

DSAtlantic
 CHARLOTTE, NC 28203
 TEL: 704-375-1100
 FAX: 704-375-1101

PRELIMINARY PLAN

NOT APPROVED FOR CONSTRUCTION

OWNER: HOUSING AUTHORITY OF THE CITY OF CHARLOTTE
 1301 SOUTH BLVD
 CHARLOTTE, NC 28203
 ATTN: JOHN KIRSEY
 URBAN PROJECT DIRECTOR
 336-7742

**PARKSIDE OF FIRST WARD
 17 SINGLE FAMILY DEVELOPMENT
 SITUATED IN THE FIRST WARD
 MECKLENBURG COUNTY, NORTH CAROLINA**

PREPARED FOR:
 NATIONSBANK COMMUNITY DEVELOPMENT CORP.
 C/O LEDIC COMPANY
 ATTN: LARRY SAGEHORN
 801 WEST TRADE ST. SUIT. 1100
 CHARLOTTE, NC 28202-1100
 PHONE (704) 386-8250
 FAX (704) 386-8789

ISSUE SEQUENCE	
NO.	DATE
1	8/14/97
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	

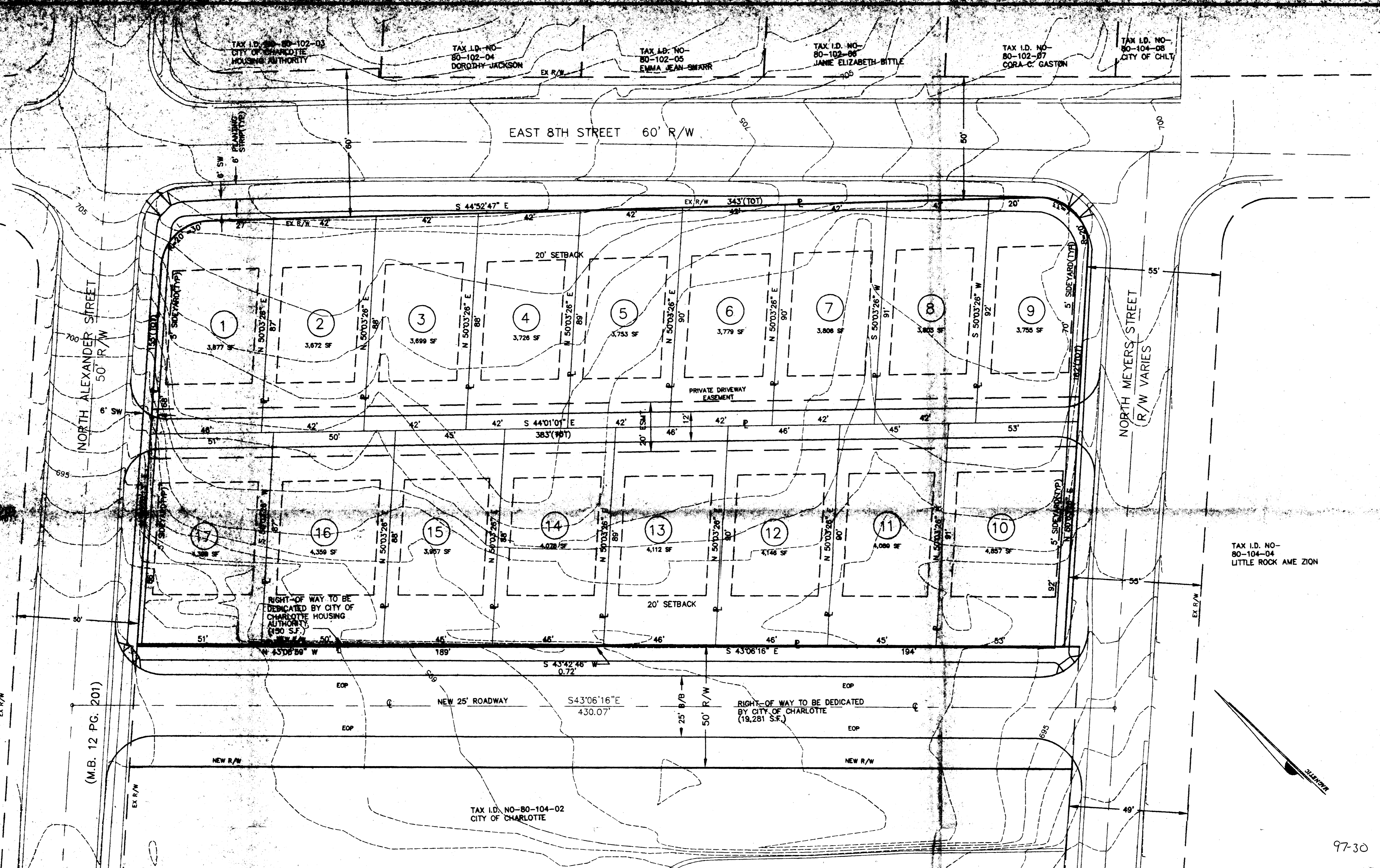
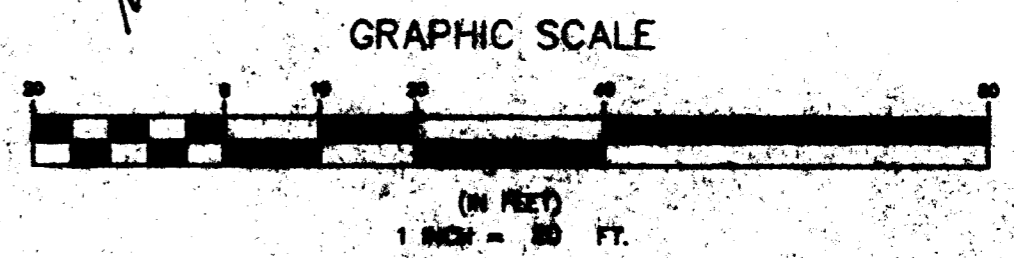
PROJECT NO: 00005009
 DESIGNED BY: RSK/JLB
 DRAWN BY: MLD
 DATE: 2/11/97

RZ-1

CARD # 14282724

97-30

APPROVED BY CITY COUNCIL
 DATE 5/19/97



GENERAL NOTES:

- BOUNDARY INFORMATION TAKEN FROM SURVEY BY DSATLANTIC, NORTH CAROLINA REGISTERED SURVEYOR, DATED 2/11/97.
- TOPOGRAPHICAL INFORMATION TAKEN FROM AERIAL SURVEYS BY PHOTOGRAMMETRIC DATA SERVICES, INC. SEE PLAN FOR MORE INFORMATION.
- SET DETAILS AND ALL CONSTRUCTION WILL BE IN ACCORDANCE WITH CHARLOTTE MECKLENBURG LAND DEVELOPMENT STANDARDS' CONDITIONS.
- SITE DEVELOPMENT IS TO BE COMPLETE WITHIN 18 MONTHS FROM THE DATE OF PLAN APPROVAL.
- ALL REQUIRED PERMITS AND ASSIGNMENTS SHALL BE PERMANENT PUBLIC UTILITIES TO BE TURNED OVER TO THE CITY OF CHARLOTTE.
- ACCESSIBLE SIDEWALKS AT ALL STREET INTERSECTIONS SHALL BE PROVIDED IN ACCORDANCE WITH ADA TYPICAL DETAILS FOR SIDEWALKS AND SIGN POLE MOUNTS S.O.D.S.
- SIGHT TRIANGLES SHALL BE PROVIDED AS REQUIRED BY CHARLOTTE DEPARTMENT OF TRANSPORTATION IN ACCORDANCE WITH CITY OF CHARLOTTE.
- DEVELOPER WILL PROVIDE STREET LIGHTING TO BE INSTALLED IN THE COURSE OF CONSTRUCTION AND OPERATED BY THE CITY OF CHARLOTTE.
- STREET CONSTRUCTION TO MEET C.M.D. STANDARDS.
- ORIGINAL PROPERTY TAX MAP NO. 000-104-01

DEVELOPMENT DATA SUMMARY

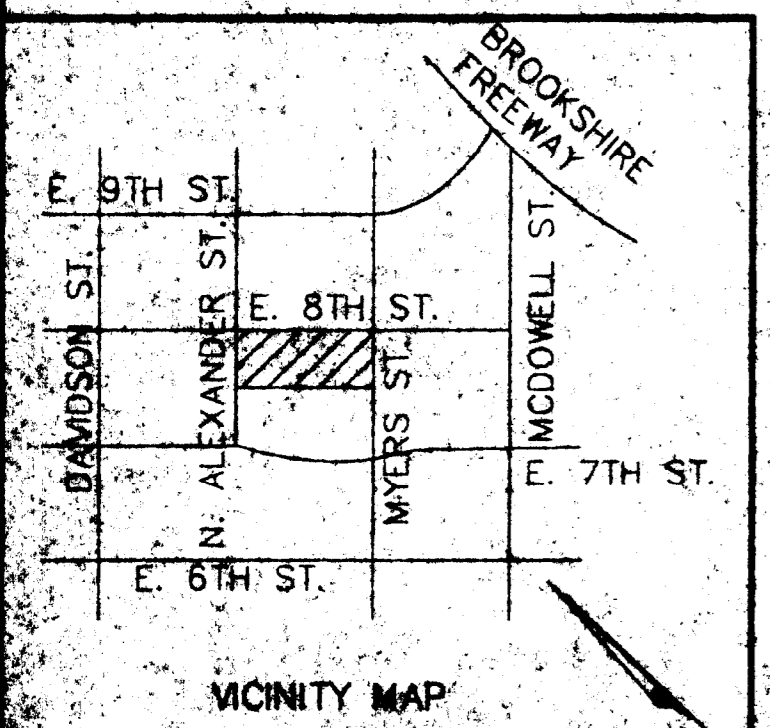
PROPOSED PROPERTY NAME: PARKSIDE OF FIRST WARD
 TOTAL SITE AREA: 1.562 ACRES
 EXISTING ZONING: UR-2
 PROPOSED ZONING: R-12 MF (CD)
 PROPOSED USE: DEVELOP 17 LOTS WITH AN MINIMUM REQUIRED AREA OF 3600 SF PER LOT. BUILD HOMES WITH TRADITIONAL DESIGNS.

CONSTRUCTION CRITERIA:

- THE BUILDING HEIGHTS SHALL BE ONE AND TWO STORY STRUCTURES
 - WOOD FRAME CONSTRUCTION
 - CRAWL SPACE OR SLAB ON GRADE AS LOT DICTATES
 - CONVENTIONAL SIDING WITH TRIM ACCENT
 - BRICK OR STUCCO FACADES ARE OPTIONAL
 - WINDOWS AND INSULATION TO MEET ENERGY CODES
- PROPOSED STREET:
 THE PROPOSED STREET IS ON CITY PROPERTY. THE OWNER IS PREPARED TO PAY THE COST OF BUILDING THE 24' WIDE STREET TO CITY STANDARDS WITH THE 6'0" PLANTING STRIPS AND 6'0" SIDEWALKS. TREES AND LANDSCAPING TO MEET THE MINIMUM REQUIREMENTS SHALL ALSO BE PROVIDED BY OWNER/DEVELOPER.

DESIGN CRITERIA:

- | | |
|-------------------------|-------------------------|
| MINIMUM SETBACKS | MAXIMUM SETBACKS |
| FRONT YARD: 20' | FRONT YARD: 30' |
| SIDE YARD: 20' | SIDE YARD: 10' |
| REAR YARD: 20' | REAR YARD: 30' |
| LOT WIDTH: 40' | LOT WIDTH: 50' |
| MAX LOT AREA: 1600 SF | |
| MIN LOT AREA: 3600 SF | |
| AVG LOT AREA: 4000 SF | |
- ENTRANCES ORIENTED TO THE STREET
 - STREETSCAPE SHALL HAVE THE REQUIRED 6'0" PLANTING STRIP AND 6'0" SIDEWALK
 - TREES SHALL BE PLANTED IN THE 6'0" STRIP AT THE RATE OF ONE EVERY 5' TO MEET CODES
 - FUTURE GARAGES SHALL BE DETERMINED AND LOCATED AT REAR OF LOTS
 - GRAVEL PADS FOR PARKING OR ALLEYS SHALL BE PROVIDED
 - ACCESS TO REAR OF HOMES SHALL BE BY WAY OF A PRIVATE ALLEY
 - ALLEY RIGHT OF WAY SHALL BE MINIMUM WITH A PAVED 10' WIDTH
 - EACH HOME SHALL HAVE A FIRE ESCAPE WITH ROOF CANOPY
 - POUCH AREA IS WITHIN THE 24' FRONT YARD SETBACK AND SHALL REQUIRE A VARIANCE
 - DRIVES WILL NOT BE PERMITTED IN FRONT OF LOTS



TAX I.D. NO. 80-104-04
 CITY OF CHARLOTTE
 HOUSING AUTHORITY

TAX I.D. NO. 80-104-04
 LITTLE ROCK AME ZION

(M.B. 12 PG. 201)