

SITE DATA:
EXISTING ZONING:
 B-15CD
 O-15(CD)
 O-1
 R-3
 R-4
PROPOSED ZONING:
 B-1(CD)
 O-1(CD)
PARCEL SIZE:
 PARCEL A: 1.011 ACRES - PROPOSED O-1(CD)
 PARCEL B: 7.833 ACRES - PROPOSED B-1(CD)
PROPOSED USES:
 • SINGLE FAMILY RESIDENCE [PARCEL A]
 • RETAIL/GROCERY STORE [PARCEL B]
MAXIMUM SQUARE FOOTAGE ALLOWED: 55,000 S.F. MAXIMUM
PROPOSED TWO WAY DRIVE (APPROXIMATE LOCATION)
PROPOSED 4' CONCRETE SIDEWALK
INSTALL CURB, GUTTER AND SIDEWALK
MAXIMUM DEVELOPMENT LIMITS FOR BUILDING
INSTALL SCREENING USING A COMBINATION OF EVERGREEN TREES AND SHRUBS
 -EVERGREEN TREES SHALL BE 7'-8' MIN. HEIGHT FULL TO GROUND SPECIMEN SPACED 8' O.C. MAX.
 -EVERGREEN SHRUBS SHALL BE 36" MIN. HEIGHT SPACED 4' O.C. MAX.
PERIMETER STREET TREES ALONG WILORA LAKE ROAD AND CENTRAL AVENUE SHALL BE LARGE MATURING DECIDUOUS 3" CAL. MIN.

- CONDITIONAL NOTES**
- THIS PLAN REPRESENTS A FIRM CONCEPT FOR DEVELOPMENT. HOWEVER, RECONFIGURATION AND MODIFICATIONS TO THE PROPOSED BUILDING, SERVICE AREA, AND PARKING LOT LAYOUT WILL BE ALLOWED, BASED UPON FINAL TENANT REQUIREMENTS AND MORE SPECIFIC SITE DEVELOPMENT CRITERIA FOR THE SPECIFIC B-1 USE. REGARDLESS, THE PROPOSED BUILDING AND SERVICE AREA DEVELOPMENT WILL OCCUR WITHIN THE LIMITS OF MAXIMUM DEVELOPMENT AREA AS INDICATED ON THIS PLAN. HOWEVER, MINOR IMPROVEMENTS TO THE EXISTING PARKING LOT ON THE ADJACENT EASTLAND MALL ASSOCIATES PARCEL MAY BE REQUIRED IN ORDER TO ACCOMMODATE PROPOSED ACCESS TO MALL AND SUBJECT PROPERTY'S SERVICE AREA.
 - THE SITE SHALL COMPLY WITH APPLICABLE REGULATIONS PERTAINING TO OFF STREET PARKING, BUFFERS, TREE ORDINANCE AND STORM WATER DETENTION. SCREENING OF PARKING LOTS AND SERVICE AREAS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 12.303 OF THE CITY OF CHARLOTTE ZONING ORDINANCE.
 - THE PETITIONER SHALL DEDICATE SUFFICIENT RIGHT-OF-WAY ALONG CENTRAL AVE./ALBEMARLE RD TO ESTABLISH A 75 FOOT RIGHT-OF-WAY AS MEASURED FROM THE CENTERLINE OF THE EXISTING 100 FOOT RIGHT-OF-WAY. THE ADDITIONAL RIGHT OF WAY WILL BE DEDICATED PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS.
 - PROPOSED USES FOR THIS PROPERTY SHALL BE ALL USES PERMITTED BY RIGHT IN THE B-1 ZONING DISTRICT.
 - A 100 FOOT WIDE PARCEL SHALL BE USED FOR A SINGLE FAMILY RESIDENCE. THIS "LOT" IS INDICATED HEREIN AS PARCEL "A". THIS SINGLE FAMILY RESIDENTIAL USE SHALL BE BUFFERED FROM THE ADJACENT RETAIL USE IN COMPLIANCE WITH APPLICABLE REQUIREMENTS SET FORTH IN THE CITY OF CHARLOTTE ZONING ORDINANCE.
 - ONE RIGHT-IN ONLY DRIVEWAY IS PROPOSED ONTO CENTRAL AVENUE. THE DESIGN OF THIS ACCESS WILL HAVE A MINIMUM OF 150 LINEAR FEET OF STACKING/STORAGE INTO THE PROPERTY AND COMPLY WITH APPLICABLE CITY OF CHARLOTTE DEPARTMENT OF TRANSPORTATION STANDARDS. IN ADDITION, THE DEVELOPER WILL DEMOLISH EXISTING CURB AND GUTTER TO CONSTRUCT A 150 FOOT RIGHT TURN LANE WITH A 240 FOOT TAPER. NEW CURB AND GUTTER AND A SIDEWALK WITH A PLANTING STRIP WILL BE INSTALLED AS PART OF THESE ROADWAY IMPROVEMENTS.
 - CURB AND GUTTER IMPROVEMENTS AND A SIDEWALK WITH A PLANTING STRIP WILL BE EXTENDED DOWN WILORA LAKE ROAD FOR THE LENGTH OF THE PROPERTY. ONE DRIVEWAY ACCESS IS PROPOSED ONTO WILORA LAKE ROAD AND SAID DRIVE SHALL BE DEVELOPED IN ACCORDANCE WITH CDOT STDS.
 - THE REAR OF THE PROPOSED RETAIL DEVELOPMENT SHALL BE HEAVILY SCREENED AND LANDSCAPED BY INSTALLING A COMBINATION OF EVERGREEN TREES AND SHRUBS AS INDICATED ON THIS PLAN.
 - FIRE HYDRANTS SHALL BE LOCATED WITHIN 750 FEET, AS THE TRUCK TRAVELS, OF THE MOST REMOTE AND ACCESSIBLE POINT OF ALL BUILDINGS.
 - WALL MOUNTED LIGHTS ON THE BUILDING AND ALL SECURITY LIGHTS ON FREE STANDING POLES WILL BE ORIENTED INWARD AND SHIELDED FROM ADJACENT RESIDENTIAL PROPERTIES. EXTERIOR LIGHTING SHALL BE A MAXIMUM OF 35 FEET IN HEIGHT.
 - ROOF TOP MECHANICAL EQUIPMENT WILL BE SCREENED ON ALL FOUR SIDES WITH A PARAPET WALL.
 - A DEVICE SHALL BE INSTALLED AS INDICATED ON THE SITE PLAN TO PREVENT THE USE OF THE WILORA LAKE DRIVEWAY FOR TRUCK TRAFFIC.
 - GRADING WILL BE PERMITTED WITHIN THE 63 FOOT CLASS B BUFFER IN ORDER TO CREATE THE PROPOSED BERM AND ACCOMMODATE GRADING ASSOCIATED WITH THE DRIVEWAY CONNECTION TO WILORA LAKE ROAD. THE ENTIRE BUFFER, INCLUDING GRADED AREAS, WILL BE LANDSCAPED IN ACCORDANCE WITH ORDINANCE REQUIREMENTS.

REVISED "AS FOR PUBLIC HEARING" PETITION #95-56

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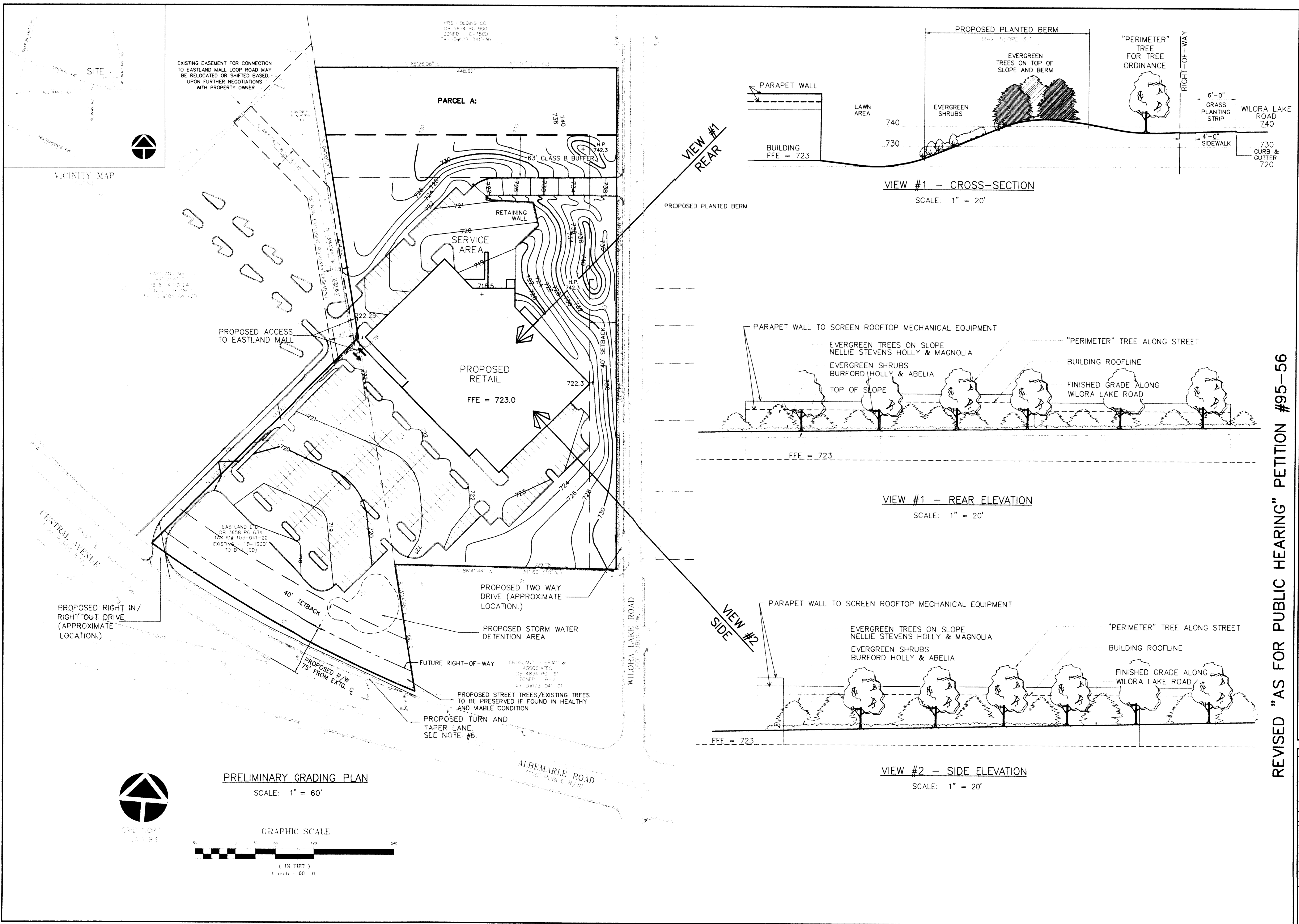
CONDITIONAL DISTRICT REZONING REQUEST
 GROCERY STORE

HANNAFORD BROTHERS COMPANY
 CENTRAL AVENUE/WILORA LAKE ROAD

Project No. **35746**
 Checked by: THT
 Drawn by: THT
 Date Drawn: 1/7/95

Revisions:
 1. 6/19/95 - REVISED FOR PUBLIC HEARING
 2. 7/23/95 - REVISED PER CITY STAFF
 3. 7/20/95 - REVISED PER ZONING COMMITTEE

Sheet **1 OF 2**



PRELIMINARY GRADING PLAN
 SCALE: 1" = 60'

VIEW #1 - CROSS-SECTION
 SCALE: 1" = 20'

VIEW #1 - REAR ELEVATION
 SCALE: 1" = 20'

VIEW #2 - SIDE ELEVATION
 SCALE: 1" = 20'

REVISED "AS FOR PUBLIC HEARING" PETITION #95-56

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SUPPLEMENTAL GRAPHICS PLAN ILLUSTRATIVE
 HANNAFORD BROTHERS COMPANY
 CENTRAL AVENUE/WILORA LAKE ROAD

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Sheet **2 OF 2**