

CHILDRESS KLEIN PROPERTIES

July 29, 1998

Mr. Tim Manes
Charlotte Mecklenburg Planning Depa
City of Charlotte
600 East Fourth Street
Charlotte, NC 28202

RE:

Petition 97-27 Architectural Approval

Pursuant to the above referenced zoning petition, which was approved by City Council in 1997, the zoning requires that the exterior elevations of the building be compatible with Idlewild Crossing Shopping Center, which is located across the street. Therefore, I am enclosing a copy of the elevations for the proposed freestanding Eckerd store, which we intend to develop on the property, subject to the zoning in petition 97-27. I have previously discussed the architectural issues with Keith McVean and believe that the attached elevation accurately reflects the intent of the zoning, as well as Keith's comments. I would appreciate your approval of the attached elevations by signing this letter and returning a copy to me for our files so that we may proceed forward with receiving a building permit.

Should you have any comments or questions, please do not hesitate to let me know

Sincerely,

CHILDRESS KLEIN PROPERTIES

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INING COMMISSION

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DATE: July 30, 1998

:07

Robert Brandon

Zoning Administrator

SUBJECT:

FROM:

Martin R. Cramton, Planning Director $\mathbf{J_r}$

Administrative Approval for Petition No. 97-27 by parcels 165-033-01, 165-033-02 and 165-033-03. 'Crosland Corporation Tax

Attached is a site specific plan for the Eckerd Drug Store. These exterior elevations show that the structure will meet a conditional note and be compatible in appearance with the Idlewild Crossing Center across Harris Boulevard. Please use this plan when evaluating requests for building permits and certificates of

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