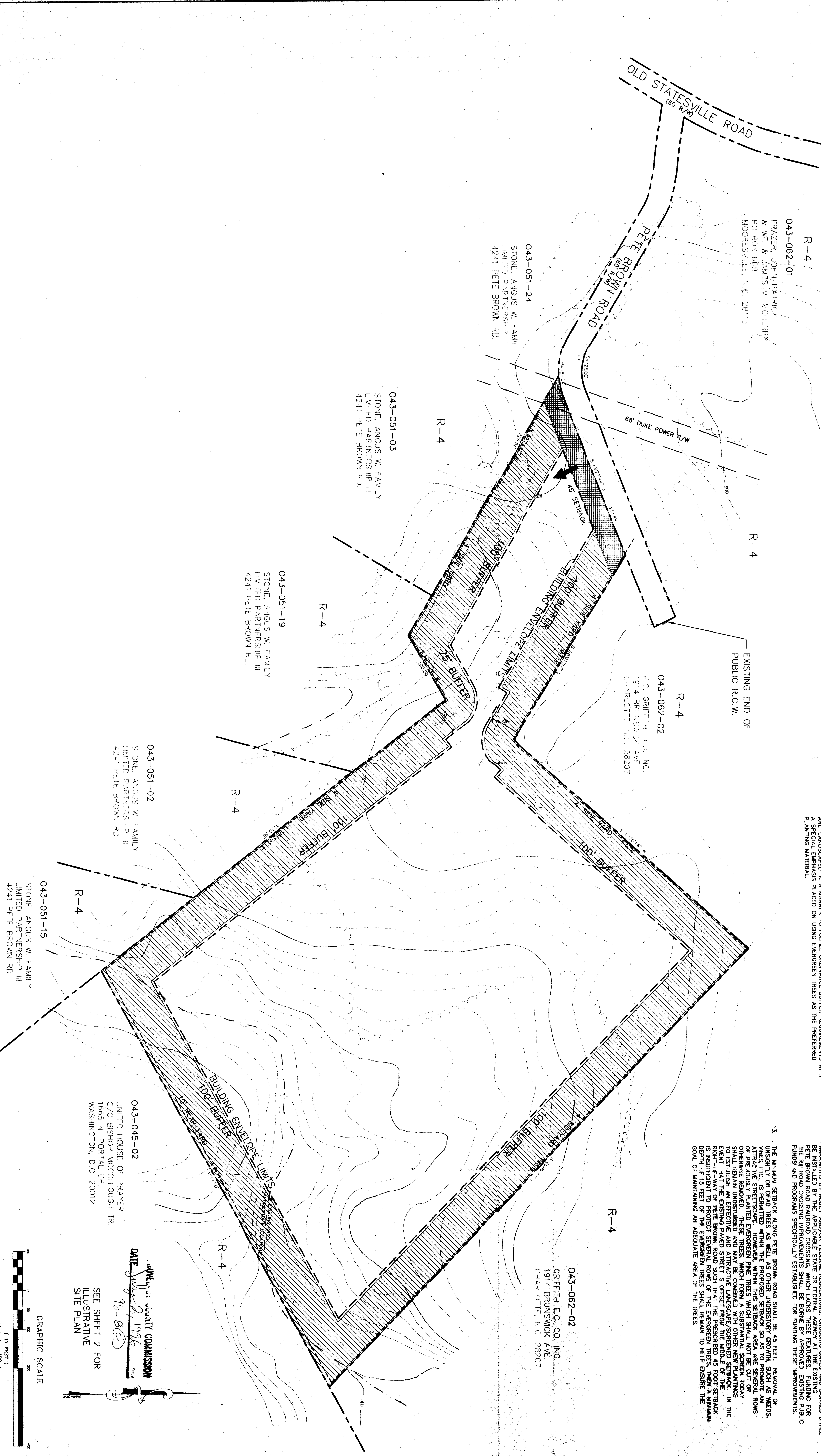


SITE DEVELOPMENT DATA:

- EXISTING ZONING: R4
- PROPOSED ZONING: I-1 (CO)
- TAX PARCEL NUMBER: 043-051-01
- TOTAL ACRES: 40.072 ACRES
- MAXIMUM BUILDING SQUARE FOOTAGE: 375,000 SF
- I-1 YARD REQUIREMENTS:
 - 20' FRONT SETBACK
 - 0/4' SIDE YARD
 - 10' REAR YARD
- PROPOSED USE: LIGHT INDUSTRIAL PARK
- MINIMUM REQUIRED PARKING: 25 SP/1000 S.F. MANUFACTURING OR WAREHOUSE
+ 1 SP./400 S.F. ACCESSORY OFFICE

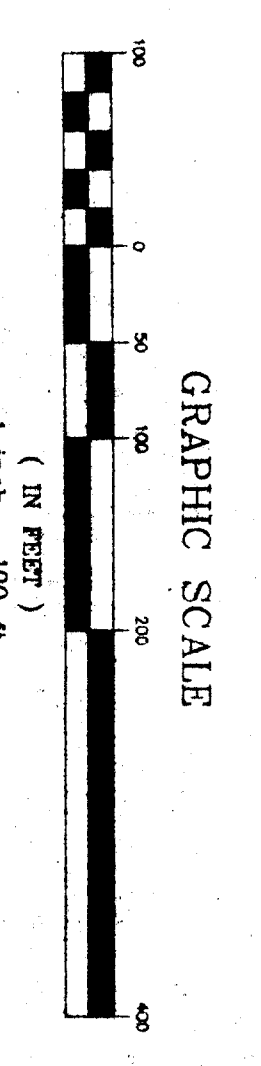
GENERAL NOTES:

1. THE CONDITIONAL SITE PLAN SHALL CONSIST OF THE TECHNICAL DATA SHEET AND THE ILLUSTRATIVE PLAN. THE TECHNICAL DATA SHEET SHALL CONTAIN DEVELOPMENT NOTES AND CONDITIONS GOVERNING THE DEVELOPMENT RIGHTS OF THE PROPOSED PLAN REGARDING SUCH THINGS AS THE LOCATION AND BUFFER SPACING OF ACCESSORIES, ETC. THE ILLUSTRATIVE PLAN IS A PART OF THE OVERALL CONDITIONAL SITE PLAN AND DEPICTS A POSSIBLE DEVELOPMENT PLAN OF THE BUILDING LAYOUT AND PARKING/CIRCULATION AREAS. HOWEVER, MATTER OF RIGHT BASED UPON FINAL DESIGN AND CONSTRUCTION DETAILS, SITE CONSTRAINTS, DEVELOPER/TENANT NEEDS AND THE LIKE.
2. THE PROPOSED DEVELOPMENT SHALL CONSIST OF AN AREA ZONED I-1(CO) CONTAINING A MAXIMUM OF 375,000 SQUARE FEET OF BUILDING SPACE.
3. THE OVERALL DEVELOPMENT SHALL COMPLY WITH ALL MECKLENBURG COUNTY REGULATORY ORDINANCES AND REQUIREMENTS PERTAINING TO OFF-STREET PARKING, SCREENING, SIGNAGE, LANDSCAPING, BUFFERS, SOIL EROSION, INTERNAL PLANTING, AND LOADING.
4. THE TOTAL NUMBER OF INGRESS/EGRESS POINTS TO PETE BROWN ROAD SHALL BE LIMITED TO THE NUMBER SHOWN ON THE TECHNICAL DATA SHEET. THE LOCATION OF ANY ADDITIONAL INGRESS/EGRESS POINTS SHALL BE APPROVED BY MECKLENBURG COUNTY AND/OR NORTH CAROLINA DEPT. OF TRANSPORTATION REGULATIONS.
5. THE PROPOSED DEVELOPMENT SHALL OBSERVE A 100 FT. BUFFER AROUND THE PERIMETER OF THE SITE AS SHOWN EXCEPT FOR TWO AREAS WHERE THE BUFFER IS NOT SHOWN. THESE AREAS ARE: (1) THE AREA WHERE THE BUFFER IS NOT SHOWN BECAUSE OF THE LOCATION OF THE PROPOSED DEVELOPMENT AND (2) THE AREA WHERE THE BUFFER IS NOT SHOWN BECAUSE OF THE LOCATION OF THE PROPOSED DEVELOPMENT. VEGETATION SCREENING TO MAINTAIN LAND AND THEN THAT AREA SHALL BE PLANTED WITH SPECIFIC EMPHASIS PLACED ON USING EVERGREEN TREES AS THE PREFERRED PLANTING MATERIAL.
6. THE PROPOSED DEVELOPMENT SHALL MAINTAIN THE EXISTING BUFFER AROUND THE PERIMETER OF THE SITE AS SHOWN EXCEPT FOR TWO AREAS WHERE THE BUFFER IS NOT SHOWN. THESE AREAS ARE: (1) THE AREA WHERE THE BUFFER IS NOT SHOWN BECAUSE OF THE LOCATION OF THE PROPOSED DEVELOPMENT AND (2) THE AREA WHERE THE BUFFER IS NOT SHOWN BECAUSE OF THE LOCATION OF THE PROPOSED DEVELOPMENT. VEGETATION SCREENING TO MAINTAIN LAND AND THEN THAT AREA SHALL BE PLANTED WITH SPECIFIC EMPHASIS PLACED ON USING EVERGREEN TREES AS THE PREFERRED PLANTING MATERIAL.
7. NO STORM WATER DETENTION SYSTEMS SHALL BE LOCATED IN THE SETBACK OR IN ANY BUFFER AREA, NOR SHALL ANY DRAIN ASSOCIATED WITH ANY DETENTION BE LOCATED IN THE SETBACK OR BUFFER AREAS.
8. THE MAXIMUM HEIGHT OF EXTERIOR LIGHTING SHALL BE 30 FEET AND SIGN LIGHTING SHALL BE HEIGHT/DIRECTED IN A MANNER TO PREVENT DIRECT GAZE ON ADJACENT RESIDENTIAL PROPERTIES.
9. THE MAXIMUM BUILDING HEIGHT SHALL BE 40 FEET.
10. THE SETBACK (HEREIN OR DEVELOPER/SUCCESSORS) SHALL CONSTRUCT A LEFT TURN LANE FROM PETE BROWN ROAD TO THE PROPOSED DEVELOPMENT. THE SETBACK SHALL BE 100 FEET OF BUILDING AREA HAS BEEN CONSTRUCTED ON THE SITE.
11. THE SETBACK (HEREIN OR DEVELOPER/SUCCESSORS) SHALL IMPROVE THAT PORTION OF PETE BROWN ROAD TO A COMMERCIAL COLLECTOR CLASS STREET WHERE THE SITE FRONTS ALONG PETE BROWN ROAD. THE CONTRIBUTION OF THE IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/SUCCESSORS. THE IMPROVEMENTS SHALL BE CONSTRUCTED ON THE SITE.
12. THE MECKLENBURG COUNTY DEPARTMENT OF PUBLIC WORKS SHALL BE NOTIFIED BY THE DEVELOPER/SUCCESSORS OF THE PROPOSED DEVELOPMENT. THE DEVELOPER/SUCCESSORS SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THE IMPROVEMENTS. THE IMPROVEMENTS SHALL BE INSTALLED BY THE APPLICABLE STATE OR FEDERAL AGENCY AT THE EXISTING PETE BROWN ROAD CROSSING IMPROVEMENTS SHALL BE DONE BY APPROVED EXISTING PUBLIC FUNDS AND PROGRAMS SPECIFICALLY ESTABLISHED FOR FUNDING THESE IMPROVEMENTS.
13. THE MAXIMUM SETBACK ALONG PETE BROWN ROAD SHALL BE 40 FEET. REMOVAL OF TREES SHALL BE PERMITTED WITHIN THE PROPOSED SETBACK SO AS TO PROMOTE AN ATTRACTIVE STREETScape. HOWEVER, WITHIN THIS SETBACK AREA ARE SEVERAL ROWS OF MATURE PINE TREES WHICH SHALL NOT BE CUT OR REMOVED. ANY OTHER TREES WHICH SHALL BE REMOVED SHALL BE REPLACED WITH OTHER NEW PLANTINGS TO ESTABLISH AN ATTRACTIVE LANDSCAPE/SCREENED SETBACK. IN THE EVENT THAT THE EXISTING PAVED STREET IS OBTAINED FROM THE MIDDLE OF THE EXISTING ROAD, THE DEVELOPER/SUCCESSORS SHALL BE RESPONSIBLE FOR THE INSTALLATION OF A PROTECTIVE SERIAL ROWS OF THE EXISTING TREES, THEN A MINIMUM DEPTH OF 15 FEET OF THE EXISTING TREES SHALL REMAIN TO HELP ENSURE THE GOAL OF MAINTAINING AN ADEQUATE AREA OF THE TREES.

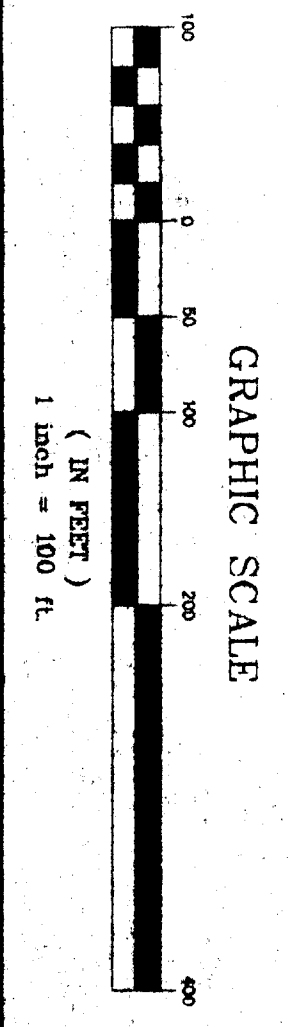
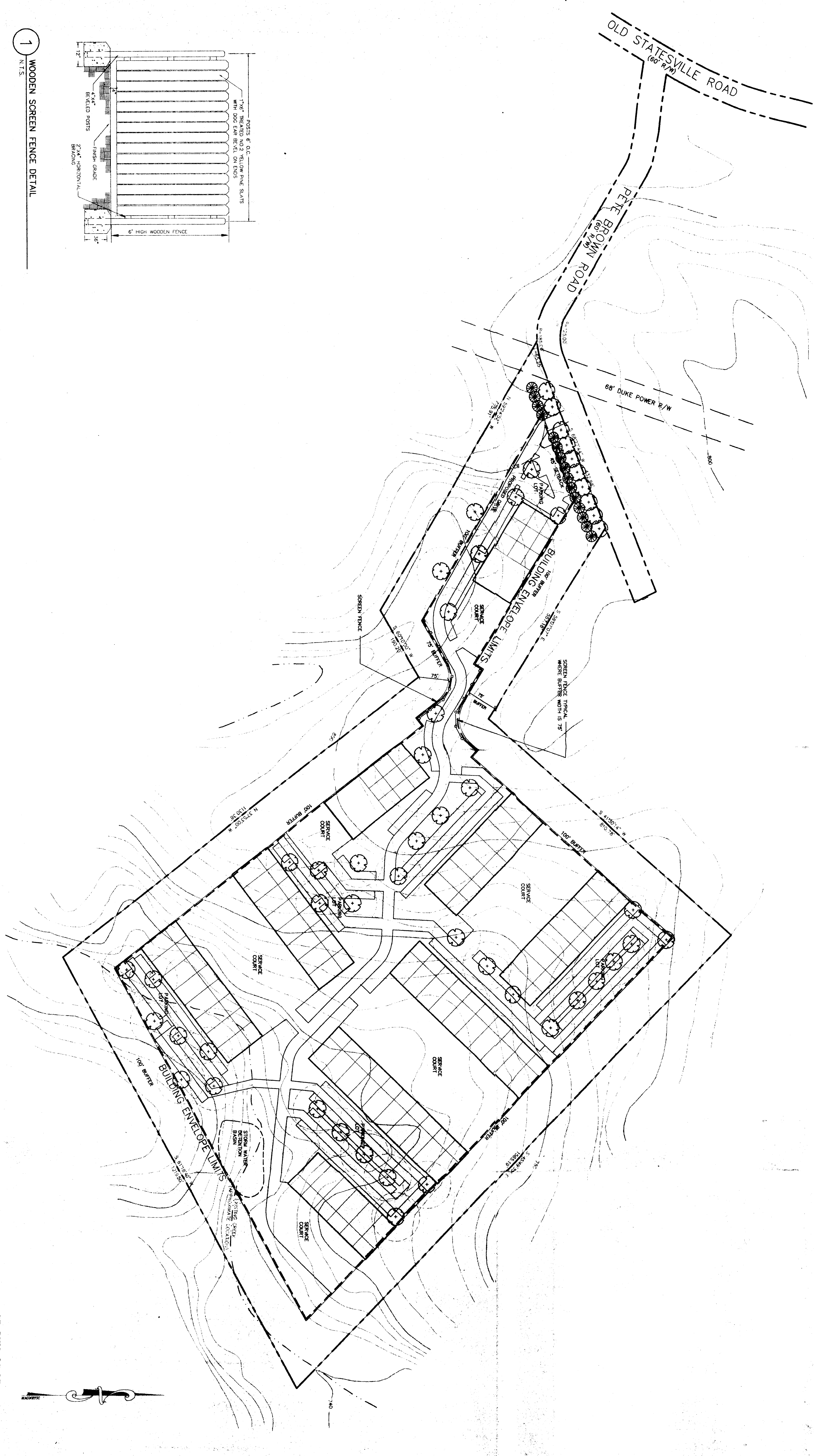
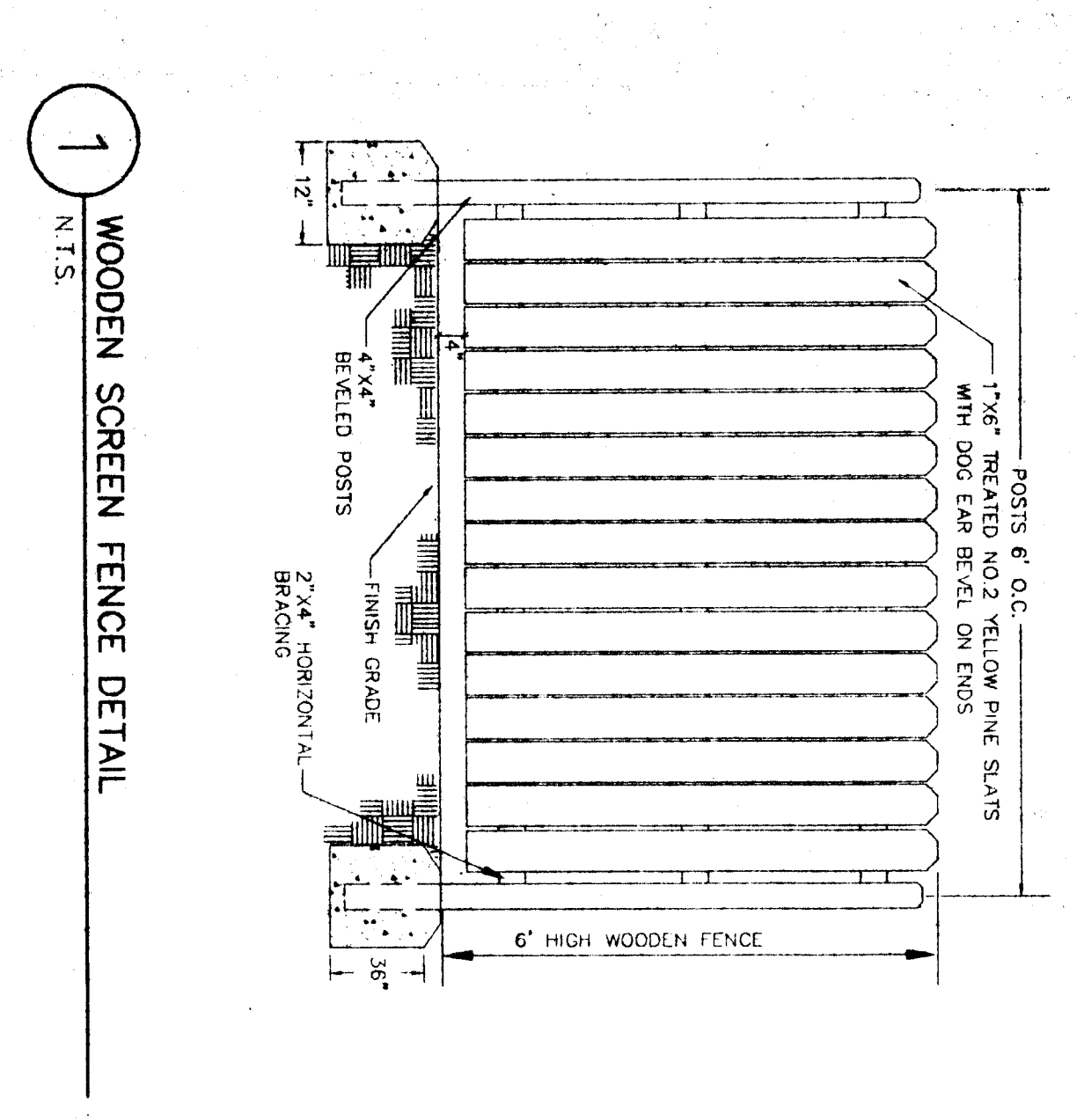
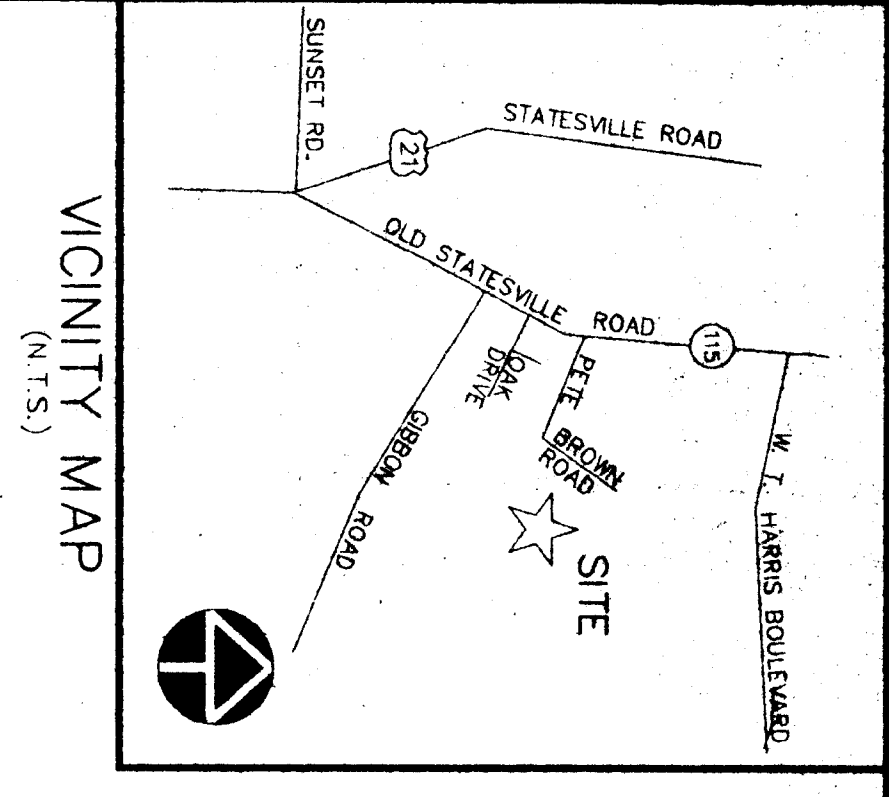


APPROVED BY: VINCENY COMMISSION
DATE: July 2, 1996
96-802

SEE SHEET 2 FOR ILLUSTRATIVE SITE PLAN



<p>Project Number 37536</p> <p>Sheet 1 OF 2</p>	<p>Revisions</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 5%;">No.</td> <td style="width: 15%;">Date</td> <td style="width: 80%;">Description</td> </tr> <tr> <td>1</td> <td>4/18/96</td> <td></td> </tr> <tr> <td>2</td> <td>5/07/96</td> <td></td> </tr> <tr> <td>3</td> <td>5/22/96</td> <td></td> </tr> </table> <p>Checked By: TLH Drawn By: AHS/PAH Date Drawn: 2/28/96</p>	No.	Date	Description	1	4/18/96		2	5/07/96		3	5/22/96		<p>CONDITIONAL REZONING REQUEST TECHNICAL DATA SHEET</p> <p>Project: F. & H. LUMBER CO., INC. 40.072 ACRE AT PETE BROWN RD.</p> <p>Sheet Title: _____</p>	<p>Copyright © 1996 The use of these drawings for any other project without the written consent of GNA Design Associates, Inc. is prohibited.</p>	<p>GNA DESIGN ASSOCIATES, Inc. 428 East Fourth Street Suite 408 (704) 373-1907 Charlotte, NC 28202</p> <p>Surveying • Landscape Architecture • Civil Engineering</p>
No.	Date	Description														
1	4/18/96															
2	5/07/96															
3	5/22/96															



Project Number 37536
Sheet 2
Of 2

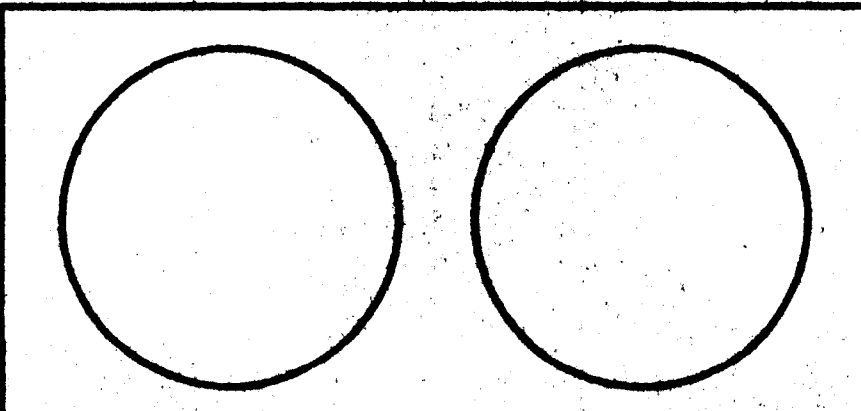
Issue Date	
Checked By	TLH
Drawn By	AHS / PAB
Date Drawn	2/26/96
Revisions	
No. 1	Date: 4/16/96
No. 2	Date: 5/22/96
No. 3	Date: 5/22/96

**CONDITIONAL REZONING REQUEST
ILLUSTRATIVE SITE PLAN**

Sheet Title

F. & H. LUMBER CO., INC.
40.072 ACRE AT PETE BROWN RD.

©Copyright
The use of these drawings
for any purpose other than
that intended by the drafter
is prohibited. Violators
will be held liable for all
actions.



GNA DESIGN ASSOCIATES, Inc.

428 East Fourth Street
Suite 408 (704) 373-1907
Charlotte, NC 28202

Surveying • Landscape Architecture • Civil Engineering