

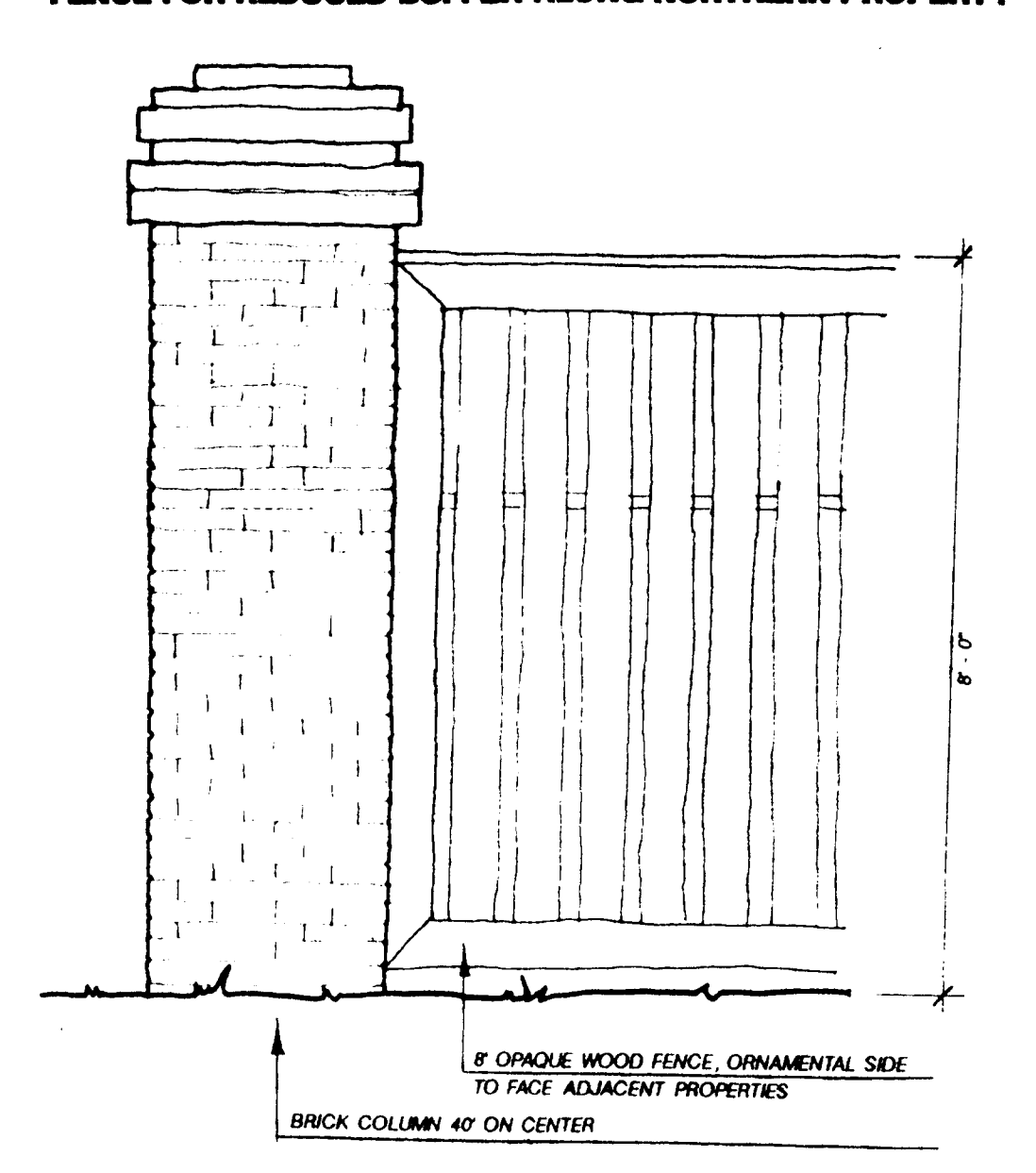
SITE DATA

Total Area: 8.65 Acres
 Existing Zoning: R-5, O-2 & O-6(CD)
 Proposed Zoning: R-43 MF(CD)
 Proposed Units: 203
 Density: 23.5 D.U.A.
 Parking Required: 315
 Parking Provided: 315 Minimum
 Building Height:
 3 story: 38'-6"
 3-4 split: 43'-9"
 3-5 split: 49'-6"

CONDITIONAL DEVELOPMENT NOTES

- This rezoning proposes to create an upscale urban density development. The Technical Plan creates the absolute requirements for development of the site, including buffers, setbacks, and access points. The Schematic Site Plan, while it presents a firm development proposal, may be adjusted to reflect more detailed site design factors and site conditions. In no event, however, shall any part of the building and parking elements extend beyond the development boundary established by the Technical Plan.
- The maximum building height shall not exceed four stories with basement.
- Right-of-way equal to 50 feet from the center line shall be dedicated along Park Road for future widening purposes. Dedication shall occur prior to the issuance of the first building permits for the site.
- Developer shall provide left turn lane with 150' of storage and 240' bay taper and extend median South to Seneca. Final design to be approved by C.D.O.T.
- All buffers shall comply with the appropriate sections of the Zoning Ordinance but, as indicated on the plan may be reduced 25 percent through the provision of a wall, fence, or berm. Buffer widths will not be reduced to less than that shown on the plan. The proposed fence or wall along the Northern property line adjacent to R-5 zoning will be 8' in height with the finished or aesthetic side facing the R-5 zoning.
- Detached lighting on the site shall not exceed 20 feet in height and shall be shielded to avoid glare onto adjacent residential properties.
- All buildings shall be located within 750 feet of the nearest fire hydrant.
- Access points to the site from Park Road and from Valley Stream Road shall be subject to approval by the Charlotte Department of Transportation as to location and design.
- Except for the additional 90' rear yard adjacent to the Northern property line any building height over 40' will require minimum side and rear yards to be increased one foot for every foot over 40' per the Zoning Ordinance.
- All dumpsters or compactors to be screened with solid enclosures with gates.
- Internal street and parking lighting (detached) will be limited to 20' in height.
- Development will conform to the Charlotte Floodway Regulations, Chapter 9 of the City Code.
- The driveway access at Valley Stream Road will be restricted to "exit only" use and will be enforced through the installation of a security gate near the project's edge.
- The petitioner will donate up to \$20,000 to provide funding of "traffic-calming devices" within the Madison Park neighborhood as recommended and approved by the Charlotte Department of Transportation. This money will be available to be used at CDOT's discretion for projects which are not otherwise funded. The petitioner shall provide the money prior to the issuance of the first building permits for the project, with the exact details of how the fund will be established and managed to be worked out between the petitioner and CDOT.
- The petitioner agrees to make every effort to move the entrance/exit of the proposed lower parking deck as far away from Valley Stream Road as feasibly possible.
- The petitioner shall meet with residents or representatives of the surrounding area to review preliminary architectural plans prior to construction.

FENCE FOR REDUCED BUFFER ALONG NORTHERN PROPERTY

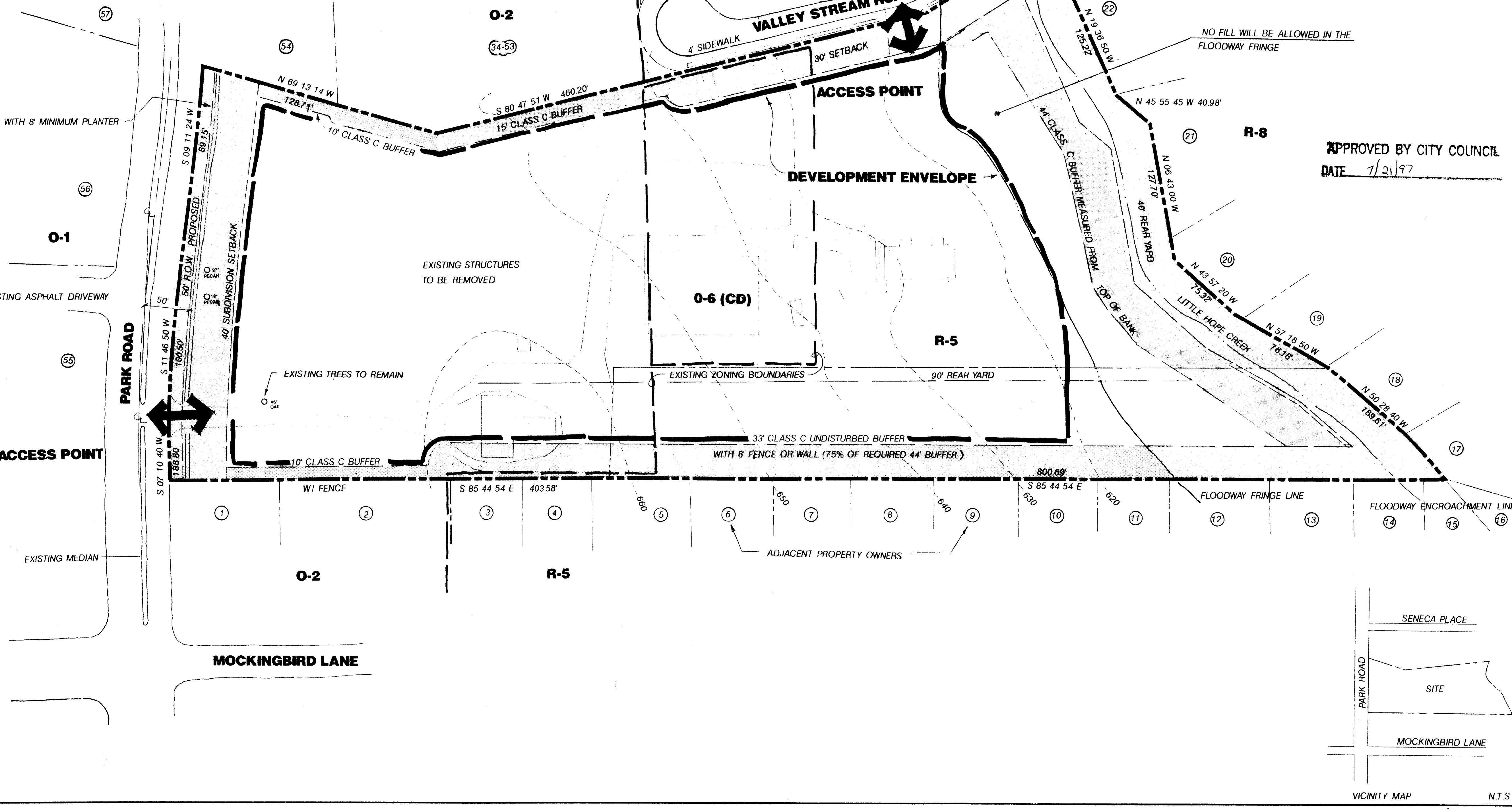


ESTATES ON PARK ROAD
 A MULTI-FAMILY COMMUNITY BY:
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 COLUMBIA, SC 29259

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TECHNICAL PLAN

Scale:	1" = 50'
Date:	27 JANUARY 1997
Revisions:	
20 MARCH 96	AS FOR PUBLIC HEARING
30 APRIL 97	BUILDING HEIGHT AND FENCE DETAIL
6 MAY 97	FILL RESTRICTION
28 JULY 97	ADDITIONAL NOTES AND UNIT COUNT PER APPROVED PETITION
Sheet 1	of



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PETITION NO. 97-36
SCHEMATIC SITE PLAN

Scale:	1" = 50'
Date:	27 JANUARY 1997
Revisions:	
20 MARCH 96	AS FOR PUBLIC HEARING
28 JULY 97	PER APPROVED PETITION
Sheet 2	of

