

SURVEY LEGEND SIP ® SET IRON PIN

EIP O EXISTING IRON PIN

CP ⊗ CALCULATED POINT GV K GAS VALVE

WV W WATER VALVE MB MAIL BOX

WM E WATER METER

LP 🌣 LIGHT POLE

FH 💢 FIRE HYDRANT SSMH S SANITARY SEWER MANHOLE

SDMH ® STORM DRAIN MANHOLE

( LOCATED TREE/SHRUB

TP TELECOMMUNICATION BOX

TP O TELECOMMUNICATIONS PEDESTAL

PP D POWER POLE

BFP = BACK FLOW PREVENTOR

UNDERGROUND GAS

**TELECOMMUNICATIONS** 

CB 廳 CATCH BASIN

GW --- GUY WIRE

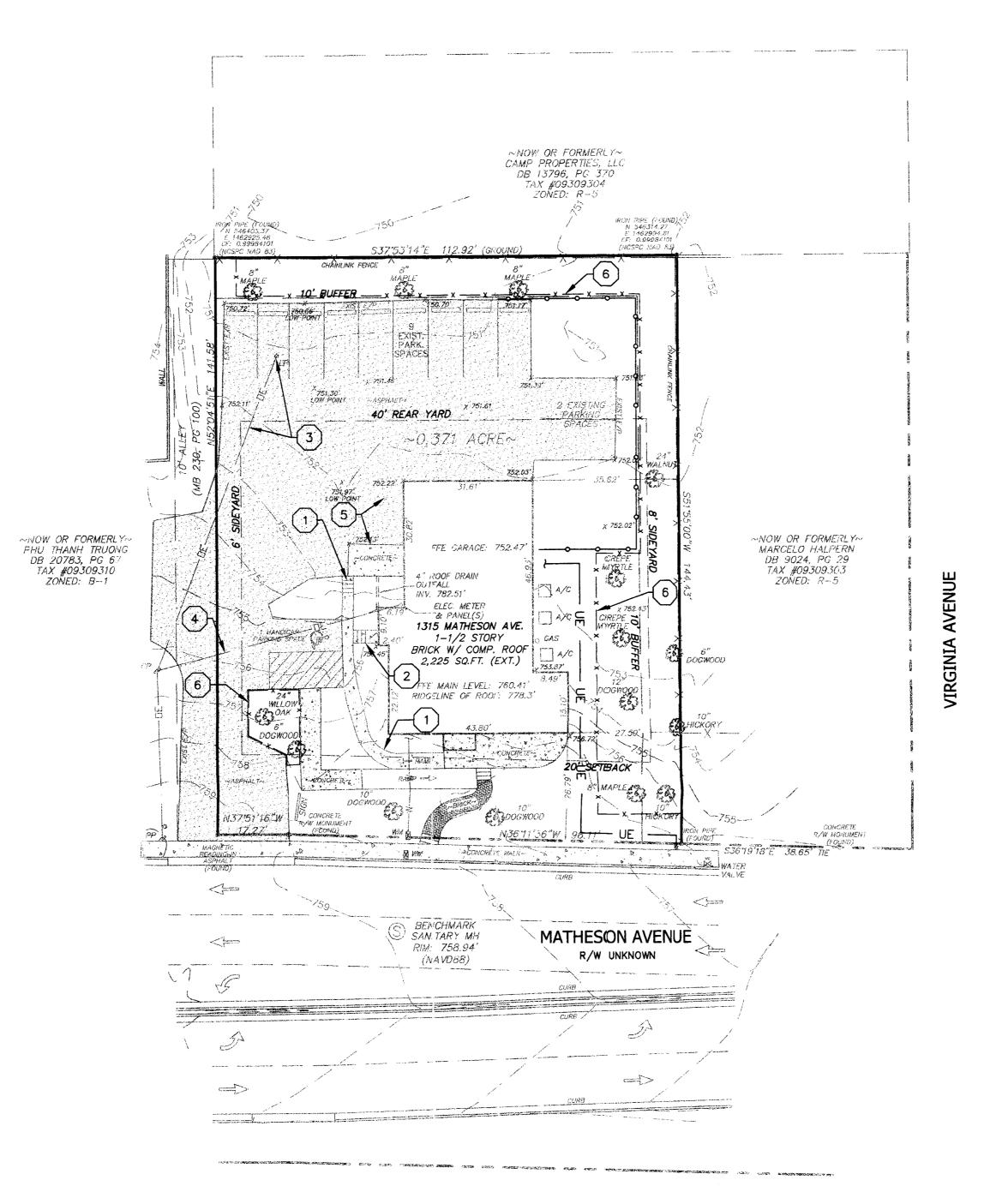
DI 🗆 DROP INLET

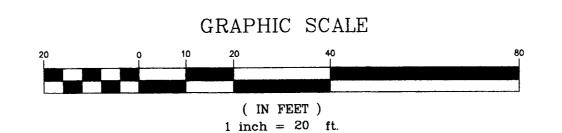
W UNDERGROUND WATER ----- UNDERGROUND ELECTRIC - SANITARY SEWER PIPE

STORM DRAIN PIPE

## SURVEY NOTES: 1. IRON PINS SET AT ALL CORNERS UNLESS OTHERWISE NOTED.

- 2. PROPERTY ZONED: 0-1(CD) 1997-26 SETBACK: 20' RIGHT SIDE YARD: 8' LEFT SIDE YARD: 6'
- REAR YARD: 20' 3. TAX PARCEL NUMBER 093-093-02.
- 4. DEED REFERENCE: DB 6402 PG 310.
- 5. BOUNDARY SURVEY ONLY THROUGH POINTS AS SHOWN.
- 6. A PORTION OF THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP (FIRM) NO. 3710456400J, WITH A DATE OF IDENTIFICATION OF MARCH 2, 2009.
- 7. THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL RECORDED OR UNRECORDED EASEMENTS, RIGHTS-OF-WAY, OR RESTRICTIVE COVENANTS, OTHER THAN SHOWN. SURVEY MADE WITHOUT THE BENEFIT OF A TITLE EXAMINATION.
- 8. AREA COMPUTED BY COORDINATED METHOD.
- 9. NO NCGS MONUMENT FOUND WITHIN 2000'.
- 10. NO UNDERGROUND UTILITIES HAVE BEEN SURVEYED. CONTRACTORS ARE TO HAVE ALL UTILITIES ACCURATELY MARKED PRIOR TO CONSTRUCTION.





~NOW OR FORMERLY~ JAMES & MARGARET BLASER DB 10139, PG 283 TAX #09501118 ZONED: R-5

CHARLOTTE-MECKLENBURG
PLANNING COMMISSION INTER - OFFICE COMMUNICATION

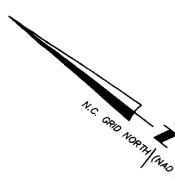
> May 2, 2011 DATE:

**TO:** Mark Fowler Zoning Administrator Debra Campbell Planning Director

SUBJECT: Administrative Approval for Petition No. 1997-026 by Stephanie Balletine, Tax parcel

Attached is a copy of the revised site plan relocating the proposed addition to the internal portion of the site. I have reviewed plans and they meet the intent of the approved rezoning. Since this change is minor and noted, I am administratively approving this revised plan. Please use this revised plan when evaluating requests for building permits and certificates of occupancy.

Please not all Conditional Notes and Ordinance requirements still apply.



EXIISTING CONDITIONS GENERAL NOTES:

1. THIS PLAN SHEET C1 ILLUSTRATES THE EXISTING SITE CONDITIONS PER THE BOUNDARY AND TOPOGRAPHIC SURVEY DATED MARCH 21, 2011 PERFORMED BY CAROLINA SURVEYORS, INC. P. O. BOX 267 PINEVILLE, NC 28134-0267; TELEPHONE 704-889-7601.

2. THE PROPERTY LOCATED AT 1315 MATHESON AVENUE, CHARLOTTE, NC HAS AN AREA OF

**DEMOLITION GENERAL NOTES:** 1. THE CONTRACTOR SHALL CALL FOR UNDERGROUND LOCATES OF ALL UTILITIES PRIOR TO INITIATING DEMOLITION ACTIVITIES.

2. THE DEMOLITION ACTIVITIES SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS FOR PRIOR TO COMMENCING DEMOLITION ACTIVITIES.

3. ALL DEMOLITION MATERIAL SHALL BE DISPOSED OF OFFSITE IN APPROVED LANDFILL FACILITIES OR RECYCLING FACILITIES. 4. PRIOR TO COMMENCING ANY DEMOLITION THE CONTRACTOR SHALL INSTALL ALL APPROPRIATE EROSION CONTROL MEASURES FOR THE PROJECT.

5. PRIOR TO INITIATING ANY DEMOLITION THE CONTRACTOR SHALL INSTALL ALL TREE PROTECTION MEASURES INCLUDING TREE PROTECTION FENCE ALONG WITH ALL EROSION CONTROL

### **DEMOLITION KEY NOTES:**

FIRE FOODRANT II

- DEMOLISH EXISTING SIDEWALK & STEPS THAT IS NEAREST TO EXISTING BUILDING FROM FRONT PORCH TO LOWER PARKING AREA. SIDEWALK FROM HANDICAP PARKING SPACE TO THE HANDICAP RAMP TO THE MAIN FRONT ENTRANCE IS TO REMAIN IN SERVICE.
- 2 DEMOLISH EXISTING CONCRETE STAIRS FROM SIDE ENTRANCE OF EXISTING BUILDING.
- 3 REMOVE EXISTING POWER POLE AND LIGHT FIXTURE ALONG WITH THE OVERHEAD POWER LINE & SERVICE, TO ENABLE US EOF THE EXISTING PARKING SPACE.
- 4 CONTRACTOR TO COORDINATE WITH DUKE ENERGY FOR THE REMOVAL OF EXISTING OVERHEAD POWER LINE & SERVICE TO EXISTING BUILDING, REFER TO THE SITE PLAN (SHEET C2) FOR THE CONCEPTUAL LOCATION OF THE RELOCATED POWER SERVICE TO THE BUILDING. ALSO REFER TO PLANS PREPARED BY THE PROJECT ELECTRICAL ENGINEEER FOR ACTUAL CONSTRUCTION INFORMATION.
- 5 DEMOLISH ANY EXISTING ASPHALT OR CONCRETE PAVEMENT BELOW THE PROPOSED BUILDING EPANSION AS NEEDED TO FACILITATE THE PROPOSED BUILDING EXPANSION CONSTRUCTION. 6 INSTALL TREE PROTECTION FENCE AS SHOWN PER CITY OF CHARLOTTE URBAN FORESTRY REQUIREMENTS.



CHARLOTTE, NC 28277 T: 704. 614. 2956 E: CMAC@CAROLINA.RR.COM

CMA DESIGN

Committed to Excellence in Architecture and Design



704-347-4972 Telephone



Ballentine Family Dentistry **Dental Office Expansion** 1315 Matheson, Ave. Charlotte, NC

> GDG PROJECT NUMBER ISSUE DATE CMPC Admin. Approval

DRAWING DATA

ATTACHED TO ADMINISTRATIVE DRAWN BY: CHECKED BY:

DATED: 5-2-2011 \$ BY: DEBRA D. CAMPBELL

APPROVAL



11002 BASE.DWG FILE NUMBER: SHEET TITLE

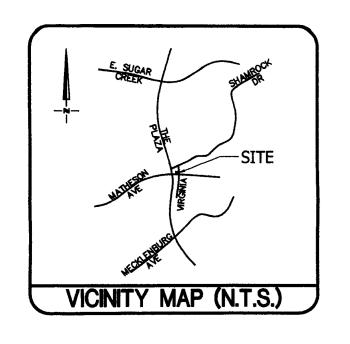
**EXISTING** CONDITIONS & **DEMOLITION PLAN** 

specifically identified herein and is not to be used on any other project. It is to be returned upon request.

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SHEET NUMBER

**C1** 



ZONING CODE/DEVELOPMENT SUMMARY BALLENTINE FAMILY DENTISTRY EXISTING USE: DENTAL OFFICE PROPOSED USE: DENTAL OFFICE BUILDING AREA: 2,225 SF EXISTING

650 SF PROPOSED 2,875 SF TOTAL SITE AREA: 0.371 AC ≈ 16,160 SF SITE ADDRESS: 1315 MATHESON AVE. CHARLOTTE, NC 093-093-02 PARCEL ID: STEPHANIE BALLENTINE-DAVIS 1315 MATHESON AVE.

CHARLOTTE, NC GREENBRIER DESIGN GROUP, PC JEFFREY A. BOONE, PE 1316 GREENWOOD CLIFF CHARLOTTE, NC 28204 PHONE 704-347-4972 jboone@greenbrierdesign.com

CITY OF CHARLOTTE JURISDICTION: 0-1(CD) 1997-26 20' FRONT SETBACK SETBACKS: 8' RIGHT SIDEYARD 6' LEFT SIDEYARD 40' REAR YARD

PARKING SUMMARY: MEDICAL OFFICE VEHICLE PARKING AS REQUIRED BY CODE: EXISTING BUILDING 2,225 SF PROPOSED BUILDING EXPANSION 770 SF PARKING REQUIRED 2,995 SF x 1 SPACE/200 SF = 15 SPACES MEDICAL OFFICE VEHICLE PARKING PROVIDED: HANDICAP

STANDARD

TOTAL PROVIDED

2" SF9.5A BITUMINOUS CONCRETE SURFACE COURSE 6" COMPACTED AGGREGATE
BASE COURSE OR 3" BCBC TYPE
B25.0B ALTERNATIVE BASE COURSE COMPACTED SUBGRADE 100% MAX. DENSITY VIA STANDARD PROCTOR TEST TO A DEPTH OF 8" & DENSITY OF 95% VIA STANDARD

PROCTOR FOR DEPTHS GREATER THAN 8" ONSITE LIGHT DUTY ASPHALT PAVEMENT SECTION

### ZONING CODE SUMMARY & RESTRICTIVE COVENANTS FROM UNDERLYING CONDITIONAL REZONING O-1(CD) 1997-26

10' REAR YARD CLASS C

10' RIGHT SIDEYARD CLASS C

## ZONING CODE SUMMARY

PHOLECT NAME OF STEPHANNE BALLENTINE OWNER OR STEPHENNIE BALLENTINE PHONE 8 (1904)-134-5907 PLANS PREPARED BY WILLIAM E BRUCE PROME \$ (204)-134-8021 FORMS: C-6 (CO) PROPOSED D-1 (CD) X-P-SOUTH C-MR. CITE PROPOSED USE SENTA CATICA ADDITION PLAT DING HEADY 18 STATE STATES PROPOSED
DIADONG COVERNAGE 3.725 FIRST FL SO FT GROSS FLOOR AFEA. 2,607 SQ 1 SCHIEF DOMES WILLIAMS OF LINES ONE LOT SUE 16,000 APPE SC 17 
 SETBACK (FRONT)
 20
 FT. FROM 9/W.
 FT FROM 5/L OF H.W

 SINC YARD (9)
 8
 FT SIDE YARD (L)
 \$
 FT.

 REAR YARD.
 40
 FT.
 FT.
 FT.
 MAD MOURINENTS SECURITO BUTTERS ENSTING SOE (L) GRES / THO MO 10 GLASS IT SIGE (S) [NG / MINO PAYEMENT CONFRACE SA FT /ACRES EARRING DATE: ( SPECEY REQUIREMENTS ) 1 SPACE PER 200 SF. BUREING AREA RECUPED 11 PROVIDED 14 HANDICAP 1 COMPACT ALL SECHAGE WILL BE APPROVED AND PERMITTED SEPARATELY. 1 783 50 FEET EXISTING FLOOR AREA aba soffet

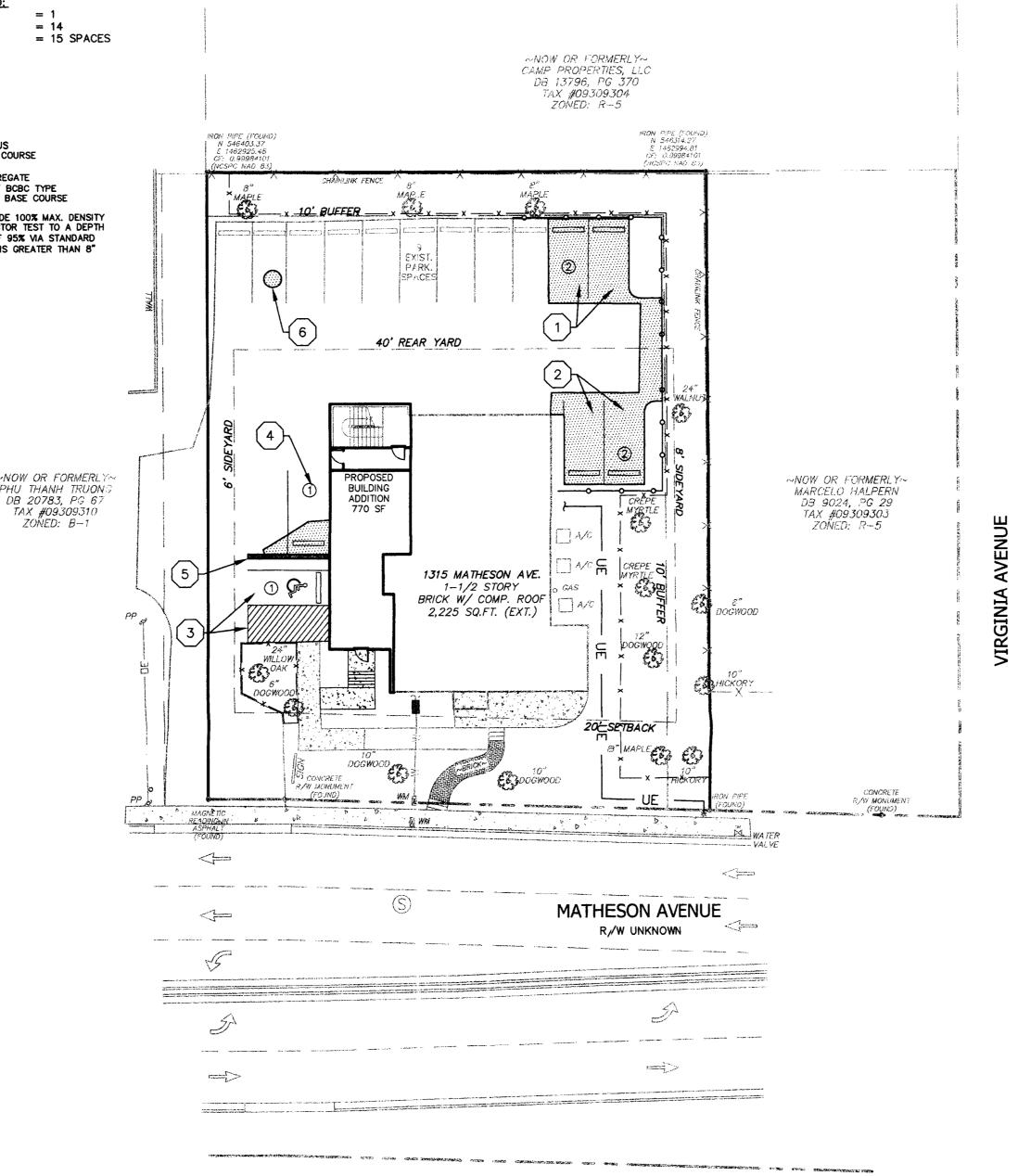
# STATEMENT OF RESTRICTIVE CONDITIONS

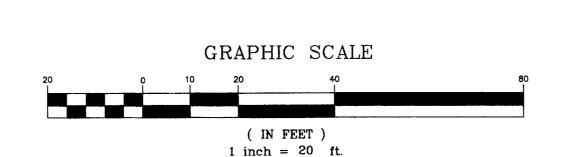
2567 SOFEET

- PARKING NOTES BASED ON 2,225 MAIN FLOOR DENTIST OFFICE AREA AND 442 BASEMENT SQ. FT. = 2,667 SQ. FT.DIVIDED BY 200 SQ. FT., 13 13 MINIMUM PARKING SPACES WILL BE REQUIRED. THIS PLAN SHOWS 14 TOTAL SPACES INCLUDING 1 HANDICAPPED SPACE. OF THE 14 SPACES, ONE WILL BE REQUIRED TO BE HANDICAPPED (VAN SPACE 16' WIDE). PHASE 2 EXPANSION WOULD REQUIRE 4 ADDITIONAL SPACES WHICH WOULD BE LOCATED AT REAR OF SITE
- 2. A NEW HANDICAPPED RAMP WILL BE REQUIRED TO ALLOW ACCESSIBILITY TO THIS OFFICE BUILDING. BASED ON THE PHASE 1 ADDITION, THE PETITIONER, DR. STEPHANIE BALLENTINE, RESERVES THE RIGHT TO PURSUE A ZONING VARIANCE OF 8' FROM THE FRONT BUILDING SETBACK OF 20' TO INSTALL A HANDICAPPED RAMP UP TO THE FIRST FLOOR LEVEL.
- 3. ONLY ONE BUSINESS IDENTIFICATION SIGN PERMITTED UP TO SIX (6) SQ. FT. (FACE SIZE) AND MUST BE ATTACHED DIRECTLY TO FRONT OF THE STRUCTURE. SIGN MAY NOT BE ELECTRIFIED OR PROTUDE FROM THE FACE OF THE STRUCTURE IN EXCESS OF SIX (6) INCHES. A DETACHED SIGN OF SIX (6) SQ. FT. MAXIMUM WILL BE INSTALLED IN FRONT OF BUILDING.
- 4. THE OCCUPANCY USE OF THE BUILDING WILL BE LIMITED TO OFFICE PURPOSES ONLY.

PHISE I EXPANSION

- 5. THE EXISTING SINGLE STORY (WITH BASEMENT) STRUCTURE IS TO BE MAINTAINED IN ITS PRESENT PHYSICAL APPEARANCE AS A DWELLING. FUTURE ADDITIONS (PHASE 1 AND PHASE 2) SHALL ALSO MAINTAIN ITS PHYSICAL APPEARANCE AS A DWELLING.
- 6. THE EXISTING STRUCTURE WILL NOT BE ALTERED WITH THE EXCEPTION OF THE PHASE 1 ADDITION AND THE FUTURE PHASE 2 ADDITION OF 1,000 SQ. FT. MAXIMUM. THE PETITIONER WILL DETERMINE IF THE PHASE 2 ADDITION IS ONE STORY OR ONE
- 7. ALL NEW ADDITIONS WILL BE ARCHITECTURALLY COMPATIBLE TO THE EXISTING STRUCTURE AND MAINTAIN A RESIDENTIAL CHARACTER.
- 8. ALL EXISTING TREES INDICATED ON THIS SITE PLAN ARE TO REMAIN. 9. ALL TRASH PICK-UP WILL BE BY CITY CURBSIDE PICK-UP. THERE WILL BE NO TRASH DUMPSTERS ON THIS PROPERTY.
- 10. NO DETACHED LIGHTS WILL BE ERECTED ON THE LOT. THERE IS ONE EXISTING DETACHED LIGHT WHICH WILL REMAIN.
- 11. A 10 FOOT CLASS "C" BUFFER WILL BE INSTALLED ON RIGHT SIDE AND REAR YARD WHICH ABUTTS RESIDENTIAL.





~NOW OR FORMERLY~

JAMES & MARCARET BLASER

DB 10139, PG 283 TAX #09501118

ZONED: R-5

## SITE & LANDSCAPE PLAN KEY NOTES:

- 1 INSTALL NEW ASPHALT PAVEMENT WITH FINISHED GRADE TO MATCH EXISTING ASPHALT PAVEMENT GRADES AND INSURE POSITIVE DRAINAGE AWAY FROM BUILDING PER THE GRADING PLAN, PARKING STRIPING AND WHEEL STOPS TO ACCOMMODATE 2 NEW PARKING
- SPACES (9' X 18'). 2 INSTALL NEW ASPHALT PAVEMENT WITH FINISHED GRADE TO MATCH EXISTING ASPHALT
- PAVEMENT GRADES AND INSURE POSITIVE DRAINAGE AWAY FROM BUILDING PER THE GRADING PLAN, PARKING STRIPING AND WHEEL STOPS TO ACCOMMODATE 2 NEW PARKING SPACES
- 3 MODIFY/RELOCATE EXISTING HANDICAP PARKING SPACE (8' X 18.5') WITH WHEEL STOP AND HANDICAP LOADING SPACE (8' X 18.5') TO ACCOMMODATE BUILDING EXPANSION. 4 INSTALL NEW ASPHALT PAVEMENT WITH FINISHED GRADE TO MATCH EXISTING ASPHALT
- PAVEMENT GRADES AND INSURE POSITIVE DRAINAGE AWAY FROM BUILDING PER THE GRADING PLAN TO ACCOMMODATE 1 NEW PARKING SPACE (9' X 18.5') WITH PARKING STRIPING AND 5 CONSTRUCT INTERLOCKING BLOCK RETAINING WALL AS MANUFACTURED BY KEYSTONE WALL
- OR APPROVED EQUAL, SEE GRADING PLAN FOR ELEVATIONS. RETAINING WALL OUTSIDE OF THE PROPOSED BUILDING EXPANSION LIMITS SHALL HAVE A HAND RAIL TO INSURE PEDESTRIAN SAFETY, AS REQUIRED BY CODE. 6 REPAIR PAVEMENT WITH FULL DEPTH ASPHALT AS NEEDED WHERE EXISTING UTILITY POLE IS TO BE REMOVED.

## TREE PROTECTION CHECKLIST—COMMERCIAL: ALL TREES ON PUBLIC PROPERTY ARE PROTECTED BY ORDINANCE AND REMOVAL MUST BE APPROVED BY THE CITY ARBORIST (704) 336-4262.

- 1. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. 2. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS, AND NOT REMOVED UNTIL FINAL INSPECTION.
- 3. TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORDINANCE STANDARDS (IN CITY OF CHARLOTTE TREE ORDINANCE GUIDELINES, APPENDIX 3) OR LAND DEVELOPMENT STANDARDS MANUAL 40.02.
- 4. BEFORE GRADING/CLEARING/CONSTRUCTION BEGINS, CALL 704-336-4255 FOR INSPECTION OF TREE PROTECTION BARRICADES BY URBAN FORESTER, KATHY PEARCE. 5. NO GRUBBING WITHIN TREE PROTECTION ZONE. LEAVE SOIL AND LEAF LITTER UNDISTURBED. SUPPLEMENT WITH 1-2 INCHES OF MULCH. RE-SEED
- WITH GRASS ONLY IN DISTURBED/GRADED AREAS. 6. BRUSH, VINES, AND SMALL TREES (< 8 IN. DIAMETER, OR AS SMALL AS 2 IN. CALIPER) MAY BE HAND-CLEARED ONLY, CUT FLUSH WITH GROUND
- SURFACE. EXISTING TREES MAY BE LIMBED UP 6 FEET (LEAVING AT LEAST 2/3 OF THE BRANCHES TO IMPROVE VISIBILITY. 7. EXPOSED TREE ROOTS MUST BE CLEANLY CUT WITH A SHARP PRUNING TOOL; BACKFILL ASAP TO MINIMIZE EXPOSURE TO THE AIR. TREE BARRICADES MUST BE INSTALLED BEFORE ANY
- DEMOLITION/CLEARING/GRADING/CONSTRUCTION, AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTER.
- 8. PLEASE SUBMIT UTILITY PLANS SO THAT THEY CAN BE REVIEWED FOR UTILITY CONFLICTS WITH EXISTING AND PROPOSED TREES: ELECTRICAL, TELEPHONE, GAS, SEWER, WATER, AND SITE LIGHTING.
- 9. TREE PROTECTION FENCE IS TO BE LOCATED 1 FOOT PER TREE DIAMETER INCH AWAY FROM THE TREE IN THE SETBACK OR RIGHT-OF-WAY. PLEASE SHOW DIMENSION ON SITE/ GRADING PLAN.
- 10. SHOW ALL (MARKED) PROPOSED UTILITIES (NOT TO PASS THROUGH TREE PROTECTION ZONE): WATER STORM DRAINAGE
- IRRIGATION GAS SEWER TELEPHONE BACKFLOW PREVENTOR SITE LIGHTING
- FIRE HYDRANT ELECTRICAL 11. ADDITIONAL COMMENTS - SEE RED LINED PLANS.

FIRE HYDRANT\_[[

ATTACHED TO ADMINISTRATIVE APPROVAL DATED: 5-2-2011 \$= (1) BY: DEBRA D. CAMPBELL

BEFORE YOU DIG! CALL 1-800-632-4949 N.C. ONE-CALL CENTER IT'S THE LAW!

المحطفة اسيعيوس

DRAWING DATA DRAWN BY: CHECKED BY:

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11002 BASE DWG

CMA DESIGN

15018 BALENIE TRACE LANE

E: CMAC@CAROLINA.RR.COM

Committed to Excellence

G GREENBRIER

DESIGN GROUP, P. C.

LICENSE NO. C-1530

1316 Greenwood Cliff

Charlotte, NC 28204

704-347-4972 Telephone

Ballentine

Family Dentistry

**Dental Office Expansion** 

1315 Matheson, Ave. Charlotte, NC

ISSUE DATE

GDG PROJECT NUMBER

CMPC Admin. Approval

in Architecture and Design

CHARLOTTE, NC 28277

T: 704. 614. 2956

CONSULTANT

SITE & LANDSCAPE **PLAN** 

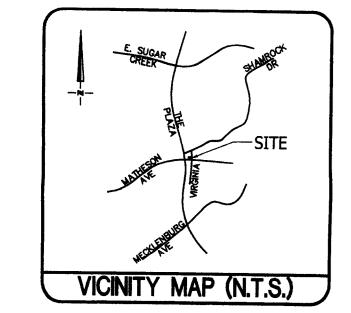
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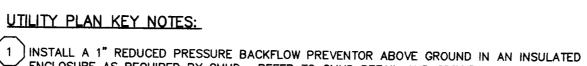
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SHEET NUMBER

**C2** 





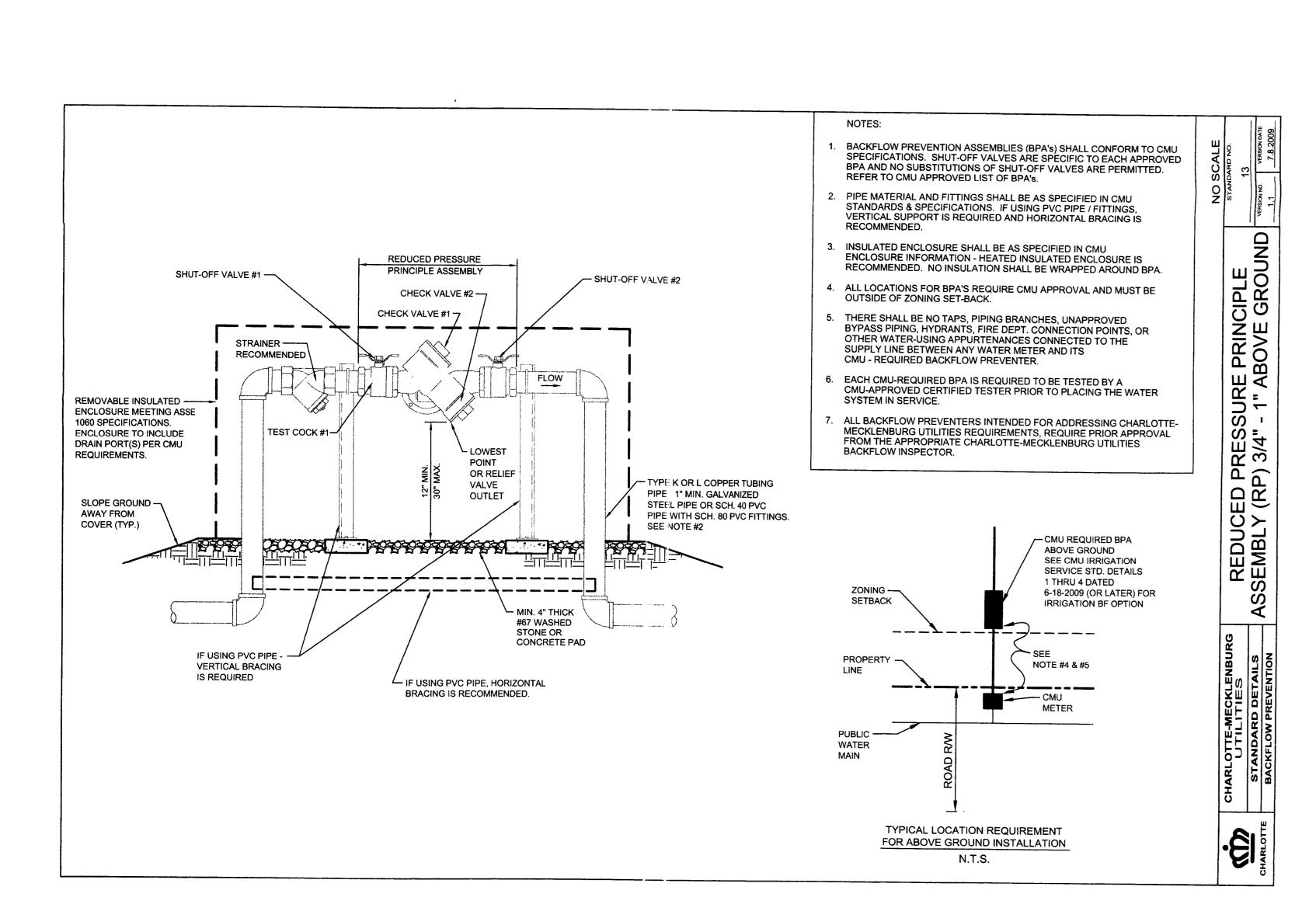
RESPECT TO THE SITE ISSUES OF THE PROJECT.

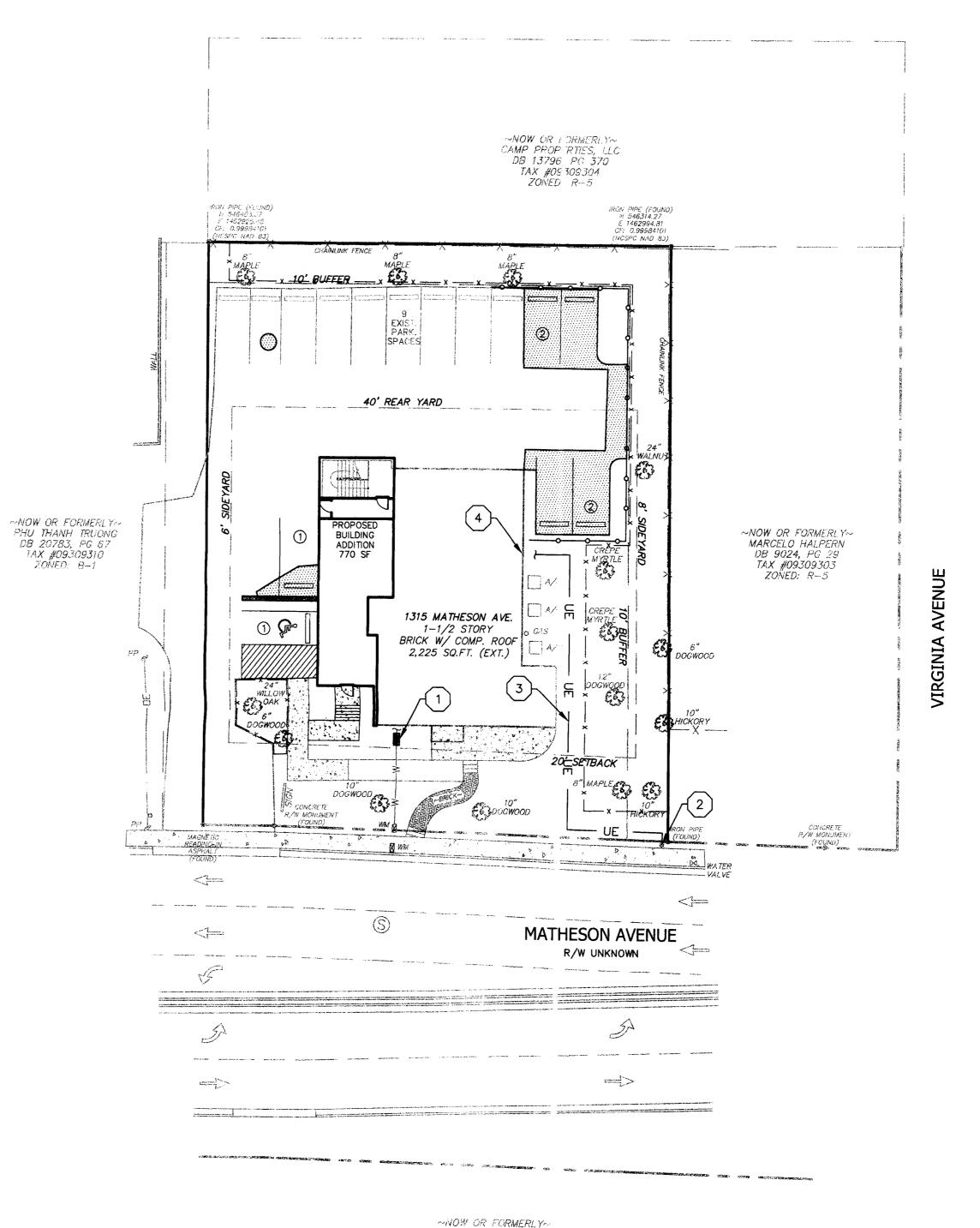
ENCLOSURE AS REQUIRED BY CMUD. REFER TO CMUD DETAIL AND SPECIFIC INSTALLATION AND TESTING REQUIREMENTS ON THIS SHEETS. THE BACKFLOW PREVENTOR SHALL BE INSTALLED OUTSIDE OF THE FRONT SETBACK. THE LOCATION OF THE EXISTING WATER SERVICE LATERAL IS APPROXIMATE BASED ON THE FIELD SURVEY LOCATION OF THE CMUD METER, THE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF THE WATER SERVICE LATERAL. THE EXISTING CMUD WATER METER IS REPORTED TO BE A 5/8" BY CMUD CUSTOMER SERVICE.

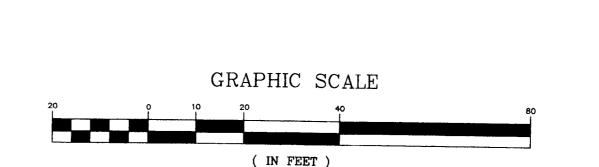
2 CONTRACTOR TO COORDINATE WITH DUKE ENERGY AND THE PROJECT ELECTRICAL ENGINEER REGARDING THE INSTALLATION OF A NEW POLE MOUNTED TRANSFORMER TO SERVE THE PROJECT. THIS INFORMATION IS PROVIDED SOLELY FOR THE COORDINATION WITH RESPECT TO THE SITE ISSUES OF THE PROJECT. 3 CONTRACTOR TO COORDINATE WITH DUKE ENERGY AND THE PROJECT ELECTRICAL ENGINEER REGARDING THE PROPOSED UNDERGROUND ELECTRICAL SERVICE TO SERVE THE PROJECT WHICH IS TO BE LOCATED OUTSIDE OF THE TREE SAVE AREA AS INDICATED BY THE TREE

RESPECT TO THE SITE ISSUES OF THE PROJECT. ( 4 ) CONTRACTOR TO COORDINATE WITH DUKE ENERGY AND THE PROJECT ELECTRICAL ENGINEER REGARDING THE INSTALLATION OF THE NEW METER(S) AND ELECTRICAL PANEL(S) TO SERVE THE PROJECT. THIS INFORMATION IS PROVIDED SOLELY FOR THE COORDINATION WITH

PROTECTION FENCE. THIS INFORMATION IS PROVIDED SOLELY FOR THE COORDINATION WITH







1 inch = 20 ft.

JAMES & MARGARET BLA ER DB 10139, PG 283 TAX #09501118

ZONED: R-5

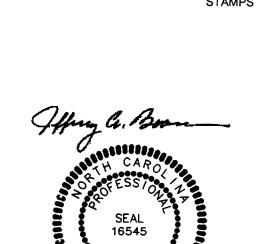


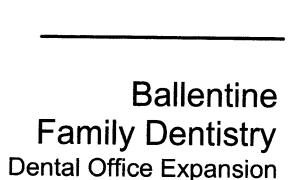
FIRE HYDRANT (I H



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GDG PROJECT NUMBER ISSUE DATE CMPC Admin. Approval

1315 Matheson, Ave. Charlotte, NC

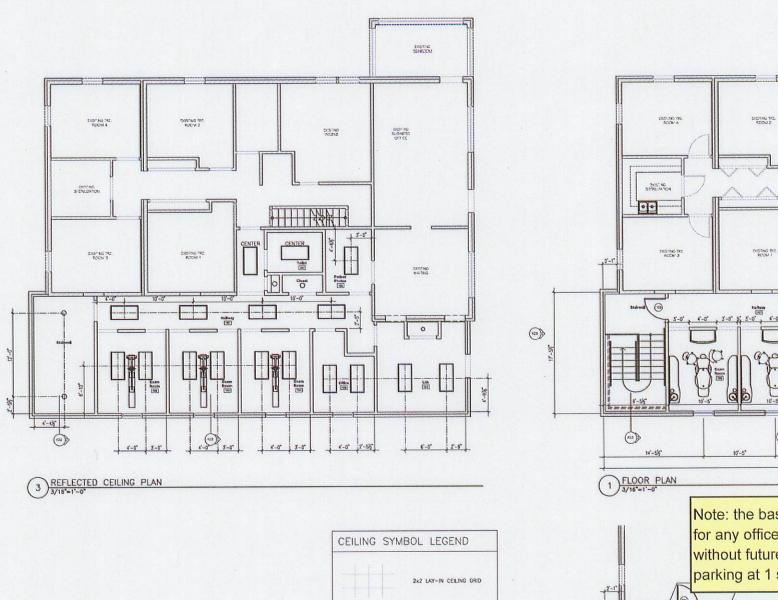
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SHEET TITLE UTILITY

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SHEET NUMBER



RECESSED CAN LIGHT

NOTE: ELECTRICAL ENGINEER TO SPEC ALL LIGHT FIXTURES

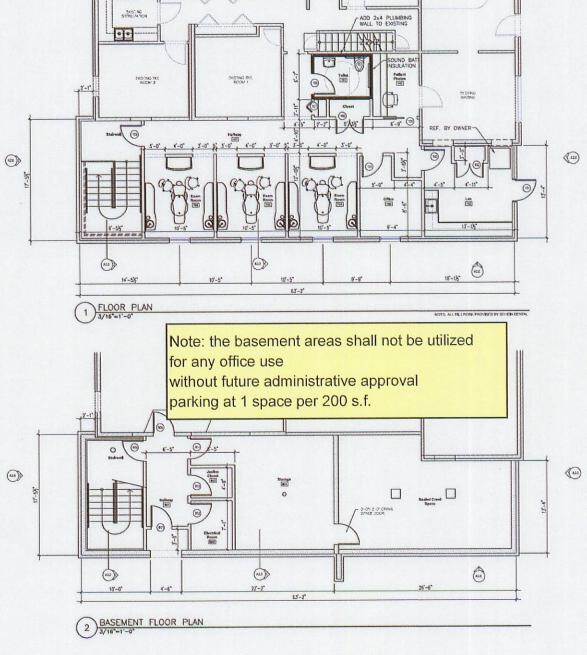
EXAM LIGHT

ATTACHED TO ADMINISTRATIVE

APPROVAL

DATED: 9/14/2011 5F

BY: DEBRA D. CAMPBELL



(2)

EXISTRAL BUSINESS OTTEX



15018 BALENIE TRACE LANE CHARLOTTE, NC 18277 T: 704, 614, 2956 E: CMAC@CAROLINA.RR.COM

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Ballentine Family Dentistry Dental Office Addition 1315 Matheson Ave., Charlotte, NC

PROJECT NUMBER 1102 Issued for Construction 08.12.11

rev 1-09.11.11

DRAWING DATA

SHEET TITLE

FLOOR AND REFLECTED CEILING PLANS

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SHEET NUMBER

A1.0

#### CHARLOTTE - MECKLENBURG PLANNING COMMISSION

#### **INTER-OFFICE COMMUNICATION**

DATE:

September 14, 2011

TO: Mark Fowler

**Zoning Supervisor** 

FROM:

Debra Campbell

Planning Director

SUBJECT: Administrative Approval for Petition No. 1997-026 by Stephanie Balletine, Tax parcel 09309302.

Attached is a copy of the revised floor plan of new addition and excluding the basement square footage for parking standards. I have reviewed plans and they meet the intent of the approved rezoning. Since this change is minor and noted, I am administratively approving this revised plan. Please use this revised plan when evaluating requests for building permits and certificates of occupancy.

Please not all Conditional Notes and Ordinance requirements still apply.