

SITE DATA:

EXISTING AC: BLOCK 1, LOT 13, 14, 15 AND BLOCK 13, LOT 1, 2 TOTAL .8042 AC

EXISTING ZONING: R-5

PROPOSED NEW ZONING: UR2-CD

PROPOSED USE: MULTIFAMILY ELDERLY HOUSING/6 UNITS, DUPLEX AT BLOCK 13, LOT 2

MAX. FLOOR AREA RATIO: 1.0

PROPOSED FLOOR AREA RATIO: 0.15, .50 AT BLOCK 13, LOT 2

MAX. HEIGHT: 40'

PROPOSED HEIGHT: APPROX. 18'

REQUIRED PARKING: .25/UNIT FOR ELDERLY, MINIMUM .50/UNIT FOR ELDERLY, MAXIMUM

PARKING PROVIDED: 1 HANDICAPPED SPACE AND 2 REGULAR SPACES, TOTAL OF 3 AT BLOCK 1,

LOT 13, 14, 15, BLOCK 2, LOT 1

2 SPACES AT BLOCK 13, LOT 2

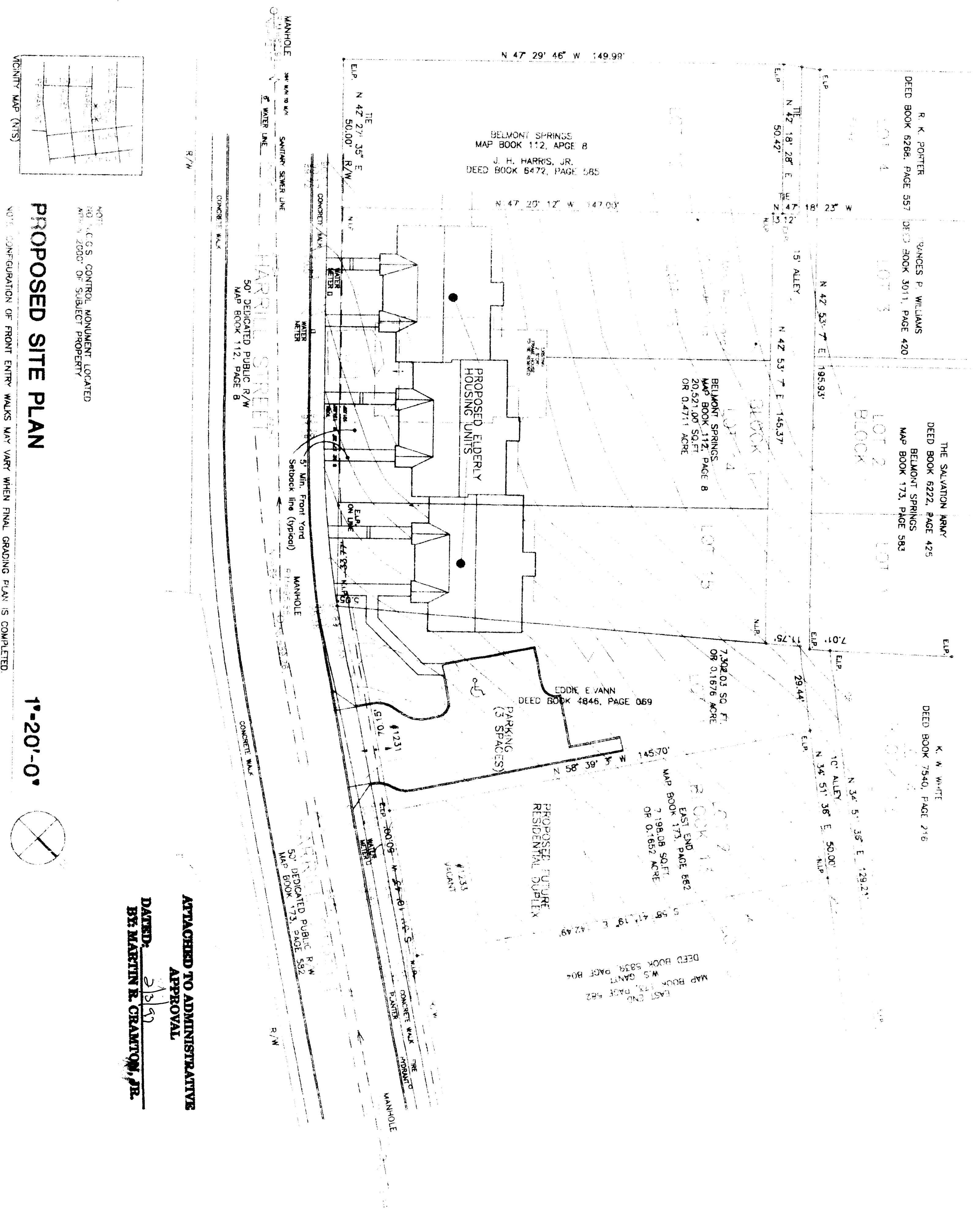
THE PROPOSED ATTACHED ELDERLY HOUSING UNITS

WILL BE ONE STORY FRAME CONSTRUCTION WITH

RAFTERS AND ATTACHED FRONT PORCHES

TYPICAL OF THE EXISTING HOUSING IN THE

ADJACENT COMMUNITY.



PROPOSED SITE PLAN

NOT TO SCALE. U.S. CONTROL MONUMENT LOCATED AT CORNER OF SUBJECT PROPERTY.

1"=20'-0"

ATTACHED TO ADMINISTRATIVE APPROVAL
 DATED: 2/3/97
 BY: MARTIN R. CRAMTON, JR.

Gantt Huberman Architects

CHARLOTTE-MECKLENBURG PLANNING COMMISSION INTER-OFFICE COMMUNICATION

DATE: February 3, 1997

TO: Robert Bruden, Zoning Administrator
 FROM: Martin R. Cramton, Planning Director

SUBJECT: ADMINISTRATIVE APPROVAL OF PREVIOUSLY APPROVED PETITION DEPT. ON NO. 95-54, CITY OF CHARLOTTE NEIGHBORHOOD DEVELOPMENT TAX PARCEL NO. 081-133-048, 07, and 08

Attached is a revised site plan for the above mentioned rezoning petition. The plan has been revised to relocate the units closer to the street and reconfigure the parking spaces provided. The parking provision is minor; we are administratively approving this plan. Please use the revised plan when evaluating requests for building permits and certificates of occupancy.
 cc: Larry Williams

Belmont Elderly Housing
 Rezoning Plan

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