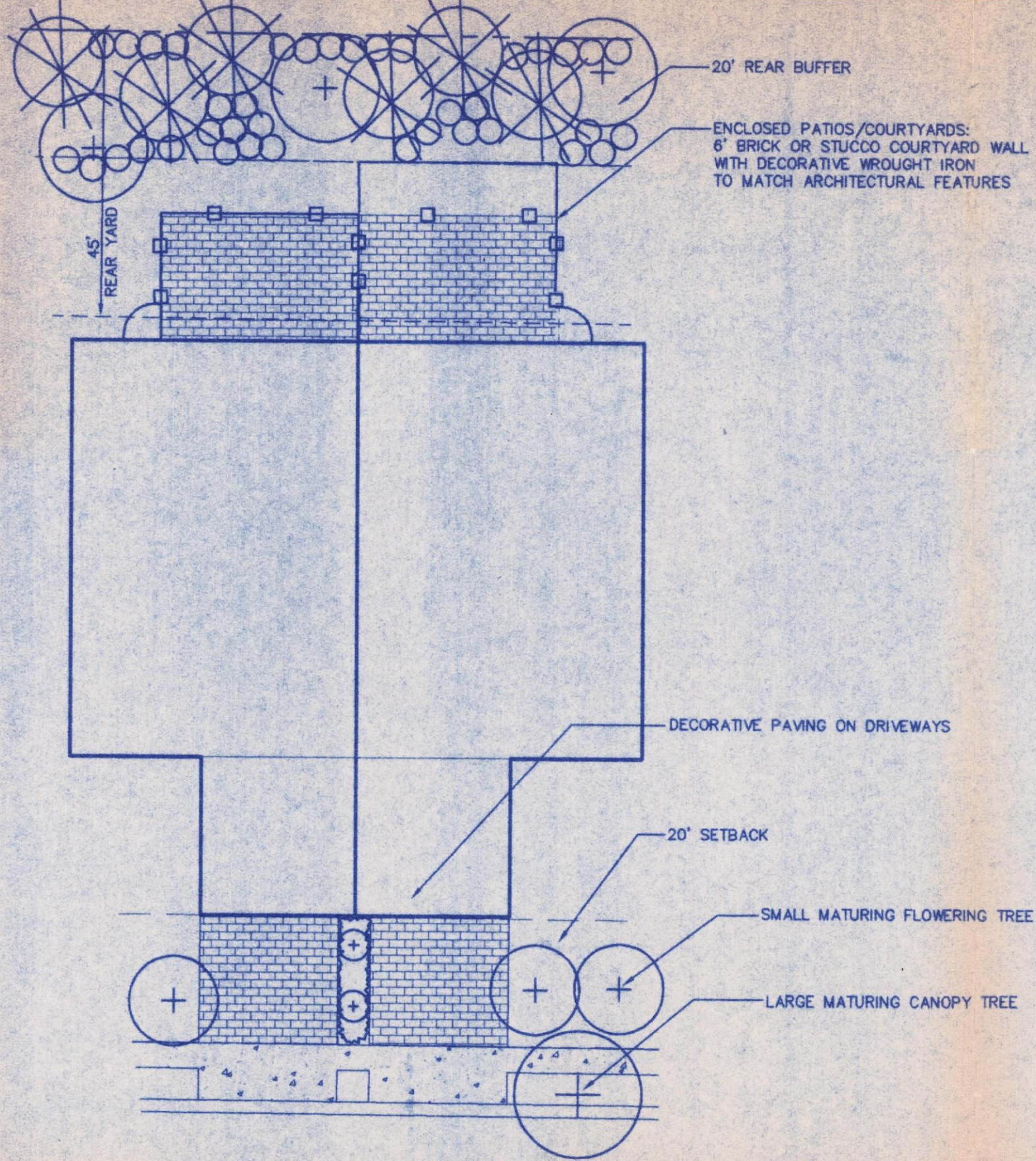


VICINITY MAP
(N.T.S.)

THE 20' REAR BUFFER WILL BE HEAVILY LANDSCAPED IN ORDER TO FORM A DENSE VEGETATIVE SCREEN BY INSTALLING A COMBINATION OF THE FOLLOWING PLANT MATERIAL:

- LARGE MATURING EVERGREEN TREES 8'-10' MINIMUM HEIGHT
- LARGE MATURING DECIDUOUS TREES 3" MINIMUM CALIPER
- EVERGREEN SCREEN SHRUBS 3' MINIMUM HEIGHT



TYPICAL LANDSCAPING

SCALE: 1"=20' (ILLUSTRATIVE TREATMENT AROUND EACH DUPLEX UNIT)

CONDITIONAL NOTES:

- THIS SITE PLAN REPRESENTS A FIRM CONCEPT FOR DEVELOPMENT REGARDING ACCESS FROM SHARON VIEW ROAD AND FOR THE ARRANGEMENT OF THE UNITS, PARKING AND THE PUBLIC STREET. HOWEVER, MODIFICATIONS TO THIS SITE LAYOUT SHALL BE PERMITTED BASED UPON SITE CONSTRAINTS, FINAL ENGINEERING, ARCHITECTURAL AND SUBDIVISION REQUIREMENTS. REGARDLESS OF THE FINAL SITE LAYOUT CONFIGURATION, THE PROPOSED UNITS SHALL NOT ENCROUGH INTO THE 40 FOOT SIDE YARD ALONG SHARON VIEW ROAD OR INTO THE 45 FOOT REAR YARD OR 10 FOOT SIDEYARD AROUND THE PROPERTY PERIMETER.
- THE PETITIONER SHALL BE ALLOWED TO EXTEND PATIOS, COURTYARDS, PORCHES OR DECKS INTO THE 45 FOOT REAR YARD AREA. HOWEVER, THESE FEATURES CANNOT EXTEND INTO THE 20 FOOT REAR BUFFER AREA OR INTO THE 10 FOOT SIDE YARD AREA.
- ONE PUBLIC STREET ACCESS POINT IS PROPOSED FROM SHARON VIEW ROAD. THIS NEW PUBLIC STREET CONNECTION WILL BE DESIGNED IN ACCORDANCE WITH CITY OF CHARLOTTE TRANSPORTATION DEPARTMENT REQUIREMENTS.
- THE PETITIONER/DEVELOPER SHALL DEDICATE ADDITIONAL RIGHT-OF-WAY ALONG SHARON VIEW ROAD TO ESTABLISH A FUTURE RIGHT-OF-WAY LINE THAT MEASURES 35 FEET FROM THE CENTERLINE OF SHARON VIEW ROAD. THE RIGHT-OF-WAY SHALL BE DEDICATED PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT ASSOCIATED WITH THE PROPOSED DEVELOPMENT.
- THE DEVELOPMENT ASSOCIATED WITH THIS PROPERTY SHALL COMPLY WITH ALL APPLICABLE ORDINANCE REQUIREMENTS PERTAINING TO THE CITY OF CHARLOTTE SUBDIVISION ORDINANCE AND OTHER APPLICABLE CITY LAND DEVELOPMENT STANDARDS. THE REQUIREMENT FOR A 100 PLUS 1 STUDY SHALL BE EVALUATED DURING THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS, AND IF 50 CFS THRESHOLD IS EXCEEDED, SAID STUDY SHALL BE PROVIDED IN ACCORDANCE WITH CITY ENGINEERING STANDARDS.
- STORM WATER DETENTION SHALL BE PROVIDED IN ACCORDANCE WITH CITY OF CHARLOTTE STANDARDS. AN ABOVE-GRADE STORM WATER DETENTION FACILITY WILL NOT BE LOCATED IN THE 40 FOOT FRONT SETBACK ALONG SHARON VIEW ROAD.
- FIRE HYDRANTS SHALL BE LOCATED WITHIN 750 FEET, AS THE FIRE TRUCK TRAVELS, OF THE MOST REMOTE AND ACCESSIBLE POINT OF ALL BUILDINGS.
- A FOUR FOOT SIDEWALK WILL BE CONSTRUCTED ON ONE SIDE OF THE STREET TO SERVE THE UNITS. LARGE MATURING STREET TREES WILL BE INSTALLED ALONG THE BACK OF CURB ON BOTH SIDES OF THE PUBLIC CUL-DE-SAC STREET.
- THE AREA BETWEEN THE ENCLOSED COURTYARDS AND THE NORTHERN PROPERTY LINE SHALL BE HEAVILY LANDSCAPED USING A COMBINATION OF LARGE MATURING DECIDUOUS TREES AND EVERGREEN TREES AND SHRUBS. THE 10 FOOT LANDSCAPE AREA ALONG THE SOUTHERN PROPERTY LINE SHALL BE SUPPLEMENTED WITH LARGE MATURING TREES INSTALLED AT 3" CALIPER MINIMUM SIZE.
- BASED UPON DISCUSSIONS WITH CITY OF CHARLOTTE ENGINEERING, A MODIFICATION OF THIS CONDITIONAL APPROVAL IS REQUESTED TO ELIMINATE THE REQUIREMENT OF NOTE NO. 8 ABOVE REGARDING STORM WATER DETENTION AND INSTEAD INSTALL OFF-SITE CITY DRAINAGE IMPROVEMENTS. THE OFF-SITE IMPROVEMENTS WILL CONTROL RUNOFF FROM SHARON VIEW ROAD AND DISCHARGE ALL RUNOFF AT AN EXISTING 42" STORM PIPE AT GAYMOND DRIVE. THE AGREEMENTS ARE IN PLACE WITH THE AFFECTED NEIGHBORS.

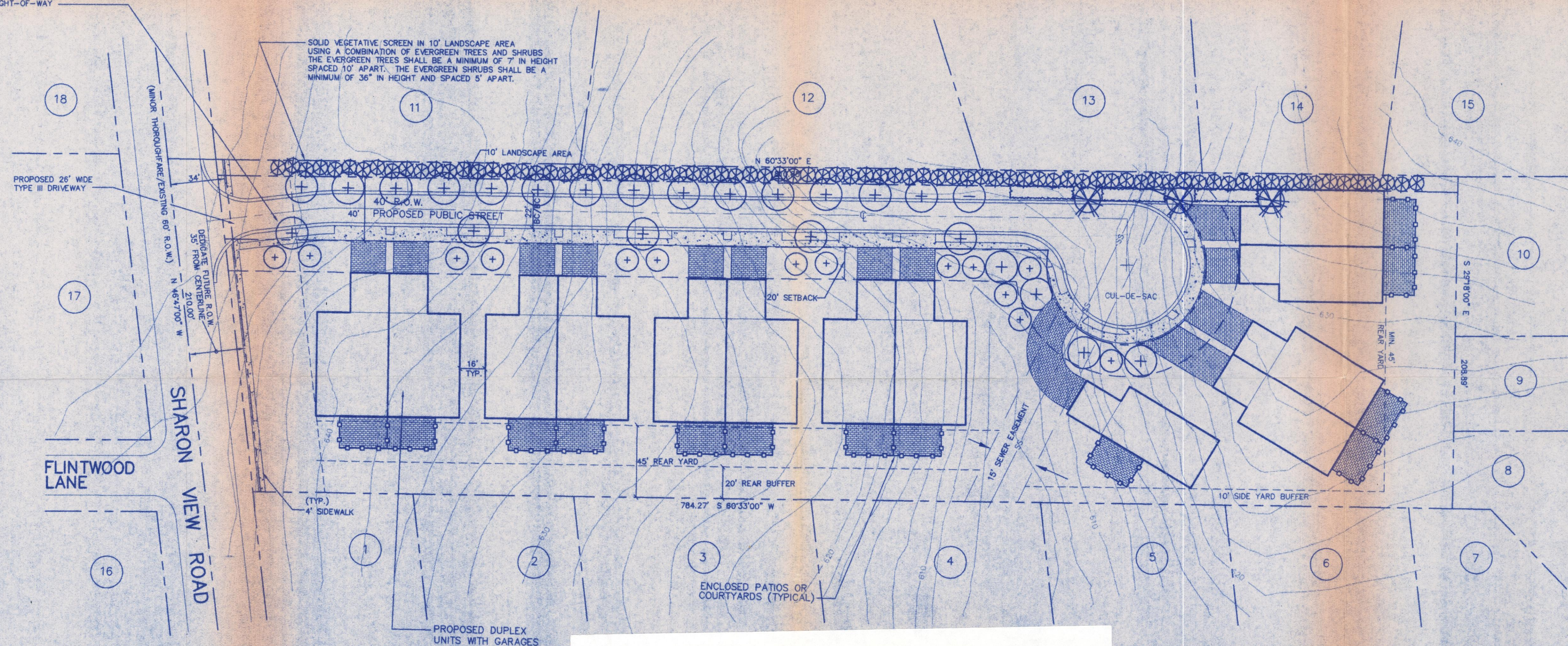
SITE DEVELOPMENT DATA:

SITE AREA : 3.67 ACRES (EXCLUDING R.O.W.)
 EXISTING ZONING : R-3
 PROPOSED ZONING : R-8 (CD)
 MAXIMUM DENSITY ALLOWED : 29 MAXIMUM UNITS
 (8 D.U./ACRE)
 PROPOSED # OF UNITS : 13 MAXIMUM
 (3.5 D.U./ACRE)

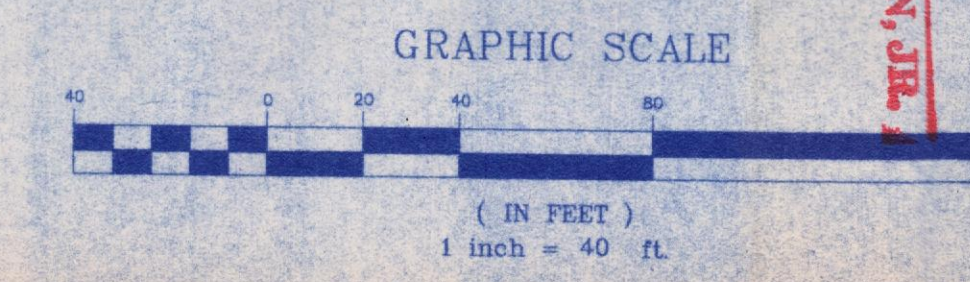
R-8 DEVELOPMENT STANDARDS:

- 20' MINIMUM SETBACK
- 5' MINIMUM SIDEYARD
- 45' MINIMUM REAR YARD
- 20' MINIMUM REAR BUFFER
- 10' MINIMUM SIDE BUFFER
- 40' MINIMUM LOT WIDTH
- 50% MINIMUM OPEN SPACE
- 2 PARKING SPACES PER UNIT
- 6,500 SF MINIMUM LOT FOR DUPLEX

LARGE MATURING TREES PLANTED BETWEEN CURB AND SIDEWALK, SUPPLEMENTED BY SECOND ROW OF SMALL MATURING FLOWERING TREES BEHIND THE RIGHT-OF-WAY



DATED: 12/13/96
 BY: MARTIN R. CRAMTON, JR.
 APPROVAL
 ATTACHED TO ADMINISTRATIVE APPROVAL
 9/20/95 REVISED FROM APPROVED C.D. REZONING SITE PLAN FOR APPRAISAL PURPOSES.



CHARLOTTE - MECKLENBURG
 PLANNING COMMISSION
 INTER - OFFICE COMMUNICATION

DATE: December 13, 1996
 FROM: Martin R. Cramton, Jr.
 Planning Director
 TO: Robert Brandon
 Zoning Administrator
 SUBJECT: Administrative Approval for Petition No. 95-57 by Tommy Lee Nasekos Tax Parcel # 187-261-01

Attached is a revised plan for the above mentioned rezoning petition. The plan has been revised to delete the requirement for storm water detention and replace it with additional off site drainage requirements. These off-site drainage improvements will do a better job of resolving down stream flooding problems. The City Engineering Department has confirmed that these off-site improvements will be more effective in dealing with down stream flooding than the formerly required storm water detention. Since this change is minor and does not change the effect of the previously approved conditions we are administratively approving this revised plan. Please use this revised plan when evaluating requests for building permits and certificates of occupancy.

GNA DESIGN ASSOCIATES, Inc.
 428 East Fourth Street
 Suite 408 (704) 371-1907
 Charlotte, NC 28002
 Surveying • Landscape Architecture • Civil Engineering

CONDITIONAL REZONING REQUEST
 TOMMY LEE NASEKOS
 C.D. REZONING/SUBDIVISION SITE PLAN
 SHARON VIEW ROAD CHARLOTTE, NC

Project No.	35996
Checked by	T.L.H.
Drawn by	P.A.B.
Date Drawn	5/16/95
Revisions	
1	5/17/95 MF TO SF LAYOUT
2	6/19/95 REVISED FOR PUBLIC HEARING
3	7/7/95 RESPONSE TO CMPC STAFF COM
4	7/13/95 PER CDDT: FLIP ROAD PER CMPC: 45' MIN. REAR YARD SETBACK PER ENG: NO DETENTION REQ'D
9/20/95	NO DETENTION REQ'D
Sheet	