

- (1) 043-394-07 8213 Wain Norton Camp (By Eutaw) (6) 043-092-08 George Ormond Newy and Wife, Judith Ann Bell 6200 Governor General Brown, Jr. and Wife, Barbara Ormond, Charlotte, NC 28268
- (2) 043-092-08 8308 Deane Brown Road (7) 043-091-14 SOA Multi Carolina LLC Partnership 2040 Hawthorn Hill Cove, Charlotte, NC 28269
- (3) 043-092-04 8336 Governor R. Brown and Wife, Mary E. (8) 043-093-01 Robert E. Zimmerman and Wife, Joan H. 4425 Park West, Charlotte, NC 28211
- (4) 043-092-11 8335 Deane Brown Road (9) 043-093-02 2715 Berrand Road (12) 043-151-06 6405 Berrand Road, Charlotte, NC 28211
- (5) 043-092-02 4501 David Cox Road (13) 043-151-05 8313 Wain Norton Camp (By Eutaw) 8313 Wain Norton Camp (By Eutaw) Charlotte, NC 28269

DEVELOPMENT NOTES

Development of the site and construction of the accompanying Technical Data Sheet (TDS) shall be governed by the conditions of these Development Standards, the Technical Data Sheet, and the applicable provisions of the Wake County Zoning Ordinance (the "Ordinance").

Development of the site shall be in accordance with the conditions of the Ordinance, the TDS, and the accompanying site zoning provisions and shall be subject to the approval of the Planning Department and the Board of Zoning Adjustments. Planning officials may also be modified to accommodate final building configurations.

Part I
Statement of Intent

R is the intention of the Developer to create within the Site a high quality, planned multi-family project to be developed in accordance with the Ordinance.

Part II
Permitted Development Within the Site

A. The Site may be developed into a planned multi-family project (including any number of accessory uses permitted by the Ordinance).

B. No more than 433 residential units may be developed within the Site.

Part III
Transportation Commitments

A. The roadway improvements of the driveway leading into the Site will be made in accordance with the requirements of NCDOT and Wake County Engineering Department.

B. The roadway improvements will be provided by the developer, at the developer's expense, and shall include:

1. A right turn acceleration lane with a minimum of 100 feet in length from the intersection of the driveway with W.T. Harris Blvd. to the intersection of the driveway with W.T. Harris Blvd.
2. A right turn deceleration lane with a minimum of 100 feet in length from the intersection of the driveway with W.T. Harris Blvd. to the intersection of the driveway with W.T. Harris Blvd.

Part IV
Design Guidelines

Section 1 - Yard Restrictions

Outdoor lighting shall be installed in accordance with the specifications set forth in the Technical Data Sheet. All outdoor lighting shall be shielded so that light is directed only to the area it is intended to illuminate. Light fixtures shall be installed in accordance with the specifications set forth in the Technical Data Sheet.

Section 2 - Access Point

A. Only one access point will be provided for the Site as shown on the Technical Data Sheet.

B. The placement and configuration of the access point and driveway within the Site shall be subject to any modifications required to accommodate final site plan and shall be subject to the approval of the Planning Department and the Board of Zoning Adjustments.

Section 3 - Storm Water Management

A storm water control system will be installed within the Site which satisfies the requirements of the Ordinance. The storm water control system shall be designed in accordance with the Technical Data Sheet.

Section 4 - Buffer Areas

A. Exterior buffer areas will be established in accordance with the specifications set forth in the Technical Data Sheet. All buffer areas shall be landscaped in accordance with the requirements of Section 12.202 and 12.204 of the Ordinance.

B. Buffer areas shall be landscaped with native plants and trees, and shall be maintained in accordance with the specifications set forth in the Technical Data Sheet.

Section 5 - W.T. Harris Boulevard Landscaping Area

A 100 foot wide landscaping area will be established along the right-of-way for W.T. Harris Boulevard. Except in the unshaded areas indicated on Sheet 3, the landscaping shall be provided in the manner specified in the Streetscape Concept on Sheet 3. The landscaping shall include trees, shrubs, and ground cover, and shall be maintained in accordance with the specifications set forth in the Technical Data Sheet.

Section 6 - Landscaping and Screening

A. Landscaping and screening shall, at a minimum, satisfy the requirements of Section 12.203 of the Ordinance.

B. Landscaping within the Site will be planted and improved in sequence with one year to the development taking place.

C. All parking lots will be landscaped in accordance with Section 12.208 of the Ordinance.

Section 7 - Amendments to Technical Data Sheet and these Development Standards

Future amendments to the Technical Data Sheet and these Development Standards shall be subject to the approval of the Planning Department and the Board of Zoning Adjustments.

Section 8 - Architectural Controls

1. The principal materials used in the exterior construction of these buildings will be brick and top siding.

2. No building constructed on the Site may exceed 3 stories or as provided by Section 12.202 (7) of the Ordinance.

Section 9 - Signs and Graphics

A master sign and graphics system will be adopted and, at a minimum, will satisfy the requirements of the Ordinance.

Section 10 - Site Lighting

All lighting within the Site, except street lights, shall be designed such that direct illumination does not extend beyond the property lines of the Site. Light fixtures will not exceed 20 feet in height, except for street lights.

Section 11 - Binding Effect of the Rezoning Application

Section 11. If the Rezoning Application is approved, the development program established in the rezoning application shall be binding upon the developer and all other parties involved in the development of the Site, and shall be binding upon the developer and all other parties involved in the development of the Site, and shall be binding upon the developer and all other parties involved in the development of the Site.

Section 12. The rezoning application shall be binding upon the developer and all other parties involved in the development of the Site, and shall be binding upon the developer and all other parties involved in the development of the Site, and shall be binding upon the developer and all other parties involved in the development of the Site.

Section 13. The rezoning application shall be binding upon the developer and all other parties involved in the development of the Site, and shall be binding upon the developer and all other parties involved in the development of the Site, and shall be binding upon the developer and all other parties involved in the development of the Site.

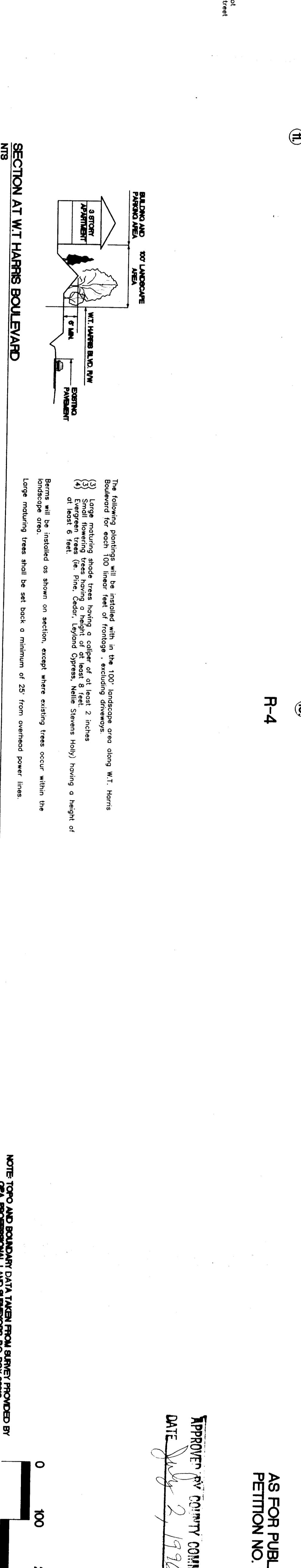
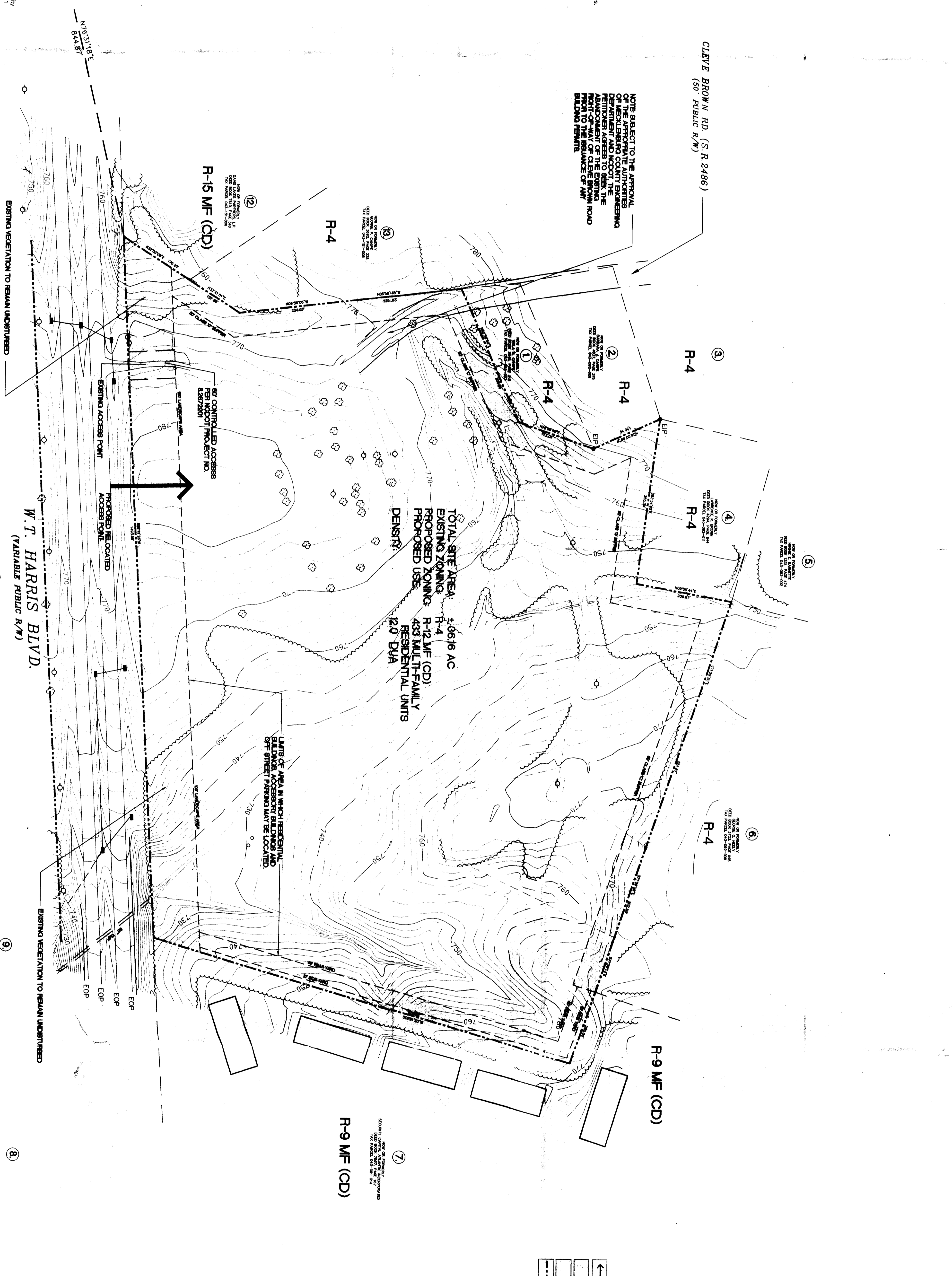
Section 14. The rezoning application shall be binding upon the developer and all other parties involved in the development of the Site, and shall be binding upon the developer and all other parties involved in the development of the Site, and shall be binding upon the developer and all other parties involved in the development of the Site.

Section 15. The rezoning application shall be binding upon the developer and all other parties involved in the development of the Site, and shall be binding upon the developer and all other parties involved in the development of the Site, and shall be binding upon the developer and all other parties involved in the development of the Site.

Section 16. The rezoning application shall be binding upon the developer and all other parties involved in the development of the Site, and shall be binding upon the developer and all other parties involved in the development of the Site, and shall be binding upon the developer and all other parties involved in the development of the Site.

W.T. HARRIS BOULEVARD

FOR FAIRFIELD RESIDENTIAL, INC.



DATE: MARCH 9, 1996
 PROJECT NO.: 9041
 REVISIONS:
 MAY 28, 1996 - PART IV, B
 COMMISSION COMMENTS
 JUNE 28, 1996 - PART V, SECS. 6, D

APPROVED BY COUNTY COMMISSION

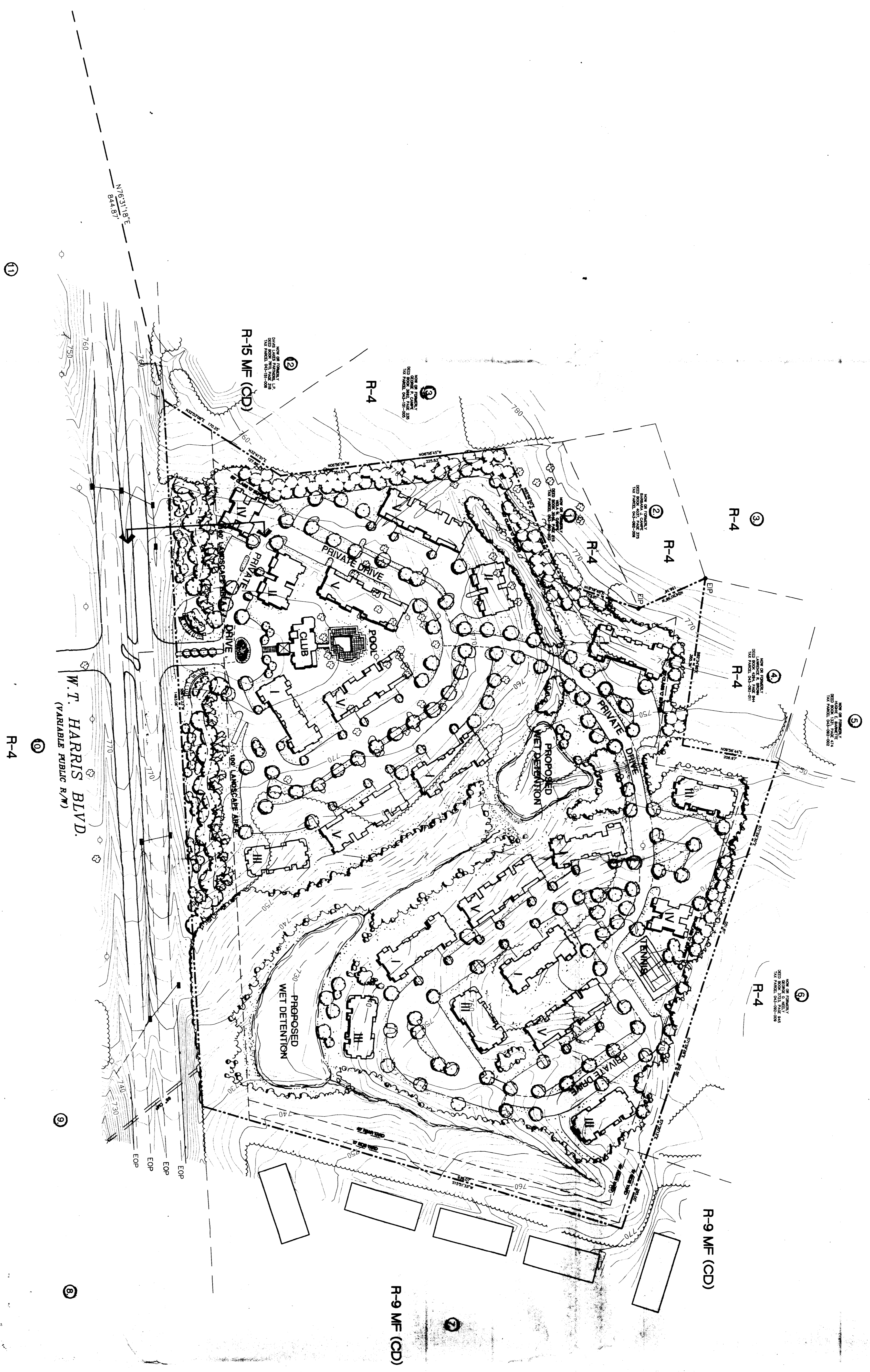
DATE: July 2, 1996

AS FOR PUBLIC HEARING
 PETITION NO. 96-11(C)

LAND DESIGN INC.
 Landscape Architecture
 Urban Planning

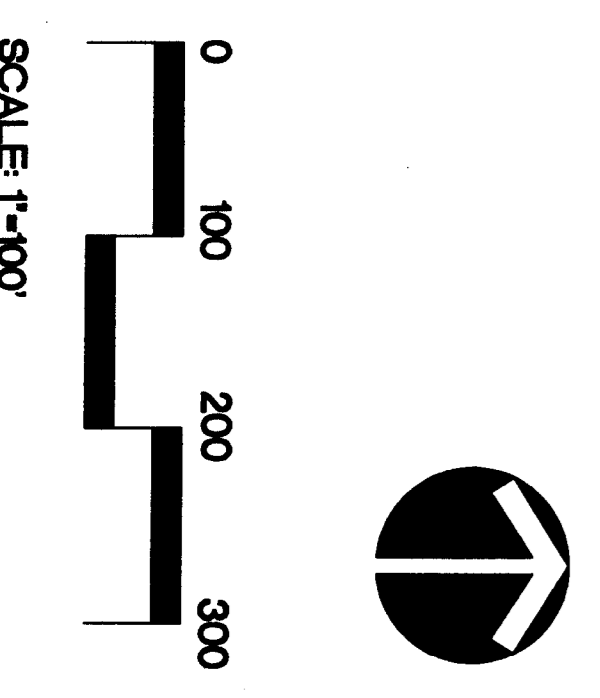
SHEET NO.: 1
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W.T. HARRIS BOULEVARD FOR FAIRFIELD RESIDENTIAL, INC.



SITE TABULATION
 TOTAL SITE AREA: 44- 0816 AC
 TOTAL BUILDING UNITS: 472- 8109 AC OR 387/
 IMPERVIOUS AREA: 47- 2307 AC OR 647/
 OPEN SPACE AREA: 47- 2307 AC OR 647/

NOTE: TOPO AND BOUNDARY DATA TAKEN FROM SURVEY PROVIDED BY CHASE LOTTE, INC. 2828-496 (704) 352-4600 OR (800) 354-4461 FAX (704) 352-4605 ON 1/26/96, JOB NO. 8904.



AS FOR PUBLIC HEARING
 PETITION NO. 96-11(C)

**SCHEMATIC
SITE PLAN**

DATE: MARCH 19, 1996
 PROJECT NO. 8041
 REVISION: 17, 806-REvised PER PLANNING
 COMMISSION COMMENTS

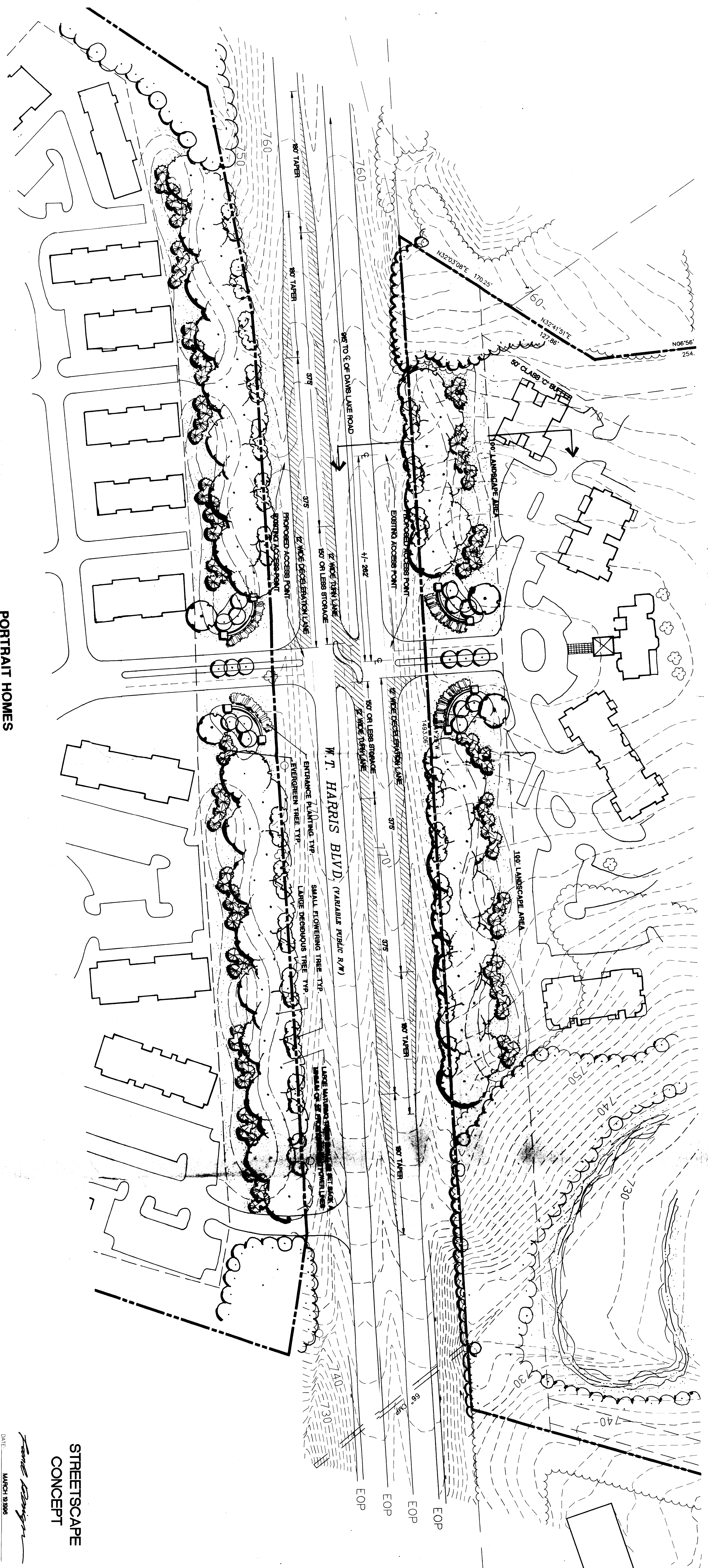
Land Design Inc.
 Landscape Architecture Land Planning
 Urban Design

194133-1035
 202-943-7212
 1414 Broad Street, Lawrence, MA 01840

SHEET NO. 2
 FILE NAME: E:\WORKING\0210\0210.DWG OF: 3

W.T. HARRIS BOULEVARD
FOR FAIRFIELD RESIDENTIAL, INC.
AND PORTRAIT HOMES

FAIRFIELD RESIDENTIAL INC.

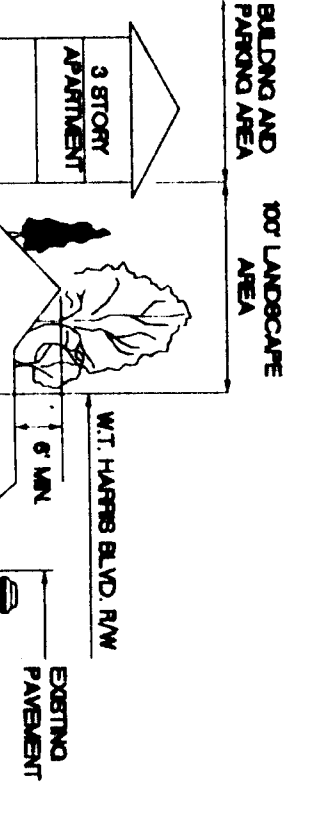


PORTRAIT HOMES

STREETSCAPE
CONCEPT

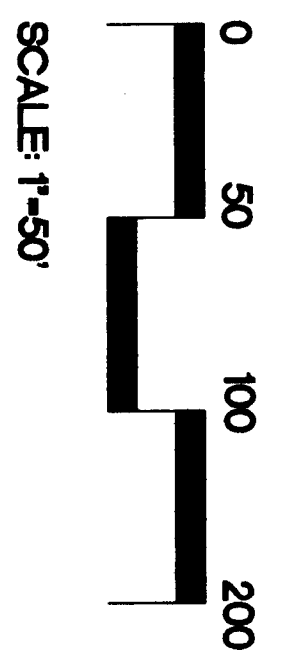
AS FOR PUBLIC HEARING
 PETITION NO. 96-11(C)

NOTES:
 This plan depicts a commitment to a unified design for landscaping on both sides of Harris Boulevard and is being submitted with two rezoning petitions filed separately (one for each side of Harris Boulevard). While there is a commitment to carry out the plan, it shall be the individual responsibility of the developer of each side to fulfill the requirements without obligation for the opposite side.
 PLANTING SHOWN IN 100' LANDSCAPE AREA & SCENERIC NATIVE PLANTING TO TAKE PLACE IN THE 50' DECORATION LANE SHALL OCCUR ONLY WHERE EXISTING NATURAL WOODLAND OCCURS.
 THE BUILDING CONFIGURATION, PLACEMENT, AND SIZE SHOWN ON THE SCENERIC NATIVE AND 50' DECORATION LANE ARE SUBJECT TO THE REZONING DECISIONS OF THE BOARD OF ZONING ADJUSTMENTS AND THE TECHNICAL DATA SHEET. PLANNING VARIANTS MAY ALSO BE KNOWN TO ACCORDANCE WITH LOCAL ORDINANCES.
 NOTE: TOP AND BOTTOM DATA TAKEN FROM SURVEY PROVIDED BY FAIRFIELD RESIDENTIAL, INC. (DATE: 08/01/95) AND PORTRAIT HOMES (DATE: 08/01/95).
 SCALE: 1"=50'



SECTION AT W.T. HARRIS BOULVARD

DATE: MARCH 18, 1996
 PROJECT NO. 8041
 REVISIONS:
 MAY 17, 1996 - REVISED PER PLANNING COMMISSION COMMENTS
 JUNE 28, 1996
 LANDSCAPE ARCHITECTURE
 Urban Design
 SHEET NO. 3
 FILE NAME: E:\KIM\KIM0300.DWG OF 3



LAND DESIGN INC.
 Landscape Architecture
 Land Planning
 0-1701 East Boulevard, Charlotte, NC 28203
 0-1414 Pines Street, Asheville, NC 28804
 704-251-0333
 704-251-7734