



**Charlotte-Mecklenburg Planning, Design, & Development**

**DATE:** October 08, 2021

**TO:** Sonja Sanders  
Zoning Supervisor

**FROM:** Taiwo Jaiyeoba  
Planning Director

**SUBJECT:** Administrative Approval for Petition No. 1996-009C Shopping Center Group, Inc

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- To allow a new EDEE (Starbucks).
- Landscaping plan
- Building elevations.

Staff supports of the request because:

- The site plan complies with the conditional notes and still meets the intent of the original approval by the County Commissioners.

**Note: All other Zoning, Subdivision, Tree, PCSO Ordinances, conditional requirements and building codes still apply.**

**Signage was not reviewed as part of this request.**

# CITY OF CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA CONSTRUCTION DOCUMENTS FOR **STARBUCKS AT DAVIS LAKE**

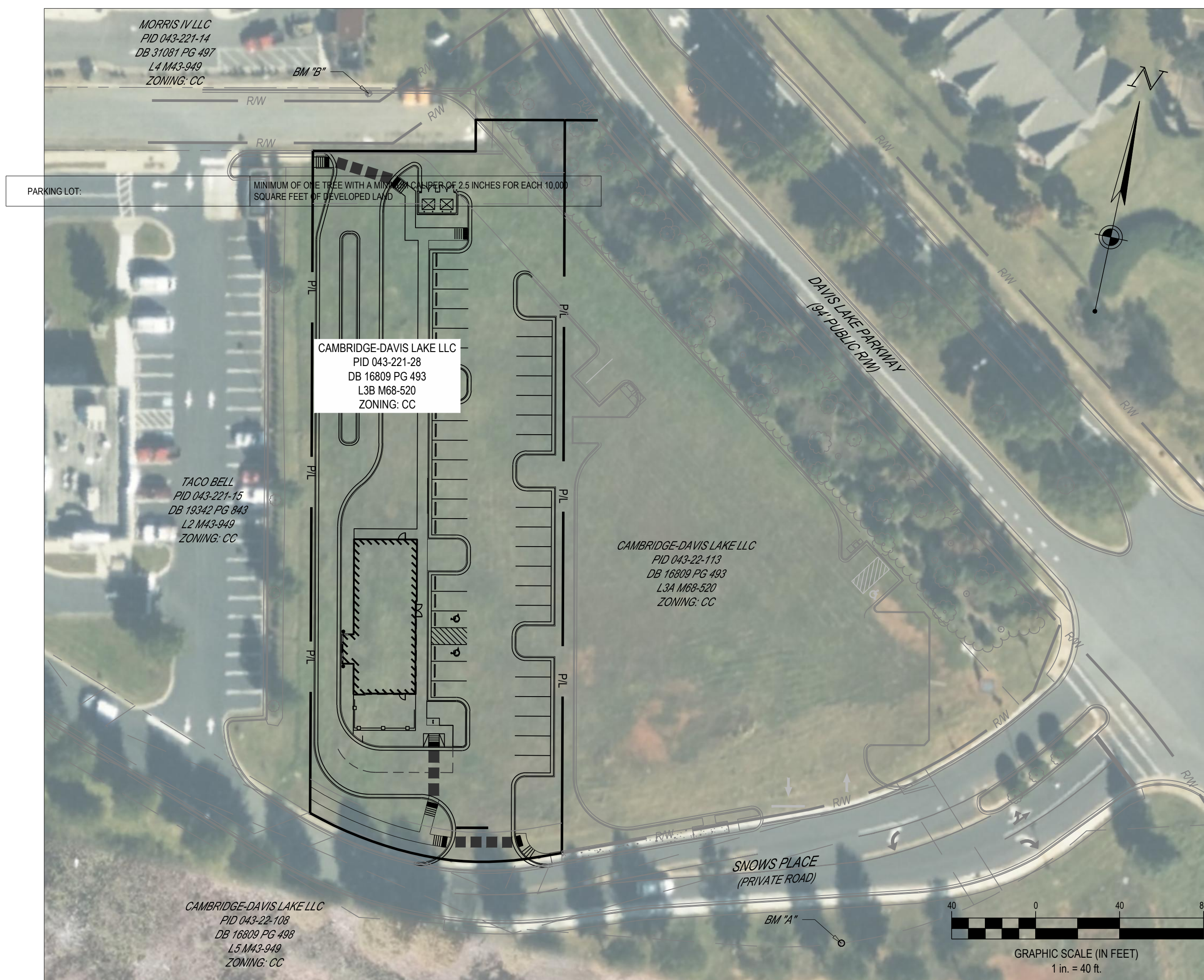
8421 DAVIS LAKE PARKWAY  
CHARLOTTE, NORTH CAROLINA 28269



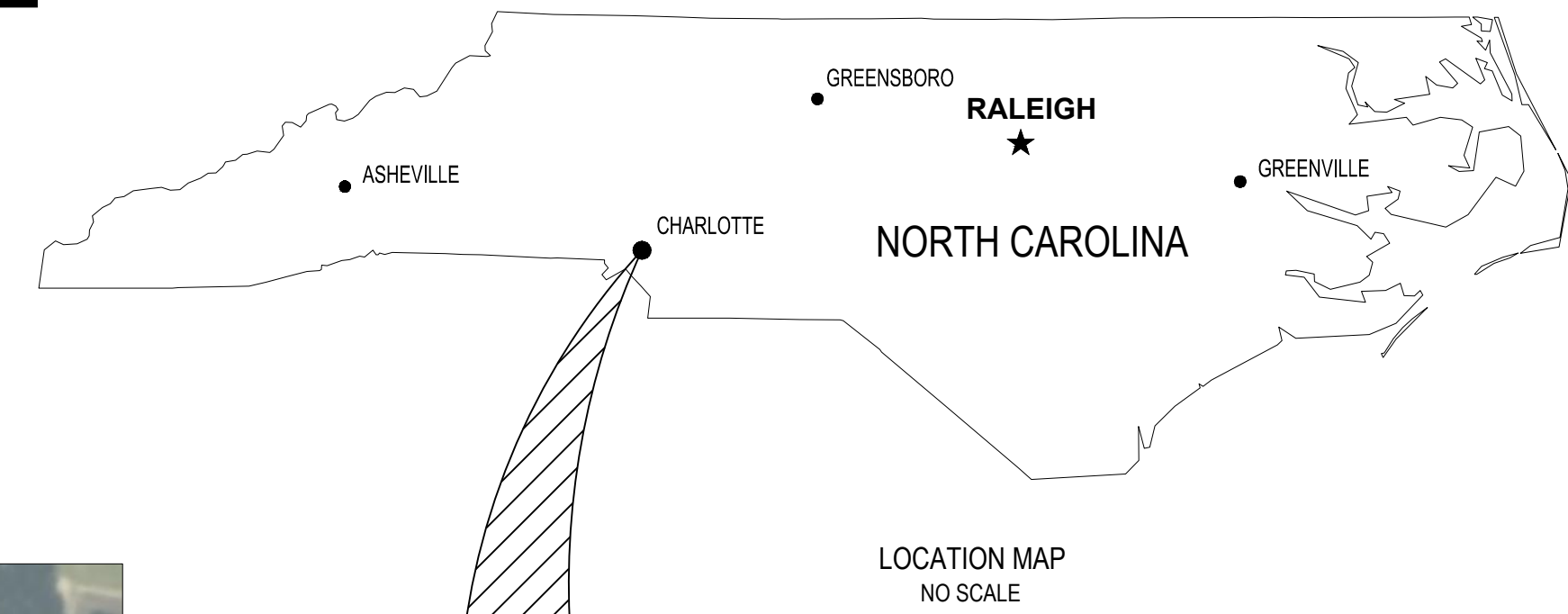
**DEVELOPER:**  
CAMBRIDGE PROPERTIES, INC  
831 E. MOREHEAD STREET  
CHARLOTTE, NC 28202  
PHONE: (704) 681-1893  
EMAIL: BDB@CAMBRIDGEPROP.COM  
CONTACT: BARRETT BLACKBURN

**ENGINEER:**  
CESO, INC.  
4601 PARK ROAD, SUITE 650  
CHARLOTTE, NC 28209  
PHONE: (704) 521-7898  
EMAIL: BOB.CASH@CESOINC.COM  
CONTACT: ROBERT L. CASH

SITE DATA	
OWNER:	CAMBRIDGE-DAVIS LAKE LLC
SITE ADDRESS:	8421 DAVIS LAKE PARKWAY, CHARLOTTE, NC 28269
PARCEL:	043-221-28
PARCEL AREA:	0.931 AC
FLOOD PLAIN DESIGNATION:	BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP PANEL NUMBER 371045500L EFFECTIVE 11/16/2018, THE HEREON DESCRIBED PROPERTY IS LOCATED IN ZONE "X".
JURISDICTION:	CITY OF CHARLOTTE
EXISTING ZONING:	CC - COMMERCIAL CENTER
EXISTING USE:	VACANT
PROPOSED USE:	COMMERCIAL RESTAURANT WITH DRIVE-THRU WINDOW (51 INTERIOR SEATS, 24 EXTERIOR SEATS)
MAX. BUILDING HEIGHT:	40 FT
PROPOSED BUILDING HEIGHT:	18 FT 4 INCHES
BUILDING SETBACK:	
FRONT:	14 FT (ALONG SNOWS PLACE)
SIDE:	0 FT
REAR:	25 FT
FAR:	FAR = 100,560 SF (INCLUDES PROPOSED SBUX) / (21.73 AC * 43,560) = 0.11 FAR
AUTO PARKING PROVIDED:	
TOTAL PARKING SPACES (1 SPACE PER 250 SF):	12 SPACES = (2,760 SF / 250 SF) X 1 SPACE
STANDARD PARKING SPACES (9' X 18'):	28 SPACES
ADA COMPLIANT PARKING SPACES:	2 SPACES
BICYCLE PARKING PROVIDED:	
TOTAL BICYCLE PARKING SPACES:	4 SPACES
SHORT-TERM SPACES (2 MIN. OR 1 PER 10,000 SF):	2 SPACES
LONG-TERM SPACES (5% OF AUTO PARKING):	1 SPACES = (0.05 X 12 SPACES)
LANDSCAPE REQUIREMENTS:	IN A BUSINESS DISTRICT A MINIMUM OF 7.5% OF THE PARKING LOT SHALL BE LANDSCAPED. LANDSCAPED ISLANDS SHALL BE DISTRIBUTED AT INTERVALS OF A MINIMUM OF ONE ISLAND FOR EVERY 15 SPACES.



SITE PLAN  
1" = 40'



VICINITY MAP  
NO SCALE

SHEET LIST	
Sheet Number	Sheet Title
C1.0	COVER SHEET
C1.1	GENERAL NOTES
C2.0	EXISTING CONDITIONS & DEMOLITION PLAN
C2.1	EROSION & SEDIMENT CONTROL NOTES
C2.2	EROSION & SEDIMENT CONTROL NOTES
C3.0	EROSION & SEDIMENT CONTROL PH I
C3.1	EROSION & SEDIMENT CONTROL PH II
C3.2	EROSION & SEDIMENT CONTROL DETAILS
C4.0	SITE PLAN
C5.0	OVERALL GRADING PLAN
C6.0	UTILITY PLAN
C6.1	UTILITY DETAILS
C7.0	SITE DETAILS
C7.1	SITE DETAILS
L1.0	PLANTING PLAN
L2.0	PLANTING DETAILS
L2.1	PLANTING DETAILS
A0.2	DUMPSTER ENCLOSURE DETAIL
E4.1	OVERALL SITE PLAN - PHOTOMETRICS
LOS	LINE OF SIGHT PLAN



NO.	DATE	REVISION DESCRIPTION

**CESO NC, Co.**  
3601 Rigby Road, Ste 300  
Miamisburg, OH 45342  
(937) 435-8584  
COA C-4740



CAMBRIDGE DAVIS LAKE, LLC  
**STARBUCKS AT  
DAVIS LAKE**  
8421 DAVIS LAKE PARKWAY  
CHARLOTTE, NORTH CAROLINA 28269  
PARCEL: 043-221-28

**COVER SHEET**

ISSUE: NOT FOR CONSTRUCTION	
DATE: 9/21/2021	
JOB NO.:	759028-01
DESIGN:	RLC
DRAWN:	JTF
CHECKED:	BJH
SHEET NO. C1.0	

**SURVEY PROVIDED BY:**  
LANDTEC  
137 CROSS CENTER ROAD, SUITE 253  
DENVER, NC 28037  
PHONE: (704) 483-3201  
DATED: 11/2018  
  
CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY LANDTEC. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.

BENCHMARK				
	ELEVATION*	NORTHING**	EASTING**	DESCRIPTION
BM "A"	ELEV = 784.46	581,116.55	1,459,603.94	CHISELED BOX IN CURB
BM "B"	ELEV = 788.58	581,425.37	1,459,539.59	CHISELED BOX IN CURB

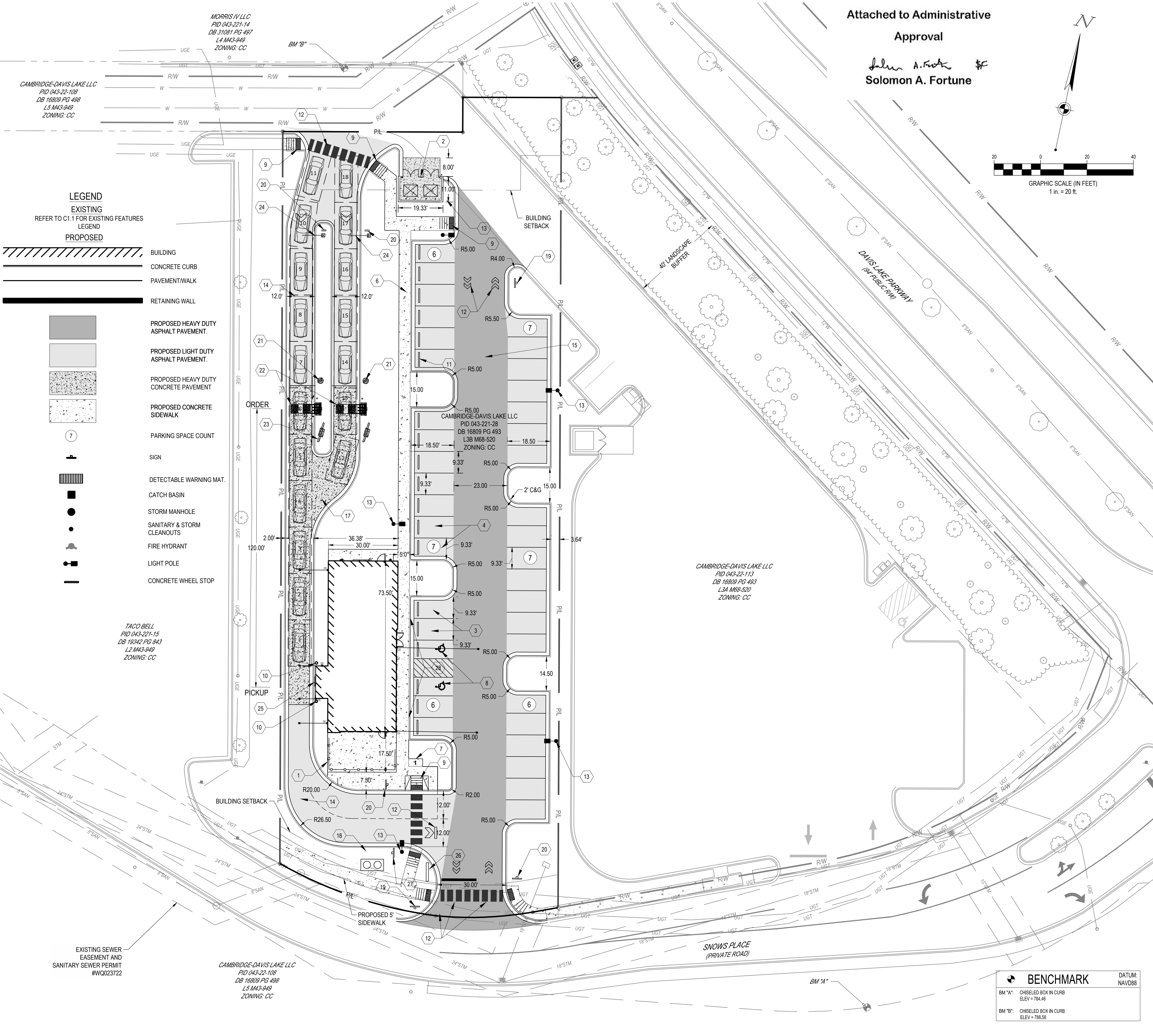
\* VERTICAL DATUM: NAVD88  
\*\* HORIZONTAL DATUM: NAD83 - NORTH CAROLINA STATE PLANES, US FOOT



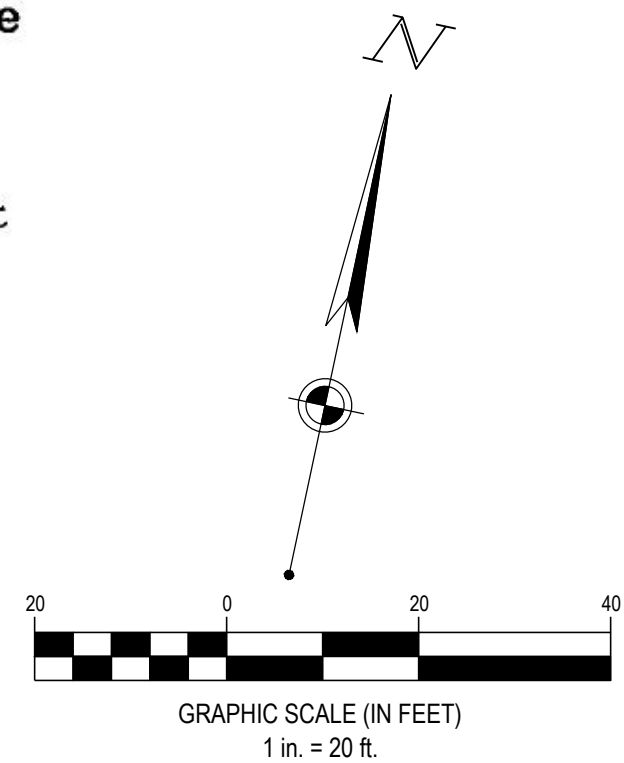
THREE (3) WORKING DAYS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE (NC811) AT 811 OR 800-632-4949 OR WWW.NC811.ORG AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NORTH CAROLINA UTILITIES PROTECTION SERVICE

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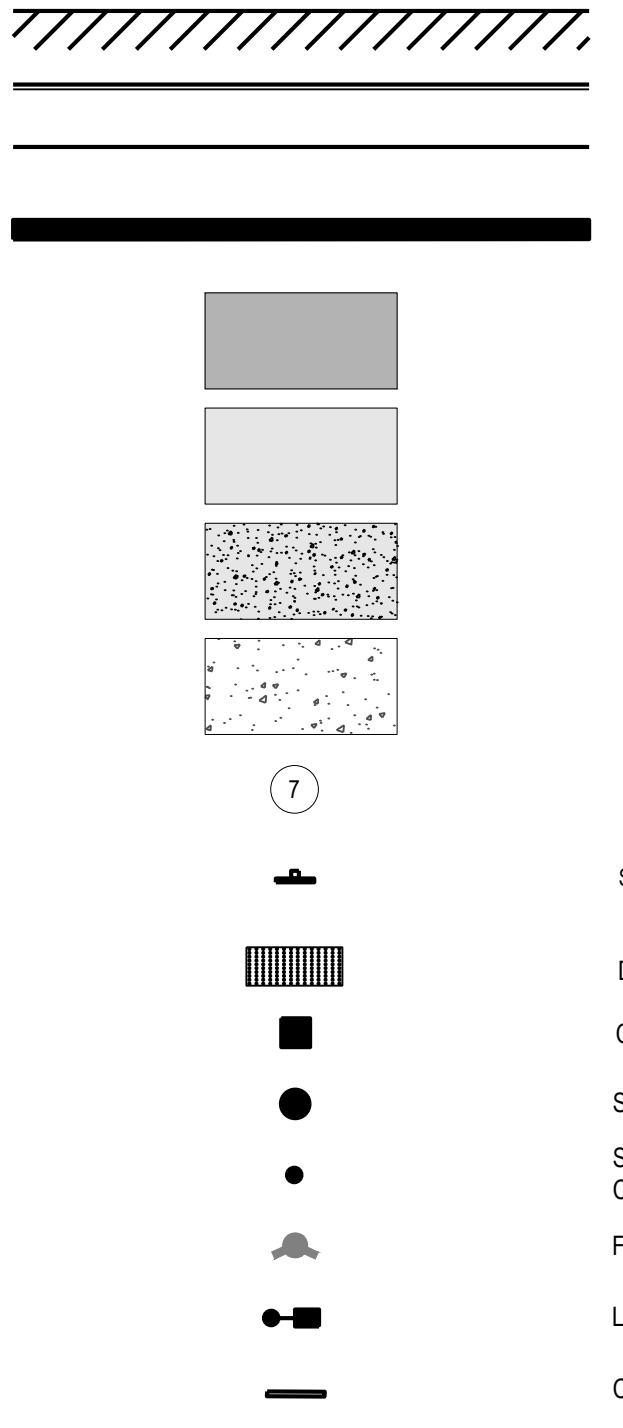
Attached to Administrative Approval  
Solomon A. Fortune



- SITE GENERAL NOTES: 1. THIS PROJECT IS LOCATED IN FEMA ZONE X AS INDICATED ON FEMA FIRM MAP NUMBER 3710455800L, DATED NOVEMBER 16, 2018. 2. ALL SITE DIMENSIONS SHOWN ARE TO THE FACE OF CURB, CENTERLINE OF PARKING STALL, FACE OF BUILDING, EDGE OF CONCRETE, OR PROPERTY LINE, UNLESS OTHERWISE NOTED. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND STARTING CONSTRUCTION. 3. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS. 4. SITE IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH CITY STANDARD DETAILS FOR CITY OF CHARLOTTE, NC AND STARBUCKS STANDARDS AND SPECIFICATIONS. 5. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ENTRY/EXIT PORCHES. 6. ASPHALT PAVING, CONCRETE SIDEWALK AND CONCRETE CURBING SECTIONS SHALL BE CONSTRUCTED PER THE DETAILS. 7. THE CONTRACTOR SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIONS. 8. ALL WORK ON STATE, COUNTY, OR CITY RIGHT-OF-WAY INCLUDING DRIVEWAY APRONS, WATER AND SEWER TAPS OR ANY OTHER WORK REQUIRES AN ENCROACHMENT PERMIT FROM THE APPROPRIATE AGENCY. 9. ANY MATERIAL DEMOLISHED AS INDICATED ON THIS PLAN IS TO BE HAULED OFF-SITE TO AN APPROVED LANDFILL. 10. ADMINISTRATIVE AMENDMENT REQUIRED BY THE CITY OF CHARLOTTE. 11. 15% TREE SAVE SHALL BE PROVIDED FOR THIS PROJECT WITHIN THE OVERALL DEVELOPMENT PRIOR TO CERTIFICATE OF OCCUPANCY ASSURANCE. 12. FINAL LOCATION OF ALL DRIVE-THRU (DT) EQUIPMENT TO BE COORDINATED PER STARBUCKS CONSTRUCTION DRAWINGS. (TYP.)

- CODED NOTES: 1. 500 SF ADA COMPLIANT COVERED PATIO. REFER TO ARCHITECTURAL PLANS FOR DETAILS. 2. TRASH ENCLOSURE PER LOCAL REQUIREMENTS. REFER TO ARCHITECTURAL PLAN FOR DETAILS. 3. CURBSIDE PICKUP SPACES (2). 4. MOBILE ORDER PAY PARKING SPACES (2). 5. 2'-0" STANDARD CURB AND GUTTER. REFER TO SITE DETAILS. 6. 5' CONCRETE SIDEWALK. REFER TO SITE DETAILS. 7. BICYCLE PARKING (2) SPACES. LT BICYCLE PARKING TO BE LOCATED INSIDE THE BUILDING. REFER TO SITE DETAILS. 8. ADA ACCESSIBLE PARKING SPACE WITH SIGNAGE. REFER TO SITE DETAILS. 9. ADA ACCESSIBLE RAMP WITH DETECTIBLE WARNING STRIP. REFER TO SITE DETAILS. 10. BOLLARD TO BE INSTALLED PER STANDARD DETAIL. REFER TO SITE DETAILS. 11. CONCRETE WHEEL STOP. REFER TO SITE DETAILS. 12. SITE PAVEMENT MARKING. 13. LIGHT POLE. REFER TO ARCHITECTURAL PLAN FOR DETAILS. 14. LIGHT DUTY ASPHALT PAVEMENT. REFER TO SITE DETAILS. 15. HEAVY DUTY ASPHALT PAVEMENT. REFER TO SITE DETAILS. 16. LIGHT DUTY CONCRETE PAVEMENT. REFER TO SITE DETAILS. 17. HEAVY DUTY CONCRETE PAVEMENT. REFER TO SITE DETAILS. 18. PROPOSED LOCATION FOR 1500 GALLON GREASE INTERCEPTOR. COORDINATE WITH LOCAL UTILITY. 19. DIRECTIONAL SIGNAGE. REFER TO SITE DETAILS. 20. SITE AND DRIVE-THRU (DT) SIGNAGE. REFER TO ARCHITECTURAL PLANS FOR DETAILS. 21. PRE-ORDER BOARD. REFER TO ARCHITECTURAL PLANS FOR DETAILS. 22. ORDER CANOPY. REFER TO ARCHITECTURAL PLANS FOR DETAILS. 23. MENU BOARD. REFER TO ARCHITECTURAL PLANS FOR DETAILS. 24. CLEARANCE BAR. REFER TO ARCHITECTURAL PLANS FOR DETAILS. 25. ORDER PICK-UP WINDOW. REFER TO ARCHITECTURAL PLANS FOR DETAILS. 26. MONUMENT SIGN. REFER TO ARCHITECTURAL PLANS FOR DETAILS. 27. DO NOT ENTER SIGN. 28. FLUSH CURB

LEGEND  
EXISTING  
REFER TO C1.1 FOR EXISTING FEATURES  
LEGEND  
PROPOSED



TACO BELL  
PID 043-221-15  
DB 18342 PG 847  
L2 M43-949  
ZONING: CC

CAMBRIDGE-DAVIS LAKE LLC  
PID 043-22-108  
DB 16809 PG 498  
L5 M43-949  
ZONING: CC

CAMBRIDGE-DAVIS LAKE LLC  
PID 043-22-113  
DB 16809 PG 493  
L3A M68-520  
ZONING: CC

PRELIMINARY ZONING INFORMATION

LOT SIZE	0.93 AC
BUILDING SIZE	STARBUCKS: +2,260 SF INTERIOR + 500 SF PATIO
ZONING	CC - COMMERCIAL CENTER
EXISTING USE	VACANT
PROPOSED USE	EATING, DRINKING AND ENTERTAINMENT ESTABLISHMENT, TYPE 1. (51 INTERIOR SEATS, 24 EXTERIOR SEATS) PERMITTED BY RIGHT IN CC ZONING DISTRICT
ACCESS	(1) FULL ACCESS DRIVEWAY AND (1) SHARED ACCESS DRIVEWAY
REQUIRED BUILDING SETBACKS	NOT REQUIRED IN CC ZONING PER CITY OF CHARLOTTE ZONING
REQUIRED LANDSCAPE BUFFERS	NOT REQUIRED IN CC ZONING PER CITY OF CHARLOTTE ZONING
REQUIRED PARKING FOR PROPOSED USE	VEHICULAR: ONE (1) SPACE PER 250 SQUARE FEET = 12 SPACES BICYCLE: 5% OF AUTOMOBILE PARKING = 1 SPACES
PROPOSED PARKING	VEHICULAR: 39 SPACES (2 ADA) BICYCLE: 4 SPACES (2 SHORT TERM, 2 LONG TERM)
DRIVE-THRU STACKING SPACES	REQUIRED: 8 STACKING SPACES TO ACCOMMODATE ANY DRIVE-THRU LANE(S) PROVIDED: 18 STARBUCKS STACKING SPACES (10X20')
STORMWATER MANAGEMENT	APPROVED UNDER OVERALL DEVELOPMENT
LANDSCAPE MANUAL	LANDSCAPING MUST BE PROVIDED IN ACCORDANCE WITH CHAPTER 12 DEVELOPMENT STANDARDS OF GENERAL APPLICABILITY FROM THE CITY OF CHARLOTTE DEVELOPMENT ORDINANCE.

BENCHMARK  
BM 7A: CHISELED BOX IN CURB ELEV = 784.46  
BM 7B: CHISELED BOX IN CURB ELEV = 788.58  
DATUM: NAVD88



THREE (3) WORKING DAYS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE (NC811) AT 811 OR 800-632-4949 OR WWW.NC811.ORG AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF NORTH CAROLINA UTILITIES PROTECTION SERVICE



NO.	DATE	REVISION DESCRIPTION

CESO NC, Co.  
3601 Rigby Road, Ste 300  
Miamisburg, OH 45342  
(937) 435-8584  
COA C-4740



CAMBRIDGE DAVIS LAKE, LLC  
STARBUCKS AT  
DAVIS LAKE  
8421 DAVIS LAKE PARKWAY  
CHARLOTTE, NORTH CAROLINA 28269  
PARCEL: 043-22-128

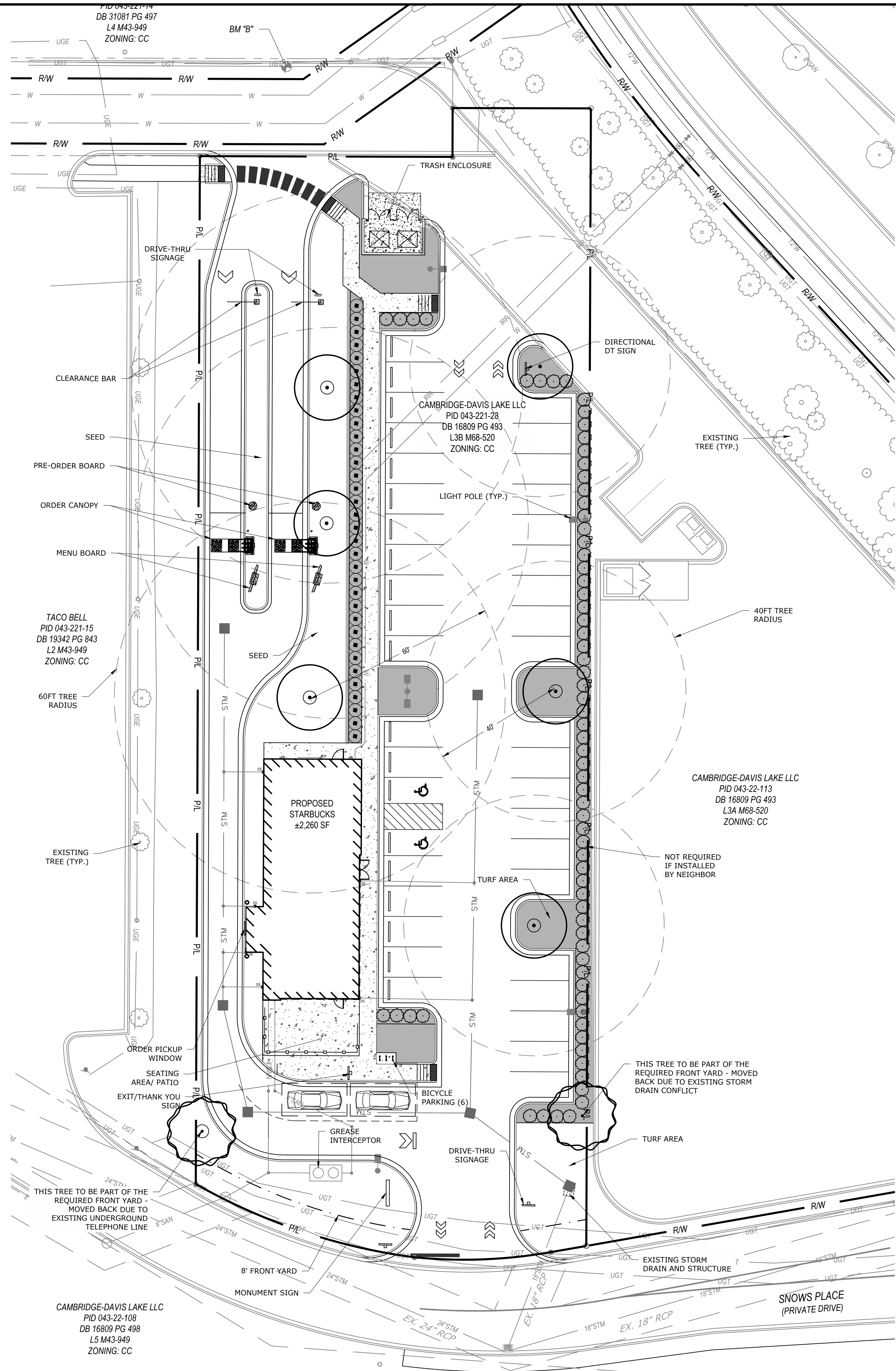
SITE PLAN

ISSUE:  
NOT FOR CONSTRUCTION  
DATE:  
07-08-2021

JOB NO.: 759028-01  
DESIGN: RLC  
DRAWN: JTF  
CHECKED: BJH

SHEET NO.  
C4.0

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Charlotte Urban Forestry - Tree Planting and Preservation Requirements (updated 10/10/16)

Plant Material

- 1. Minimum tree size at planting is 2" caliper and 8' tall for single-stem trees. All multi-stem plants must be tree form, maximum 3 to 5 trunks, and minimum 10' tall. Where 3" single-stem caliper trees are specified/required the minimum height shall be 10' tall, if multi-stem trees are specified then they shall be a minimum of 12' tall.
2. All new trees must have straight trunks with strong central leaders intact to the top of the crown unless multi-stem trees are specified.
3. Size of required plants, spread of roots and size of balls shall be in accordance with ANSI Z60.1 (latest edition) as published by the American Nursery & Landscape Association, except where specified/authorized by Urban Forestry.

Planting Requirements

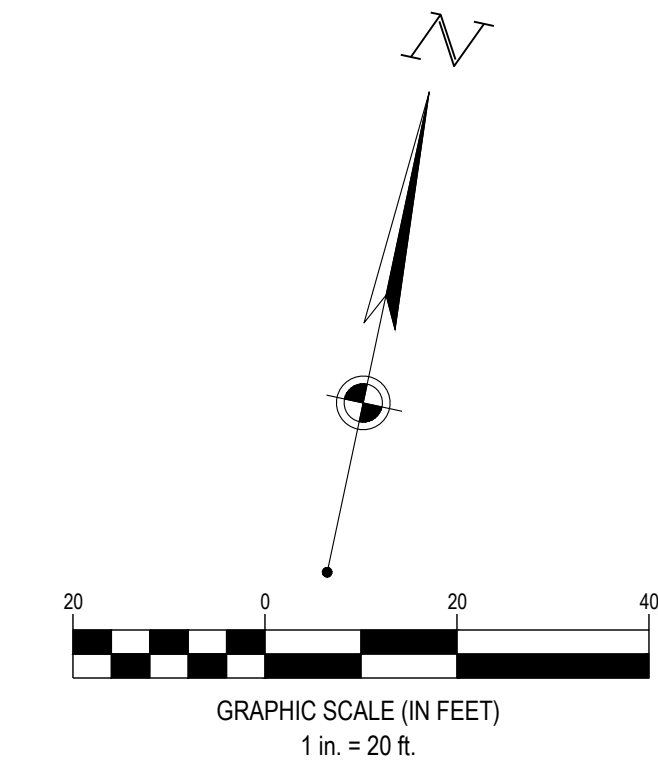
- 8. See CLDS 40.01 & 40.09 (on plan) for detailed tree planting requirements.
9. Plastic hose parts will NOT be accepted for tree staking. See CLDS 40.01 for approved staking method/materials.
10. All strapping, and top 1/3 of wire basket and burlap must be cut away and removed from root ball when planting.
11. For new planting areas, remove all pavement, gravel sub-base and construction debris; remove compacted soil and add 18" new topsoil, or till and amend the top 18" of existing soil to meet topsoil/planting mix standards for trees (within entire minimum area of 274 square feet).

Tree Save and Preservation

- 20. Tree protection must be installed and verified by Urban Forestry prior to starting ANY construction activity.
21. Show tree protection and trees save areas on erosion control, grading and landscape plan sheets.
22. Commercial tree save areas must be recorded on a final plat with the Mecklenburg County Register of Deeds before Urban Forestry holds can be released. A 10' no build zone around tree save areas must be referenced on the plat.

General

- 29. Submit required CO/hold release form at http://charlottenc.gov/ld for an inspection of tree protection/planting areas, a minimum of 5 days before the CO/hold release is needed.
30. Visit City of Charlotte's Land Development website for additional information and urban forestry requirements: http://charlottenc.gov/ld then click Trees.



Attached to Administrative

Approval

Solomon A. Fortune

LEGEND

EXISTING

REFER TO C1.1 FOR EXISTING FEATURES LEGEND

PROPOSED

Table with columns: TREES ITEM, SIZE, SPACING, QTY. Includes entries for QUERCUS SHUMARDII SHUMARD RED OAK and ULMUS PARVIFOLIA LACEBARK ELM.

Table with columns: SHRUBS & ACCENTS ITEM, SIZE, SPACING, QTY. Includes entries for LOROPETALUM CHINENSE 'CHANG NIAN HONG' and ILEX CORNUTA 'DWARF BURFORD'.

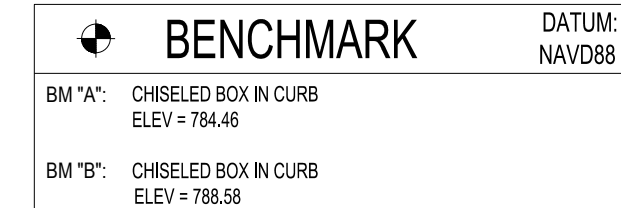
- MULCH
• ALL PLANT BEDS SHALL CONTAIN A 4" LAYER OF PINE NEEDLE MULCH
• CONTRACTOR TO PLACE 4" DIAMETER MULCH RING AROUND ALL TREES IN LAWN

LANDSCAPE REQUIREMENTS

Table for PERIMETER PLANTING: SNOWS PLACE (76 LF). Includes rows for REQUIRED WIDTH (8'), PROPOSED WIDTH (8'), REQUIRED LARGE MATURING TREES (2), and PROPOSED LARGE MATURING TREES (2).

Table for INTERNAL PLANTING PLANTING AREAS. Includes rows for PROPOSED IMPERVIOUS AREA (30,103 SF), REQUIRED LANDSCAPED AREA (3,010 SF), PROPOSED LANDSCAPED AREA (3,490 SF), and REQUIRED LARGE MATURING TREES (3).

Table for PARKING AREAS. Includes rows for REQUIRED SCREENING SHRUBS (CONTINUOUS HEDGE) and PROPOSED SCREENING SHRUBS (CONTINUOUS HEDGE).



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Table with columns: NO., DATE, REVISION DESCRIPTION.



CAMBRIDGE DAVIS LAKE, LLC
STARBUCKS AT DAVIS LAKE
8421 DAVIS LAKE PARKWAY
CHARLOTTE, NORTH CAROLINA 28269

PLANTING PLAN

Table with fields: ISSUE: NOT FOR CONSTRUCTION, DATE: 07-08-2021, JOB NO.: 759028-01, DESIGN: MS, DRAWN: MS, CHECKED: E.J.L., SHEET NO. L1.0

- A.** MANUFACTURER: GENERAL SHALE OR SIMILAR  
PRODUCT: PHOENIX  
MORTAR COLOR: LAFARGE IVORY BUFF
- B.** MANUFACTURER: PALMETTO BRICK OR SIMILAR  
PRODUCT: .25 GREYSTONE  
MORTAR COLOR: LAFARGE IVORY BUFF
- C.** MANUFACTURER: GENERAL SHALE OR SIMILAR  
PRODUCT: PHOENIX - SOLDIER COURSE  
MORTAR COLOR: LAFARGE IVORY BUFF
- D.** MANUFACTURER: ROCK CAST  
PRODUCT: SILL BAND BN100  
COLOR: CRYSTAL WHITE
- E.** MANUFACTURER: KAWNEER  
PRODUCT: ALUMINUM STOREFRONT  
COLOR: BLACK
- F.** MANUFACTURER: BERRIDGE OR SIMILAR  
PRODUCT: METAL AWNING OVER FLAT BLACK ALUMINUM FRAME  
COLOR: ZINC GREY
- G.** MANUFACTURER: PAC-CLAD  
PRODUCT: PREFINISHED METAL COPING/ SCUPPER/DOWNSPOUT  
COLOR: BLACK
- H.** MANUFACTURER: MAPES  
PRODUCT: PREFABRICATED METAL CANOPY  
COLOR: BLACK
- J.** MATERIAL: WOOD FENCING UTILITY SCREEN  
COLOR: PAINTED TO MATCH SW 6258 TRICORN BLACK

Attached to Administrative  
Approval

*Solomon A. Fortune*  
Solomon A. Fortune

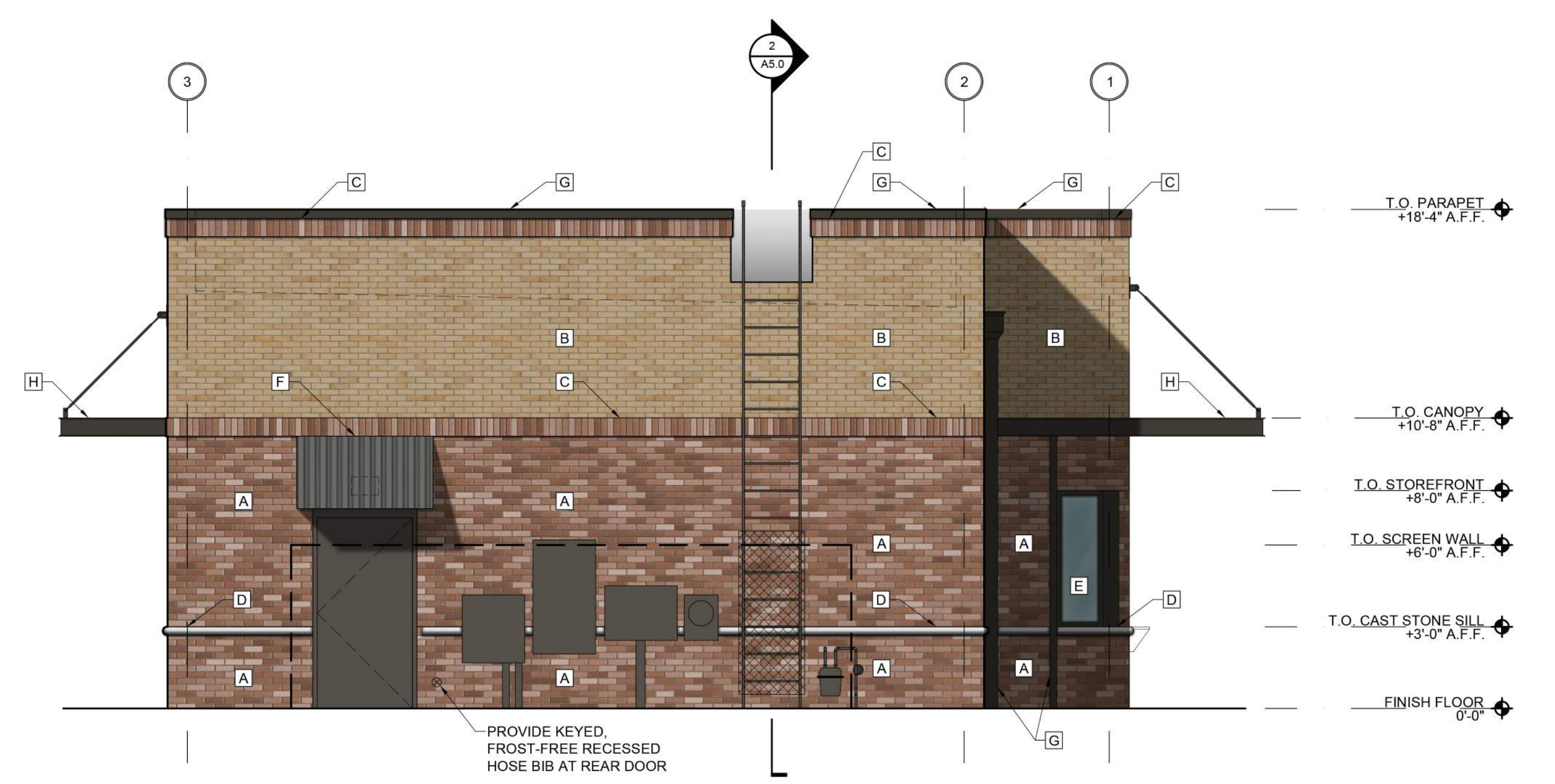
GENERAL NOTE: REFER TO STAND ALONE SIGNAGE PACKAGE FOR SPECIFIC INFORMATION ON SIGNAGE.  
GENERAL NOTE: THESE ELEVATIONS ARE SCHEMATIC IN NATURE AND ARE SUBJECT TO CHANGE IN DESIGN DEVELOPMENT.



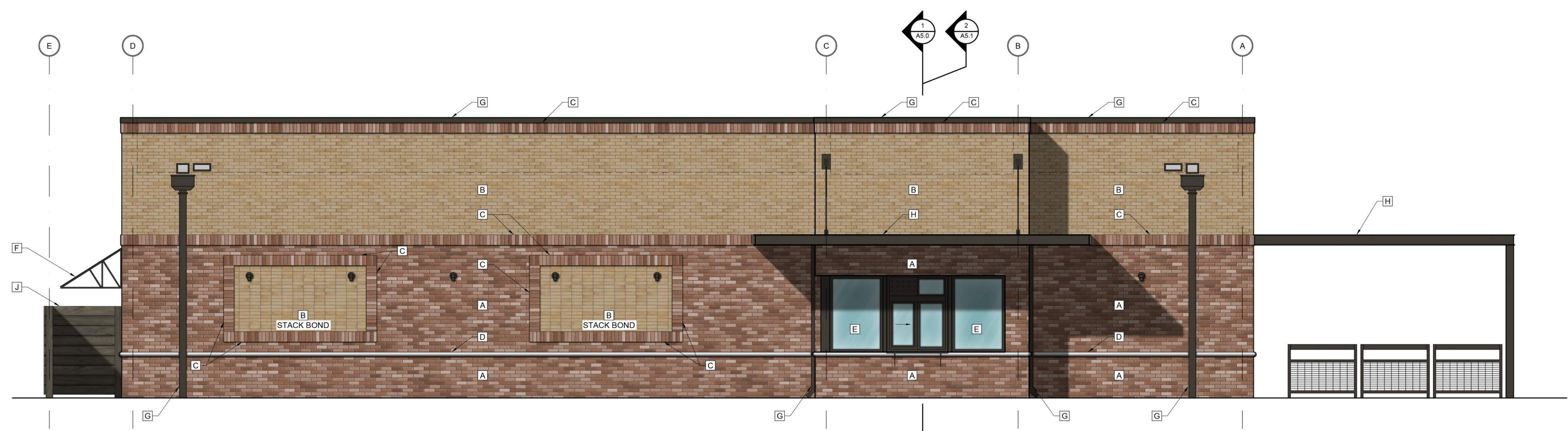
**1 EAST ELEVATION**  
Scale: 1/4"=1'-0"



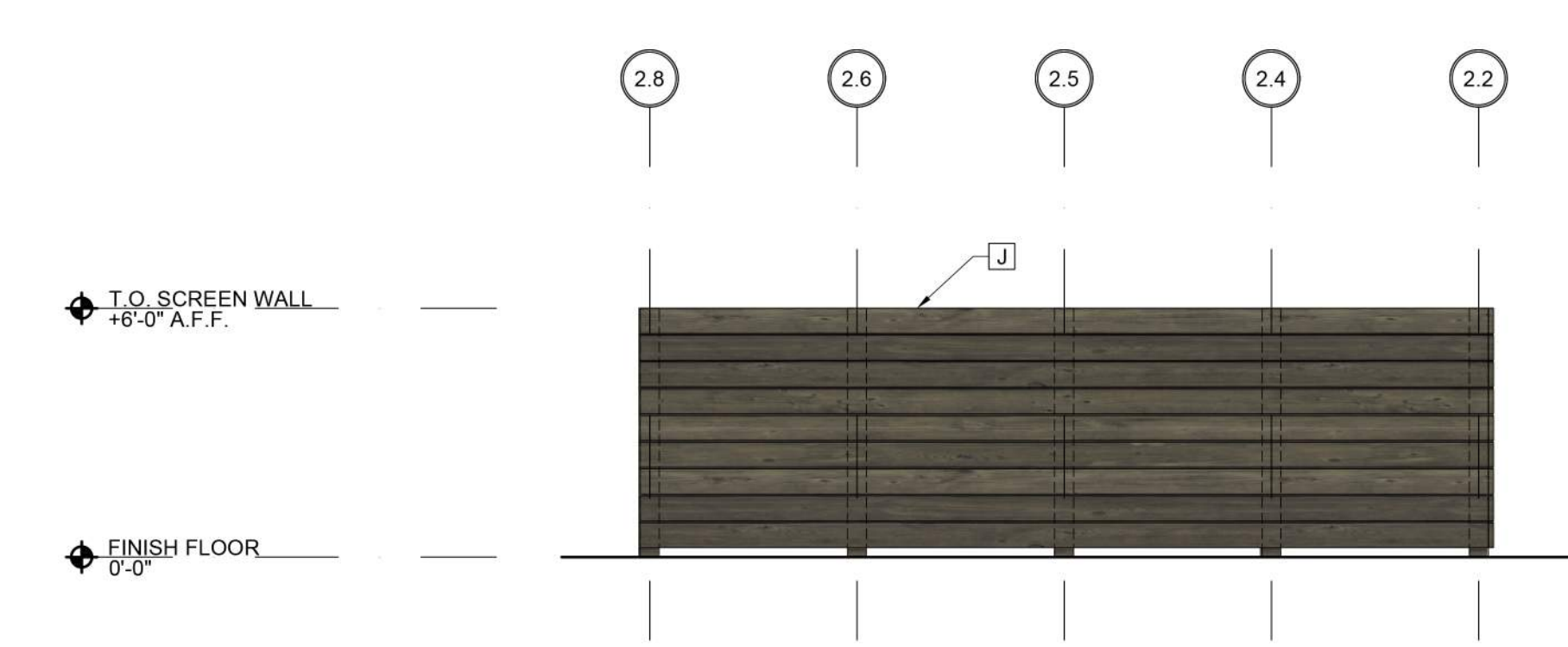
**2 SOUTH ELEVATION**  
Scale: 1/4"=1'-0"



**3 NORTH ELEVATION**  
Scale: 1/4"=1'-0"



**4 WEST ELEVATION**  
Scale: 1/4"=1'-0"



**5 SCREEN WALL ELEVATION**  
Scale: 1/4"=1'-0"

**STARBUCKS DAVIS LAKE**  
CHARLOTTE, NC

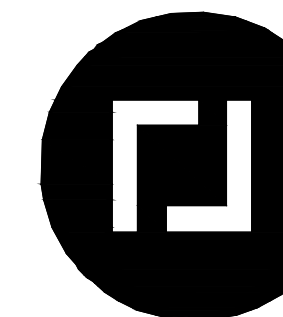
PROJECT NUMBER 2130  
ISSUE DATE  
FOR 6 PACK REVIEW 06.18.21

**DRAWING DATA**  
DRAWN BY: AA / EH  
CHECKED BY: EH

**SHEET TITLE**  
EXTERIOR ELEVATIONS

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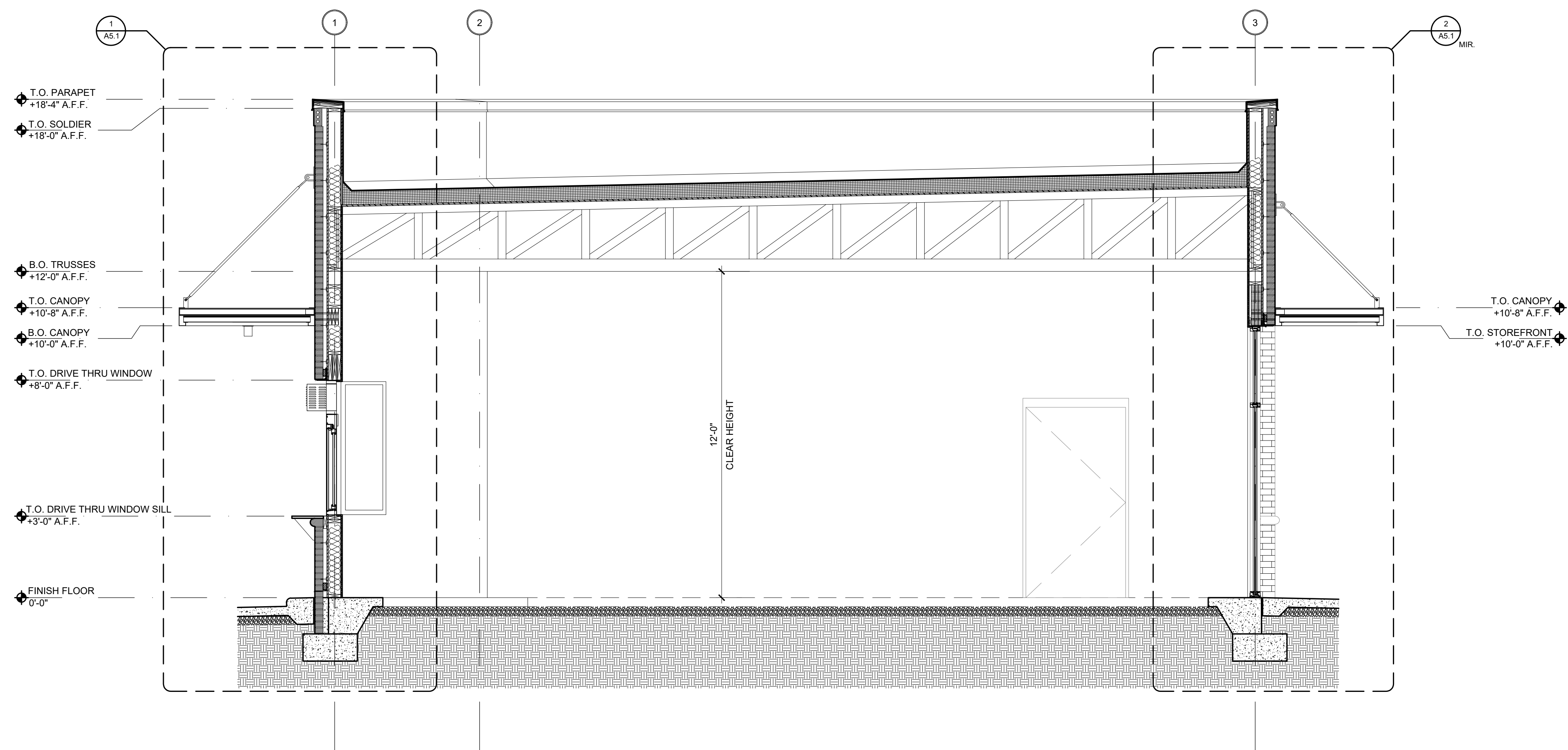
**SHEET NUMBER**  
A4.0



**ROBERT JOHNSON**  
architects  
1808 West Morehead St.  
Charlotte, NC 28208  
T 704 / 342.1058  
F 704 / 342.3043

STAMPS

CONSULTANT

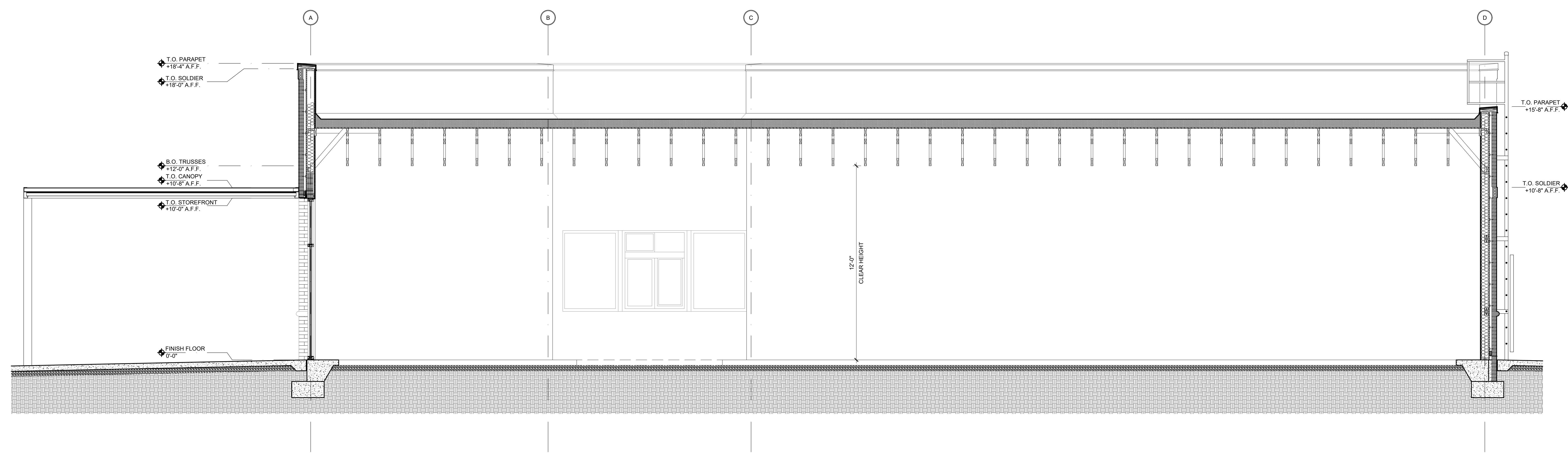


**GENERAL NOTES:**  
THESE BUILDING SECTIONS ARE SCHEMATIC IN NATURE AND SUBJECT TO CHANGE IN DESIGN DEVELOPMENT.  
ALL TRUSS DIMENSIONS ARE PLACE HOLDERS. STRUCTURAL DIMENSIONS TO BE DESIGNED IN FUTURE.

**1 BUILDING SECTION**  
A5.0 Scale: 3/8 = 1'-0"

**STARBUCKS**  
**DAVIS LAKE**  
CHARLOTTE, NC

PROJECT NUMBER 2130  
**ISSUE DATE**  
FOR 6 PACK REVIEW 06.18.21



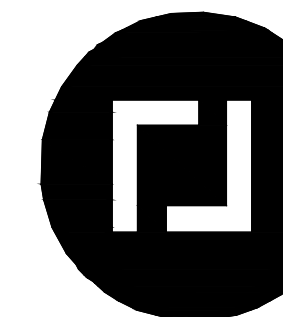
**1 BUILDING SECTION**  
A5.0 Scale: 3/8 = 1'-0"

**DRAWING DATA**  
DRAWN BY: AA / EH  
CHECKED BY: EH

**SHEET TITLE**  
**BUILDING SECTION**

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**SHEET NUMBER**  
**A5.0**



STAMPS

CONSULTANT

STARBUCKS  
DAVIS LAKE

CHARLOTTE, NC

PROJECT NUMBER 2130  
ISSUE DATE

FOR 6 PACK REVIEW 06.18.21

DRAWING DATA  
DRAWN BY: AA / EH  
CHECKED BY: EH

SHEET TITLE

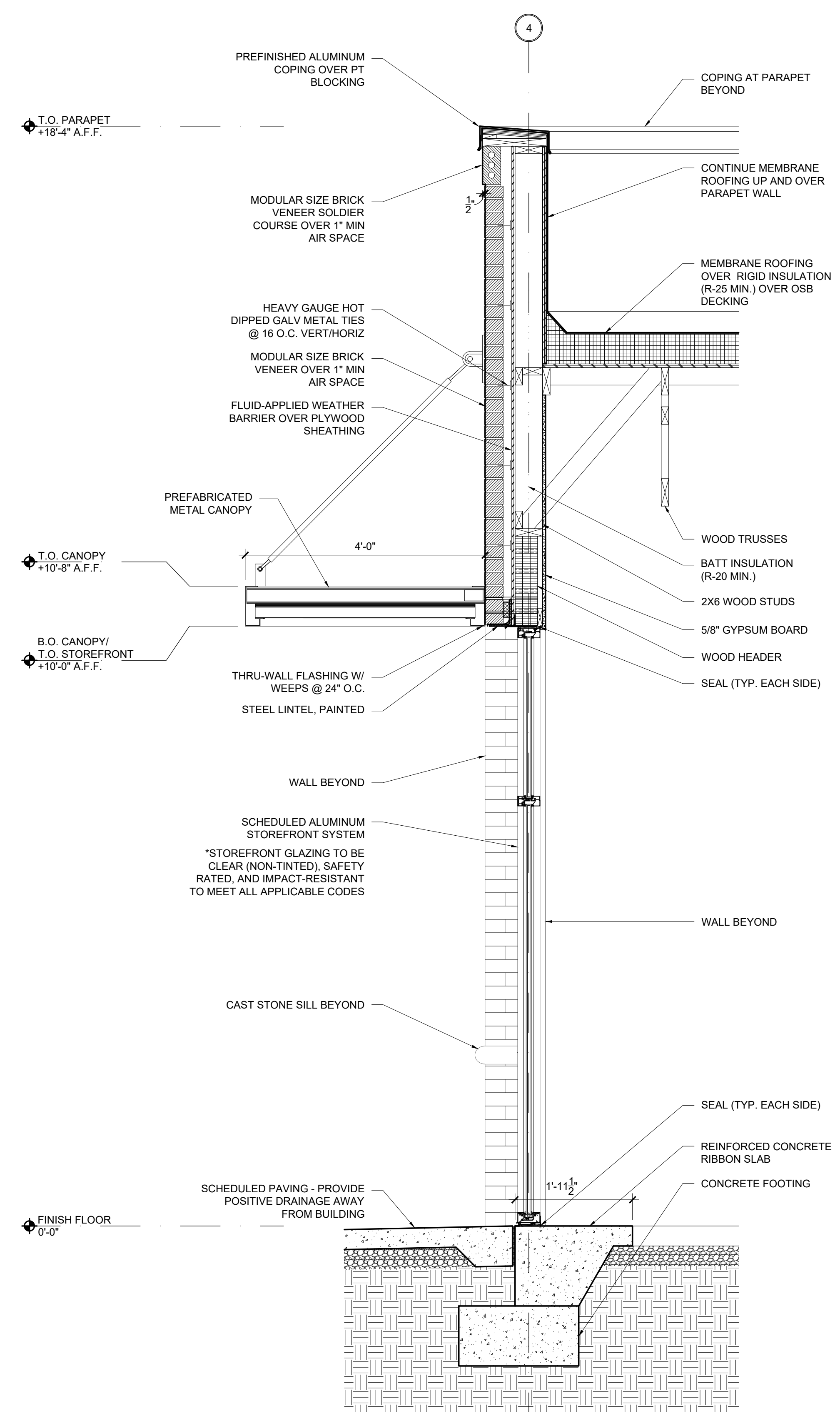
WALL SECTIONS

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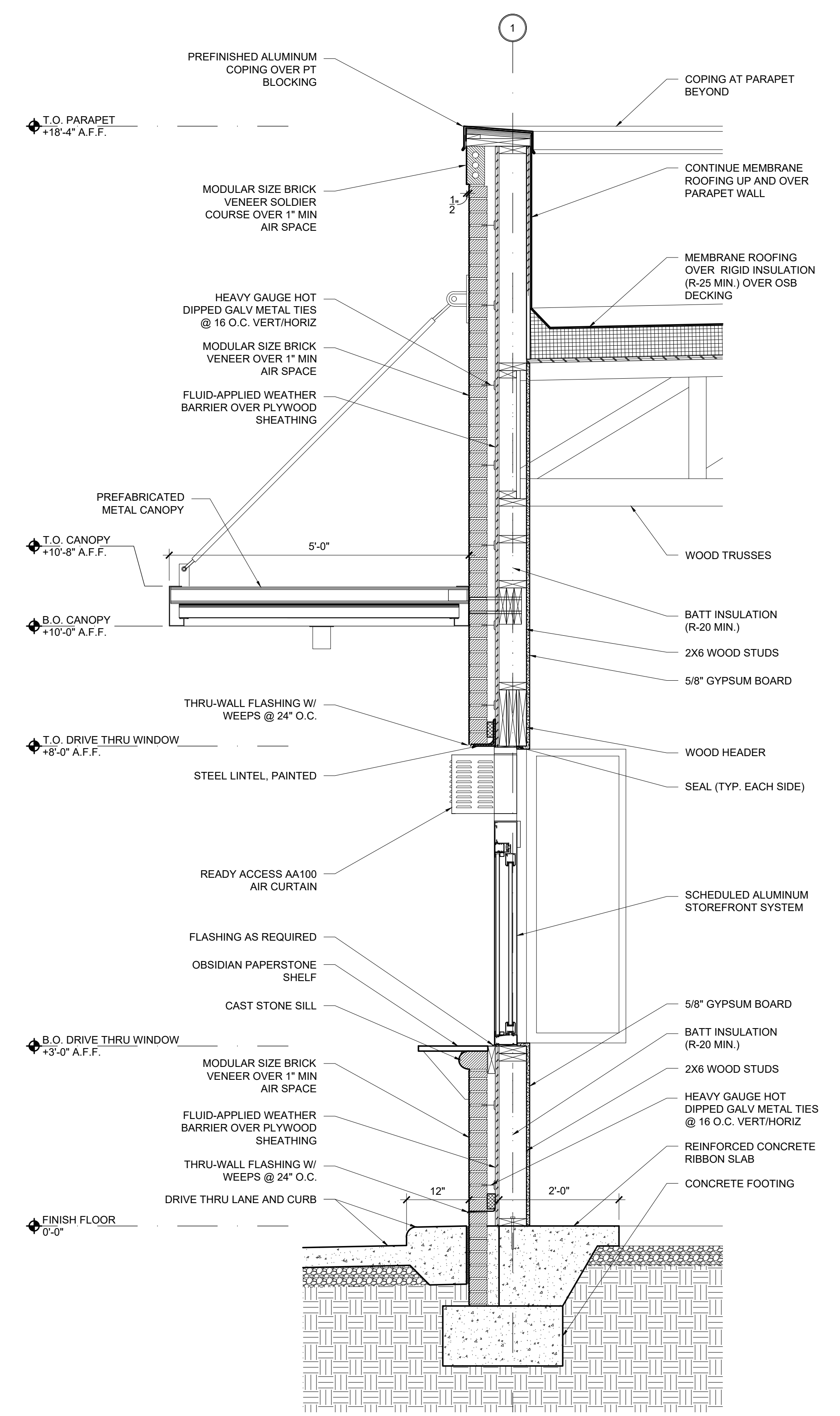
SHEET NUMBER

A5.1

GENERAL NOTES:  
THESE WALL SECTIONS ARE SCHEMATIC IN NATURE AND ARE SUBJECT TO CHANGE IN DESIGN DEVELOPMENT.  
ALL TRUSS DIMENSIONS ARE PLACE HOLDERS. STRUCTURAL DIMENSIONS TO BE DESIGNED IN FUTURE.



1 WALL SECTION  
Scale: 3/4 = 1'-0"



2 WALL SECTION  
Scale: 3/4 = 1'-0"