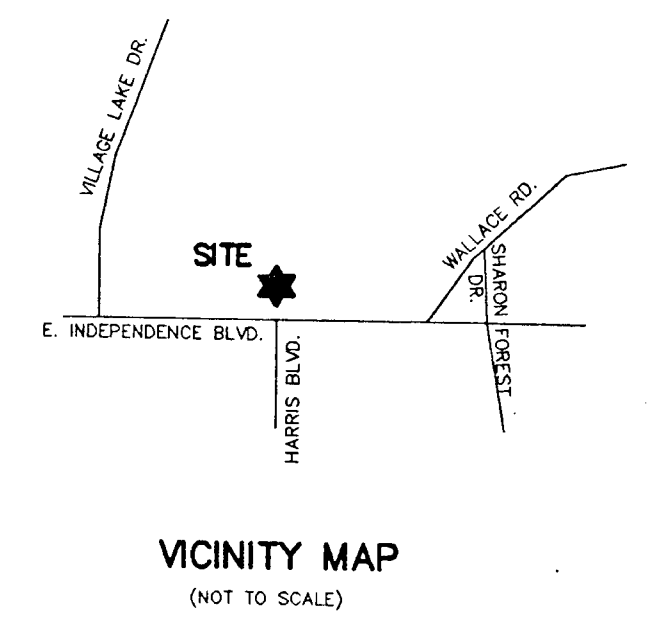
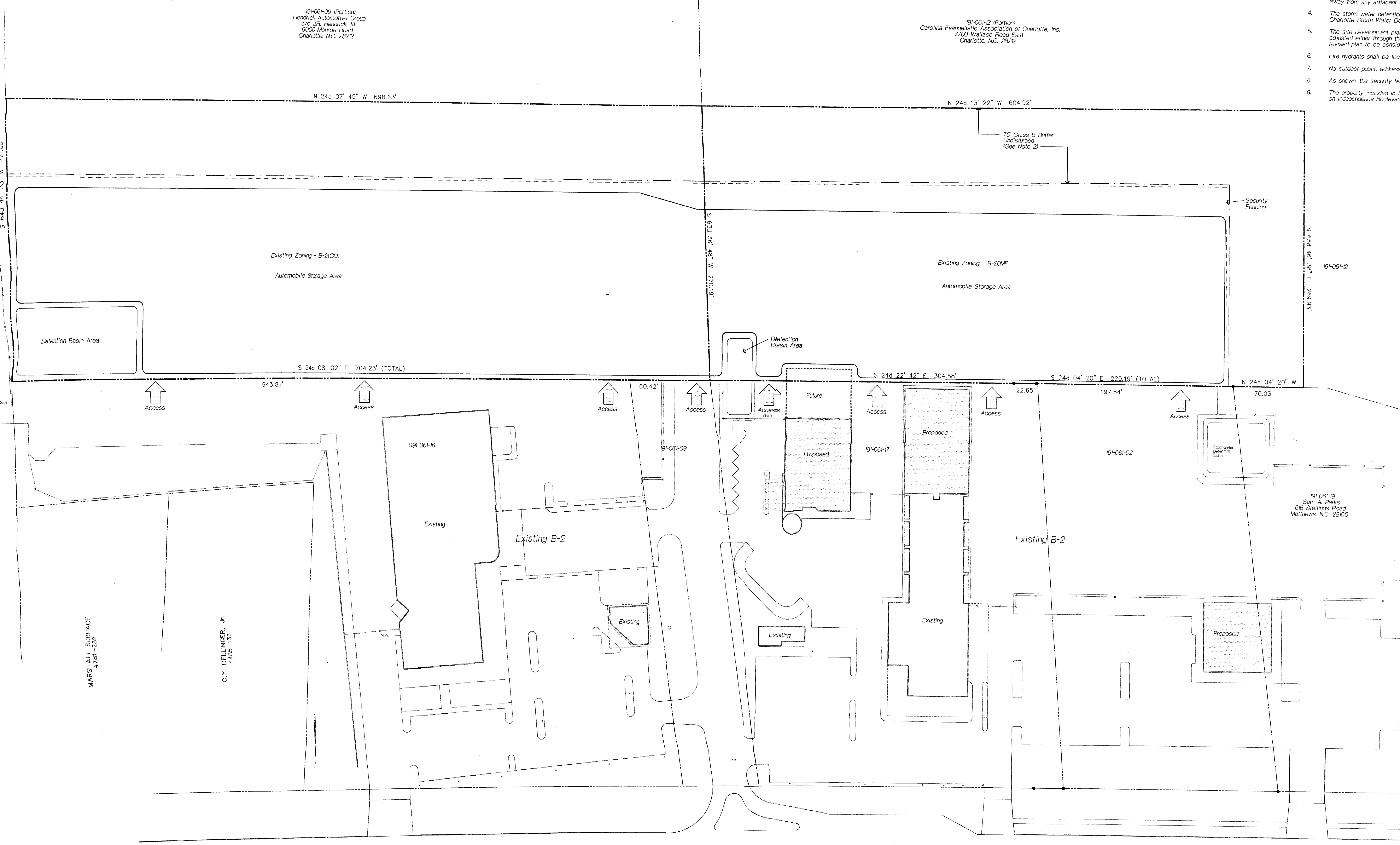


Site Data

Existing Zoning: B-2(CD) and R-20MF
 Proposed Zoning: B-2(CD) Including Amendment of Existing B-2(CD)
 Proposed Use: Automobile Storage Area
 Maximum Building Area: 2000 S.F.
 Total Acreage: 8.13 Acres

General Notes

- The area included in this rezoning request shall be used for an automobile storage area to serve several different dealerships. Only a small amount of building is expected to extend into the site.
- The 75 foot Class B Buffer shown shall remain undisturbed except where required for utility purposes. Where necessary, the buffer will be planted to meet the requirements of the Charlotte Zoning Ordinance. If possible, utilities shall only cross a buffer at a ninety degree angle.
- Lighting shall be located and designed in such a manner to prevent glare onto any adjacent residential uses. Such lighting shall not exceed 30 feet in height and shall be directed away from any adjacent residential areas.
- The storm water detention areas shown shall be designed to meet the requirements of the Charlotte Storm Water Design Manual, and shall not be placed within the buffer.
- The site development plan currently approved for the adjacent R-20MF area shall be adjusted either through the submission of a request to rezone the property or by filing a revised plan to be considered administratively.
- Fire hydrants shall be located within 750 feet of any part of a building.
- No outdoor public address speakers shall be placed within the area of this rezoning.
- As shown, the security fencing shall be located inside the buffer.
- The property included in this rezoning will be in common ownership with property fronting on Independence Boulevard and shall not require separate public street access.



E. Independence Boulevard
 (200' R/W)

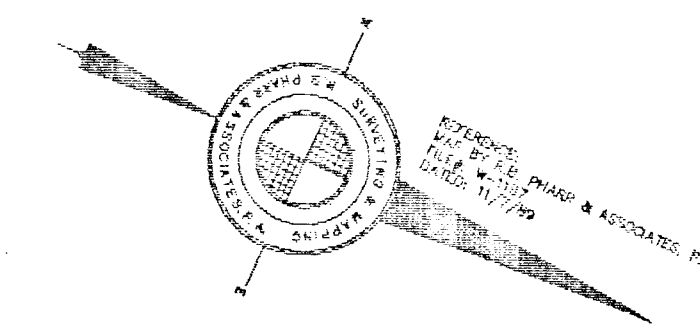
Franceschi Architects PA.
 1025 East Morehead Street/ Suite 202
 Charlotte, North Carolina 28204/704/333-6166

Project
Hendrick Independence Blvd Site Plans
 Hendrick Automotive Group
 Charlotte, North Carolina

Project Number 943
 Date May 18, 1995
 Revisions August 15, 1995

APPROVED BY CITY COUNCIL
 DATE October 16, 1995

PETITION 96-65
 AS FOR PUBLIC HEARING



Sheet Description
Zoning Application Site Plan
 Scale 1" = 40'-0"
 Sheet Number

Franceschi Architects, PA. hereby reserves its common law, copyright and other property rights in these plans, ideas and designs. These ideas, designs and plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission from Franceschi Architects, PA. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and Franceschi Architects, PA. must be notified in writing of any variation from the dimensions, conditions and specifications shown by these drawings.