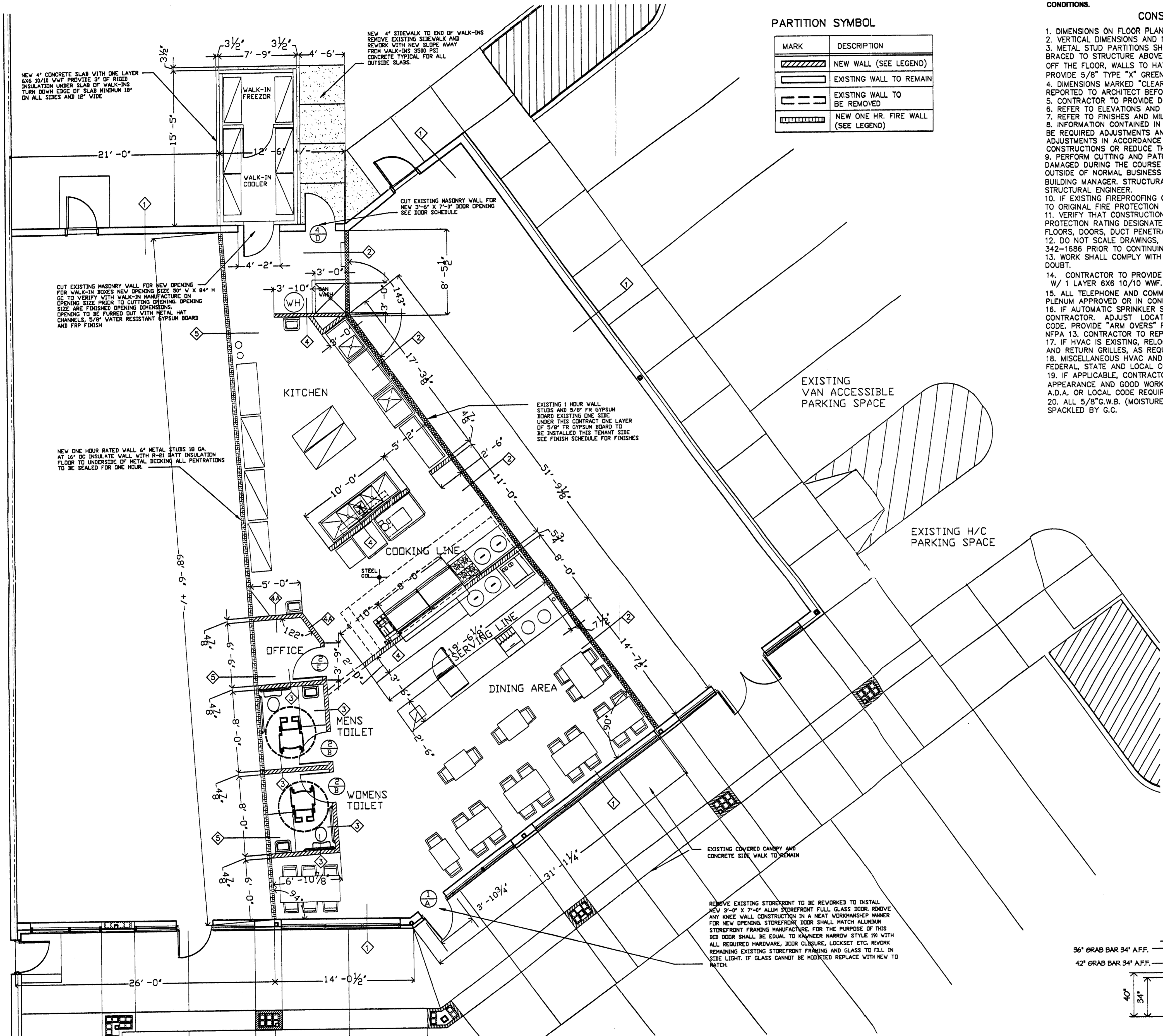
ENLARGED TOILET PLAN

SCALE: 3/8" = 1'-0"



1 ELEVATION H/C TOILET SCALE: 1/4" = 1'-0"

2 ELEVATION H/C TOILET SCALE: 1/4" = 1'-0"



DIMENSION FLOOR PLAN

SCALE: 3/16" = 1'-0"

ATTACHED TO ADMINISTRATIVE

February 26, 2004

APPROVED BY: D. Campbell