

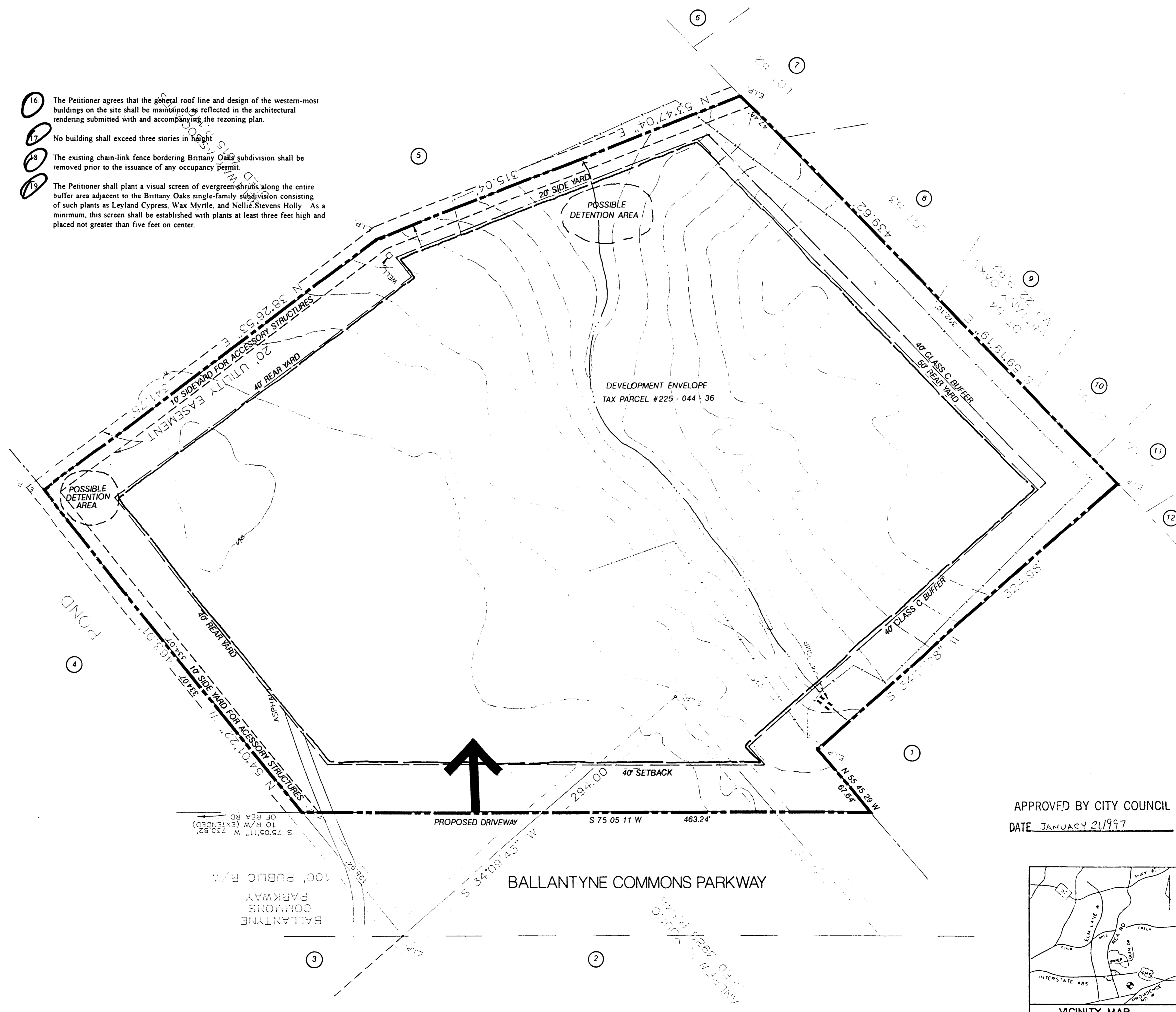
**SITE DATA**

Total Area: 7.24 Ac.  
 Existing Zoning: R-3  
 Proposed Zoning: R-12 MF (CD)  
 Proposed Units: 79 Units  
 Density: 10.92 DUA  
 Parking Required: 119 Spaces  
 Parking Provided: 175 Spaces

**DEVELOPMENT CONDITIONS**

1. This Technical Plan (Sheet 1 of 2) indicates a firm proposal for development. The development will comply with or exceed all applicable City of Charlotte regulatory standards, including parking, screening, signage and landscaping requirements.
2. The attached sheet labeled Schematic Site Plan (Sheet 2 of 2) shows the general character of potential development. The exact layout may change, based upon final design and actual site conditions.
3. The Development Envelope may include buildings, parking, amenities, landscaping, service areas and any other necessary structures normally found in a multifamily development. The rear and side yards may include parking, circulation and accessory structures.
4. The project will comply with all City of Charlotte Buffer and Screening requirements. Buffers shall not be reduced by use of walls fences or berms.
5. The project will comply with all City of Charlotte Storm Water requirements. No storm water detention will be allowed within the setback or buffers. DETENTION BASIN WILL BE PROVIDED BY THE DEVELOPER TO BE LOCATED TO THE WEST OF THE DEVELOPMENT ENVELOPE.
6. The project will comply with all City of Charlotte Signage requirements.
7. The project will comply with the City of Charlotte Tree Ordinance.
8. Existing vegetation in the Buffer area will be left undisturbed except as necessary for utility line crossings and storm drainage crossings. Where existing vegetation does not exist, buffers may be graded and slopes will be 3 to 1 or less.
9. Parking will comply with the City of Charlotte Zoning Ordinance.
10. No building permits will be issued until Ballantyne Commons Parkway is constructed between Rea Road and Providence Road West.
11. Access will be limited to one driveway to Ballantyne Commons Parkway. This driveway shall utilize a directional control median cut in conformance with an agreement with NCDOT. The petitioner shall contribute to the cost of the median construction in accordance with terms acceptable to NCDOT.
12. The developer will construct a 5' sidewalk along Ballantyne Commons Parkway with an eight foot minimum planting strip prior to the issuance of final certificates of occupancy.
13. All detached lights will be limited to 20' in height.
14. A 100 + 1 study will be done on the existing creek, as required by Mecklenburg County Engineering.
15. The entrance design shall be generally as shown on the Schematic Site Plan. This design has been and will be coordinated with CDOT. The exact location will also be coordinated with NCDOT in designing the Ballantyne Commons Parkway median cut.

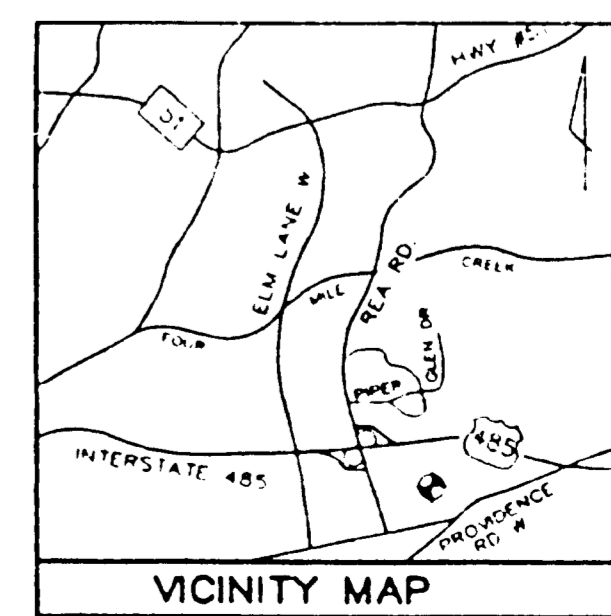
16. The Petitioner agrees that the general roof line and design of the western-most buildings on the site shall be maintained as reflected in the architectural rendering submitted with and accompanying the rezoning plan.
17. No building shall exceed three stories in height.
18. The existing chain-link fence bordering Brittany Oaks subdivision shall be removed prior to the issuance of any occupancy permit.
19. The Petitioner shall plant a visual screen of evergreen shrubs along the entire buffer area adjacent to the Brittany Oaks single-family subdivision consisting of such plants as Leyland Cypress, Wax Myrtle, and Nellie Stevens Holly. As a minimum, this screen shall be established with plants at least three feet high and placed not greater than five feet on center.



**ADJACENT PROPERTY OWNERS**

- |   |            |   |
|---|------------|---|
| ① | 225-044-37 | Robert Clay Sparrow<br>18341 Royal Oak Road<br>Charlotte NC 28278   |
| ② | 225-044-35 | Andrew F. Young<br>4004 Kingsgate Place #F<br>Charlotte NC 28211  |
| ③ | 225-044-34 | Beltway Associates, L.P.<br>c/o Eadan Capital of Charlotte<br>7523 Little Avenue #207<br>Charlotte NC 28226 |
| ④ | 225-045-01 | Beltway Associates, L.P.<br>c/o Eadan Capital of Charlotte<br>7523 Little Avenue #207<br>Charlotte NC 28226 |
| ⑤ | 225-045-03 | Piper Station Limited Partnership<br>7523 Little Avenue #207<br>Charlotte NC 28226-8238                     |
| ⑥ | 225-361-19 | Steven Kreisman and Wife, Margaret Joann<br>11325 Baronia Place<br>Charlotte NC 28277                       |
| ⑦ | 225-361-09 | Jens Voldbeck and Wife, Helle<br>7523 Celtic Court<br>Charlotte NC 28277                                    |
| ⑧ | 225-361-08 | Declan B. Turner and Louisa J. Huppmann<br>7517 Celtic Court<br>Charlotte NC 28277                          |
| ⑨ | 225-361-07 | Mark P. Arnold and Wife, Angela T.<br>7509 Celtic Court<br>Charlotte NC 28277                               |
| ⑩ | 225-361-06 | Thomas J. Ellis and Wife, Mary J.<br>7501 Celtic Court<br>Charlotte NC 28277                                |
| ⑪ | 225-361-05 | Grant A. Berry and Wife, Deborah S.<br>11400 Brittany Oaks Drive<br>Charlotte NC 28277                      |
| ⑫ | 225-361-04 | Gordon J. Silva and Wife, Lucy N.<br>11408 Brittany Oaks Drive<br>Charlotte NC 28277                        |

APPROVED BY CITY COUNCIL  
 DATE JANUARY 21, 1997



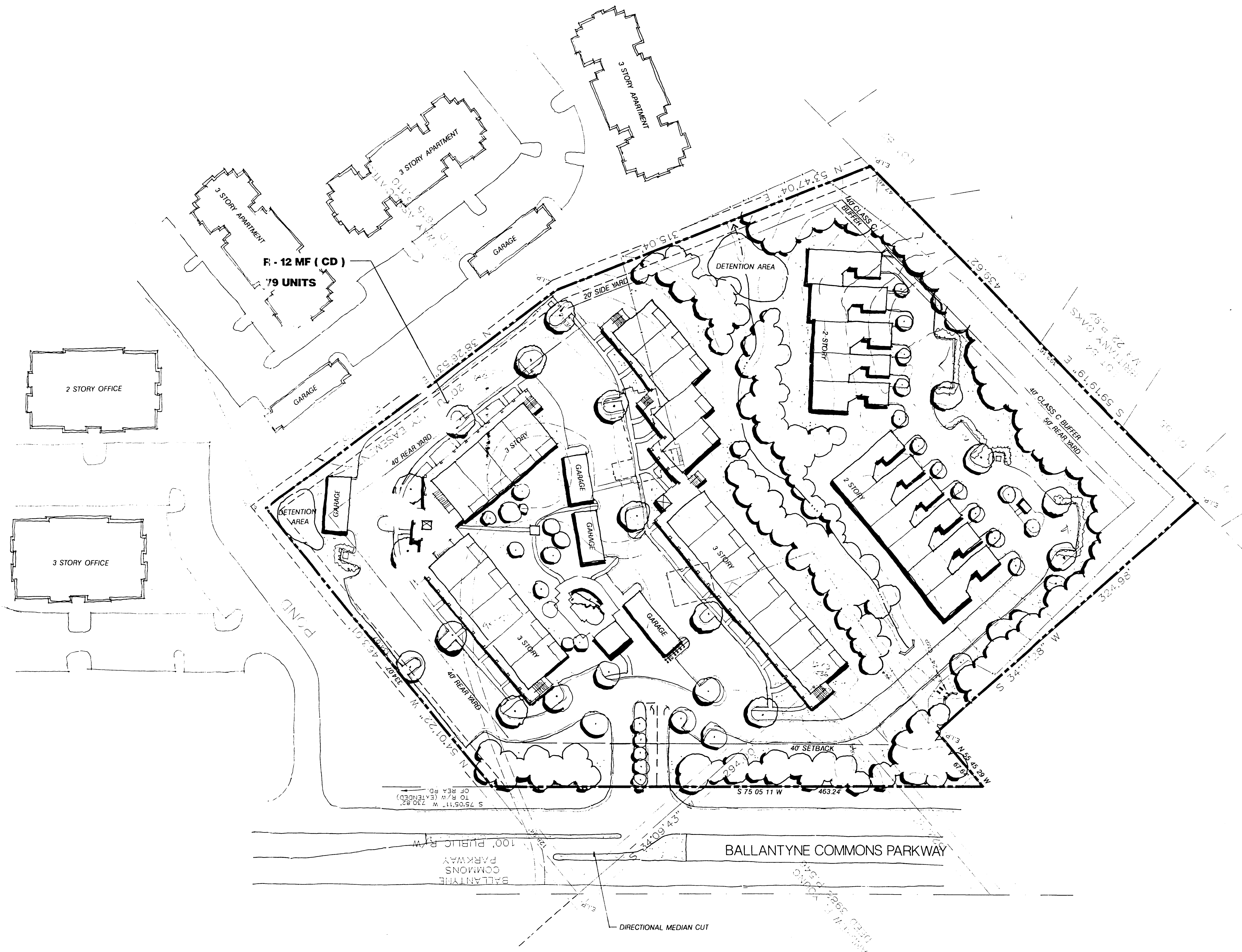
FOR PUBLIC HEARING PET. #96-70  
**CONDITIONAL REZONING PETITION**  
 For  
**NIAVAM Development, Inc.**  
 At  
 Ballantyne Commons Parkway  
 Charlotte, N.C.

**DESIGN RESOURCE GROUP, PA**  
 Landscape Architecture • Land Planning  
 500 East Boulevard  
 Suite 102  
 Charlotte, NC 28203  
 PH 704 343-0608  
 FAX 704 343-9380

**TECHNICAL PLAN**



Scale: 1" = 40'  
 Date: 17 JUNE 1996  
 Revisions:  
 1. 11/17/96  
 2. 1/21/97  
 Sheet **1** of **2**



FOR PUBLIC HEARING PET. #96-70

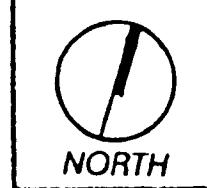
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**SCHEMATIC SITE PLAN**



Scale:	1" = 40'
Date:	17 JUNE 1996
Revisions:	
1 AUG 1996	REV PER PC COMMENTS
2 OCT 1996	REV SITE PLAN
6 FEB 1997	FINAL APPROVED PET.