

VICINITY MAP

SITE DATA

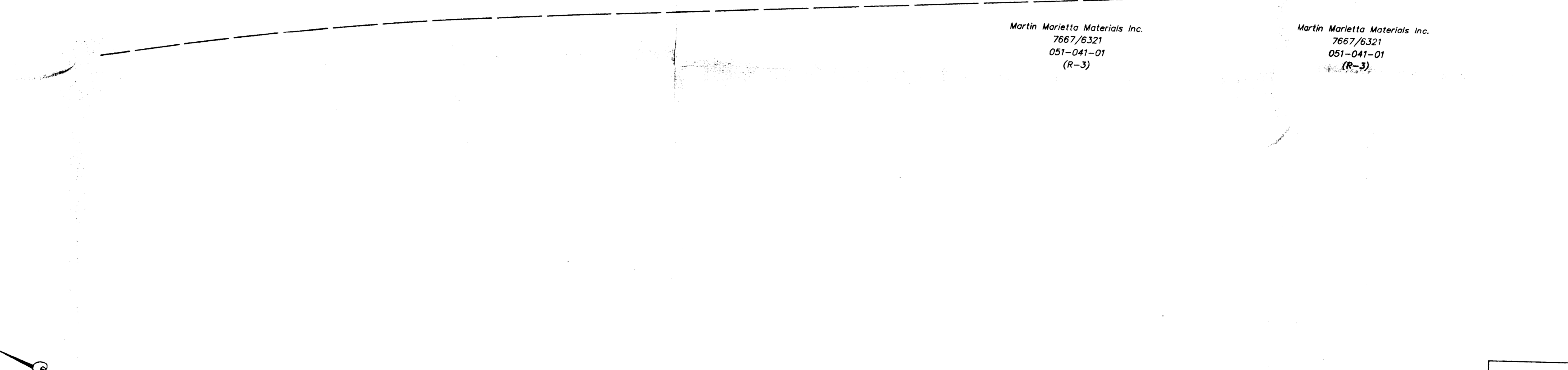
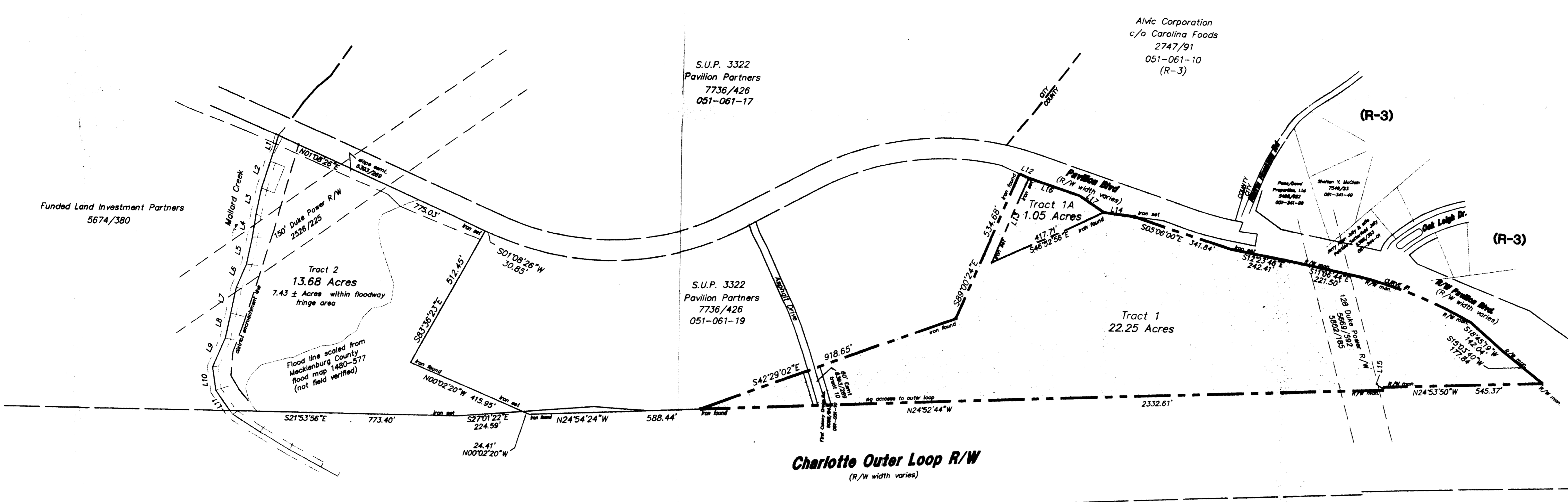
LINE	DIRECTION	DISTANCE
L1	S 01°00'44" W	34.94'
L2	N 88°58'40" W	309.95'
L3	S 15°48'22" E	106.42'
L4	S 65°01'0" W	100.00'
L5	S 04°14'42" E	182.20'
L6	S 10°38'47" W	100.00'
L7	S 01°11'23" E	401.83'

CURVE DATA #1

Δ	143°24'46"
R	1587.02'
T	252.54'
L	402.91'
S	501°11'23" E
E	401.83'

LEGEND

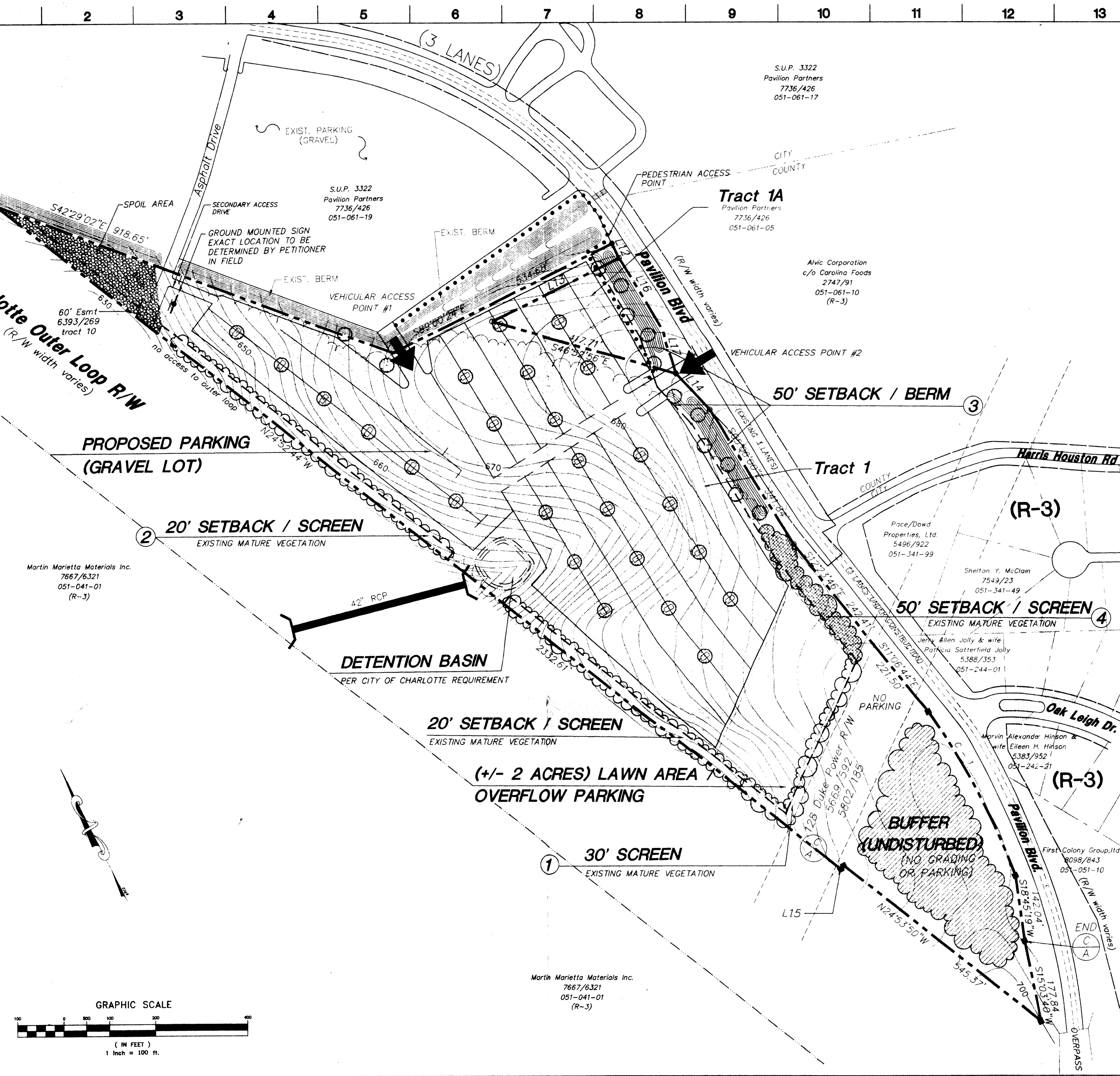
- ZONING LINE
- PROPERTY LINE
- SETBACK/BUFFER LINE
- RIGHT-OF-WAY
- RIGHT-OF-WAY MONUMENT
- EXISTING IRON FOUND FROM SET
- PROPOSED ACCESS POINT
- CONTROLLED ACCESS
- PEDESTRIAN PATH
- PROPOSED VEGETATION (TO INCLUDE 200' ST. ISLAND WITHIN PROPOSED PARKING AREA)
- EXISTING VEGETATION (TO BE REMOVED)
- EXISTING VEGETATION (TO REMAIN)
- EXISTING VEGETATION (TO BE UNDISTURBED)
- BERM
- SPOIL AREA



APPROVED BY CITY COUNCIL
DATE: March 29, 1995

PETITION NO. 95-80 AS FOR PUBLIC HEARING

Boundary Survey Of The Martin-Marietta Corporation Property / Pavilion Partners Crab Orchard Twp. Mecklenburg County, N.C.
Date: 3/29/95
Surveyed by: Donald Lawrence & Associates, P.A.
114 E. Jefferson St. P.O. Box 1011
Monroe, North Carolina 28111 (704) 289-1013
Job No. Drawing File Drawing no. 1 OF 3



VICINITY MAP

LEGEND

- ZONING LINE
- PROPERTY LINE
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SITE DATA

- SITE ADDRESS - TRACT 1 22.25 ACRES TRACT 1A 1.00 ACRES TRACT 2 13.68 ACRES
- EXISTING ZONING - R-3
- PROPOSED ZONING - 0-1 CD
- PROPOSED USE: OFF STREET PARKING IN CONJUNCTION WITH BLOCKBUSTER
- NUMBER OF PARKING SPACES +/- 2,000 SPACES

LINE CHART

LINE	DIRECTION	DISTANCE
L12	S 01°00'44" W	34.94'
L13	N 88°58'40" W	309.95'
L14	S 15°48'22" E	106.42'
L15	S 65°01'0" W	100.00'
L16	S 04°14'42" E	182.20'
L17	S 10°38'47" W	100.00'

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PETITION NO. 95-80 AS FOR PUBLIC HEARING

MARTIN MARIETTA / PAVILION PARTNERS REZONING

8731 Red Oak Boulevard
Charlotte, North Carolina 28277-3968
704.525.6284
704.525.6289

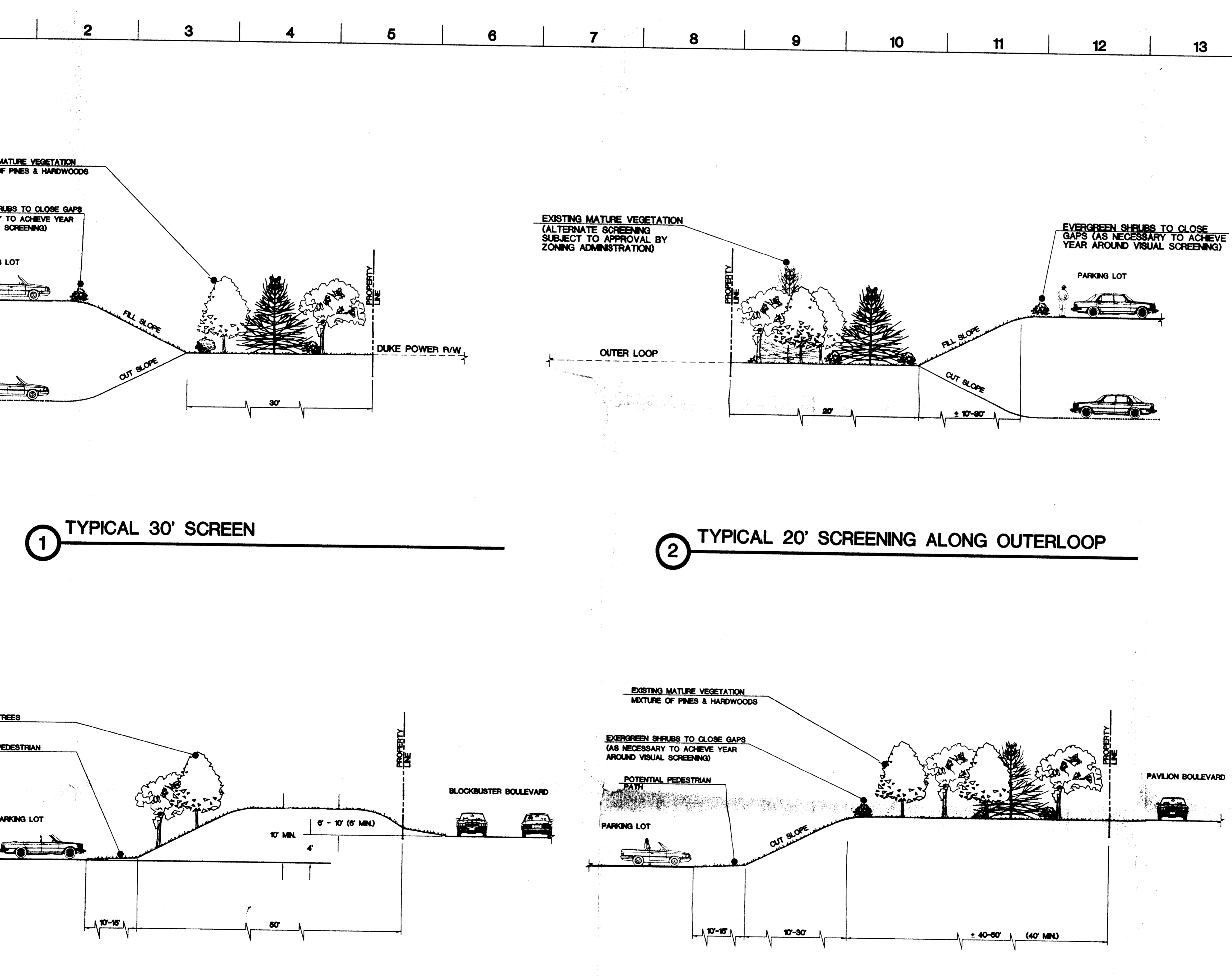
WOLFERT

CHARLOTTE, NORTH CAROLINA

SHEET NAME: SCHEMATIC DEVELOPMENT PLAN

PROJECT No.: 75-21332

20f3



SITE DEVELOPMENT NOTES

- REFER TO SHEET NUMBER 1 OF 3 FOR SURVEY MAP
- REFER TO SHEET NUMBER 2 OF 3 FOR SCHEMATIC DEVELOPMENT PLAN
- THIS DEVELOPMENT CONSISTS OF +/- 2,000 AUXILIARY OFF-STREET PARKING SPACES AND LAWN/OVERFLOW PARKING. THE DEVELOPMENT IS ONLY FOR USE OF BLOCKBUSTER PAVILION PATRONS.
- PRIMARY VEHICULAR ACCESS WILL BE PROVIDED FROM ACCESS POINTS #1 AND #2. ACCESS FROM TRACT 1 TO TRACT 1A AND TRACT 1A TO TRACT 2 IS SUBJECT TO ADMINISTRATIVE APPROVAL BY THE PLANNING COMMISSION. ACCESS FROM #1 TO TRACT 1A (IF NECESSARY) IS SUBJECT TO APPROVAL BY CDOT AND/OR NCDOT.
- THE PROPOSED PARKING LOT IS TO BE GRAVEL EXCEPT FOR LAWN/OVERFLOW AREA AS SHOWN IN THE SCHEMATIC DEVELOPMENT PLAN. THE OWNER WILL PROVIDE STORM WATER DETENTION (AS NECESSARY) TO CONFORM WITH APPLICABLE ORDINANCES.
- LIGHTING FOR PARKING AREA SHALL BE PROVIDED BY OWNER OR SUB-POWER. LIGHT STANDARDS WILL BE ARRANGED IN A MANNER TO DIRECT LIGHT AND GLARE AWAY FROM RESIDENTIAL PROPERTY. ALL LIGHT STANDARDS LOCATED WITHIN 100 FEET OF THE CENTERLINE OF PAVILION BOULEVARD SHALL HAVE A MAXIMUM HEIGHT OF 25 FEET TO FINISH GRADE. ALL OTHER LIGHT STANDARDS SHALL HAVE A MAXIMUM HEIGHT OF 20 FEET.
- INTERNAL PLANTING SHALL BE IN ACCORDANCE WITH THE CITY OF CHARLOTTE TREE ORDINANCE.
- PARKING LOT SCREENING AND BUFFERS SHALL MEET OR EXCEED CITY OF CHARLOTTE ZONING ORDINANCE REQUIREMENTS FOR BUFFER SCREENING.
- BERMS ALONG PAVILION BOULEVARD AND BUFFERS SHOWN ARE ILLUSTRATIVE AND SUBJECT TO MODIFICATION AS FURTHER SITE PLAN DEVELOPMENT OCCURS.
- WHEN POSSIBLE, ALL EXISTING TREES, 8" DIAMETER AND GREATER, LOCATED WITHIN THE PROPOSED SETBACK SHALL BE PROTECTED AS PER THE TREE ORDINANCE.
- BEST EFFORT WILL BE MADE TO MAINTAIN ALL VEGETATION WITHIN THE PROPOSED BUFFER LIMITS (WITH EXCEPTION TO INSTALLATION OF UTILITIES AND CONSTRUCTION OF DRIVES).
- PEDESTRIAN PATTERNS AND CALCULATION SHOWN ARE ILLUSTRATIVE AND SUBJECT TO MODIFICATION AS FURTHER SITE PLAN DEVELOPMENT OCCURS.
- TYPICAL SECTIONS ARE ILLUSTRATIVE AND REPRESENT INTENT OF PETITIONER. PLANTING, VEGETATION, AND BERM HEIGHTS MAY VARY AS SHOWN ON TYPICAL SECTIONS. DEPICTED PLANT SIZES ARE THOSE RECOMMENDED AT MATURITY.
- IF EXISTING VEGETATION ALONG THE OUTER LOOP IS NOT SUFFICIENT TO PROVIDE ADEQUATE SCREENING, THE PETITIONER RESERVES THE RIGHT TO PLANT SHRUBS TO SCREEN PARKING LOT OR CONSTRUCT AN EXISTING BERM BETWEEN RIGHT-OF-WAY OF THE OUTER LOOP AND THE PARKING LOT.
- PETITIONER RESERVES THE RIGHT TO INSTALL DETACHED IDENTIFICATION SIGN ALONG THE OUTER LOOP. THE SIGN SHALL BE LOCATED AT HIGH POINT ADJACENT TO OUTER LOOP AND BE IN ACCORDANCE WITH CITY OF CHARLOTTE SIGN ORDINANCE.
- CONCURRENT WITH THE DEVELOPMENT OF TAX PARCELS 051-081-10 LOCATED AT THE NORTHEAST CORNER OF PAVILION BOULEVARD AND AT THE WRITTEN REQUEST OF CHARLOTTE DEPARTMENT OF TRANSPORTATION, THE TRAFFIC OPERATIONS ANALYSIS FOR BLOCKBUSTER PAVILION DATED FEBRUARY 1995 PREPARED BY BLOCKBUSTER CONSULTING, INC. WILL BE RE-EVALUATED. SUCH RE-EVALUATION WILL SPECIFICALLY ADDRESS THE IMPACTS OF THE BUFFER AND INTERACTION OF VEHICULAR ACCESS POINT 2 ON PAVILION BOULEVARD AND ACCESS TO THE REFERENCED TAX PARCELS. THE AREA OF INFLUENCE WILL NOT EXTEND BEYOND U.S. 29 AND N.C. 49 SUCH RE-EVALUATION SHALL BE CONFORM TO THE REQUEST OF THE OWNER OF BLOCKBUSTER PAVILION. IF AS A RESULT OF SUCH RE-EVALUATION THE CHARLOTTE DEPARTMENT OF TRANSPORTATION RECOMMENDS THE MODIFICATION OR CLOSURE OF VEHICULAR ACCESS POINT 2 AND THE OWNER OF BLOCKBUSTER PAVILION AGREES WITH SUCH RECOMMENDATIONS, THE OWNER MAY DISCONTINUE ACCESS WITH SUCH RECOMMENDATIONS. IF THE OWNER DISAGREES WITH SUCH RECOMMENDATIONS, THE MATTER SHALL BE RESOLVED BY THE ZONING COMMITTEE OF THE CHARLOTTE-MECKLENBURG PLANNING COMMISSION THROUGH THE NORMAL ZONING AMENDMENT ADMINISTRATIVE APPEAL PROCESS.
- UPDATED TRAFFIC OPERATION PLAN AND TRAFFIC STUDY WILL BE FURNISHED FOR PAVILION EVENTS AS PER THE REQUEST OF THE CITY OF CHARLOTTE DEPARTMENT OF TRANSPORTATION.
- THE ANTICIPATED TIME FOR COMPLETION IS MAY 1996.
- PETITIONER WILL INSTALL CURB AND GUTTER ALONG THE PROPERTY FRONTAGE ON PAVILION BOULEVARD IF DEEMED NECESSARY DURING THE DEVELOPMENT PHASE.

PETITION NO. 95-80 AS FOR PUBLIC HEARING

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WOLFERT

CHARLOTTE, NORTH CAROLINA

SHEET NAME: TYPICAL SECTIONS/ DEVELOPMENT NOTES

PROJECT No.: 75-21332

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