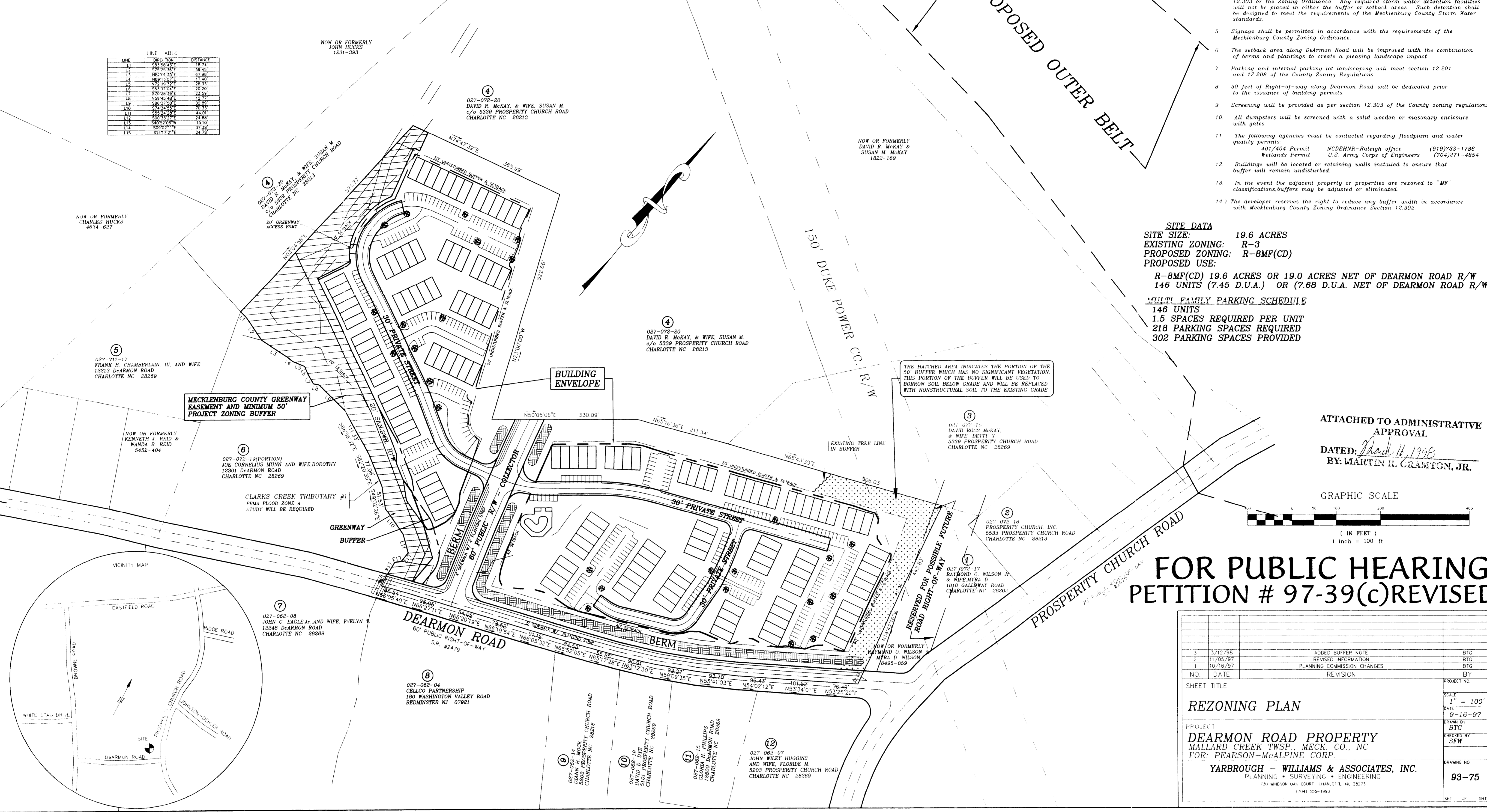


**GENERAL NOTES**  
PEARSON-MCALPINE CORPORATION  
DEARMON ROAD

- The intent of this rezoning is to provide an opportunity to develop a for-sale attached townhomes of a density and arrangement which is compatible with the Northeast District Plan concept for this area. The property contained within the urban village area which is proposed around the interchange of Prosperity Church Road and the Outerbelt.
- This parcel is proposed for attached townhouse development two-story townhomes, possibly 3 story with garage and the units will be for-sale with appropriate condominium documents adopted and recorded. The plan shown indicates a concept of development which may be altered based on final design criteria but in no event shall development extend beyond the building envelope described on the plan.
- The Class C buffer area shown on the northerly and easterly boundary of the townhome area will be undisturbed, except for any necessary utility crossings, with any such crossings being limited to an angle not less than 75 degrees. Existing vegetation will be maintained and supplementary plantings will be made as necessary to meet the requirements of Section 12.302 of the Mecklenburg County Zoning Ordinance. If necessary, retaining walls will be constructed along the inner-edge of the buffer areas to ensure that buffers will remain undisturbed. No patios shall be allowed in the buffer areas.
- Development of this property shall meet the screening requirements of Section 12.303 of the Zoning Ordinance. Any required storm water detention facilities will not be placed in either the buffer or setback areas. Such detention shall be designed to meet the requirements of Section 12.302 of the Mecklenburg County Zoning Ordinance.
- Signage shall be permitted in accordance with the requirements of the Mecklenburg County Zoning Ordinance.
- The setback area along DeArmon Road will be improved with the combination of terms and plantings to create a pleasing landscape impact.
- Parking and internal parking lot landscaping will meet section 12.201 and 12.208 of the County Zoning Regulations.
- 30 feet of Right-of-way along DeArmon Road will be dedicated prior to the issuance of building permits.
- Screening will be provided as per section 12.303 of the County zoning regulations.
- All dumpsters will be screened with a solid wooden or masonry enclosure with gates.
- The following agencies must be contacted regarding floodplain and water quality permits:  
401/404 Permit NCDENR-Raleigh office (919)733-1786  
Wetlands Permit U.S. Army Corps of Engineers (704)271-4854
- Buildings will be located or retaining walls installed to ensure that buffer will remain undisturbed.
- In the event the adjacent property or properties are rezoned to "MF" classifications, buffers may be adjusted or eliminated.
- The developer reserves the right to reduce any buffer width in accordance with Mecklenburg County Zoning Ordinance Section 12.302.

**LINE TABLE**

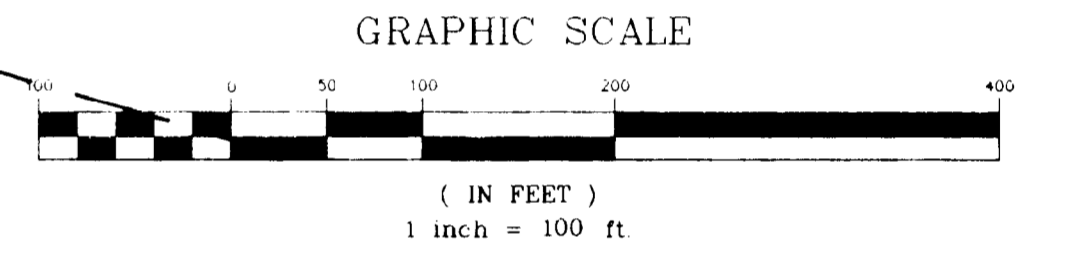
LINE	DEPT	NO	DISTANCE
L1	12	12	18.74
L2	12	12	18.74
L3	12	12	18.74
L4	12	12	18.74
L5	12	12	18.74
L6	12	12	18.74
L7	12	12	18.74
L8	12	12	18.74
L9	12	12	18.74
L10	12	12	18.74
L11	12	12	18.74
L12	12	12	18.74
L13	12	12	18.74
L14	12	12	18.74
L15	12	12	18.74



**SITE DATA**  
 SITE SIZE: 19.6 ACRES  
 EXISTING ZONING: R-3  
 PROPOSED ZONING: R-8MF(CD)  
 PROPOSED USE:  
 R-8MF(CD) 19.6 ACRES OR 19.0 ACRES NET OF DEARMON ROAD R/W  
 146 UNITS (7.45 D.U.A.) OR (7.68 D.U.A. NET OF DEARMON ROAD R/W)

**MULTI FAMILY PARKING SCHEDULE**  
 146 UNITS  
 1.5 SPACES REQUIRED PER UNIT  
 218 PARKING SPACES REQUIRED  
 302 PARKING SPACES PROVIDED

ATTACHED TO ADMINISTRATIVE APPROVAL  
 DATED: March 16, 1998  
 BY: MARTIN R. CRAMTON, JR.



**FOR PUBLIC HEARING  
 PETITION # 97-39(c)REVISED**

NO.	DATE	REVISION	PROJECT NO.	BY
1	3/12/98	ADDED BUFFER NOTE		BTG
2	11/05/97	REVISED INFORMATION		BTG
3	10/16/97	PLANNING COMMISSION CHANGES		BTG

**SHEET TITLE**  
 REZONING PLAN

**PROJECT**  
 DEARMON ROAD PROPERTY  
 MALLARD CREEK TWP, MECK. CO., NC  
 FOR: PEARSON-MCALPINE CORP.

**YARBROUGH - WILLIAMS & ASSOCIATES, INC.**  
 PLANNING • SURVEYING • ENGINEERING  
 175 W. BRUNNEN GLEN COURT, CHARLOTTE, NC 28215  
 (704) 536-1980

SCALE: 1" = 100'  
 DATE: 12-16-97  
 DRAWN BY: BTG  
 CHECKED BY: SFM  
 SHEET NO.: 93-75

**CHARLOTTE-MECKLENBURG  
 PLANNING COMMISSION**  
 INTER - OFFICE COMMUNICATION

DATE: March 16, 1998

TO: Robert Brandon  
 Zoning Administrator

FROM: Martin R. Cramton, Jr.  
 Planning Director

SUBJECT: Administrative Approval for Petition No. 97-39(c) Pearson McAlpine Land Corporation Tax parcel 027-072-19(portion) and 027-072-18.

Attached is a revised site plan indicating an area in the buffer along the northeasterly portion of this site to be disturbed. Since this area does not include significant vegetation I am administratively approving this request. Please use this revised plan when evaluating requests for building permits and certificates of occupancy.

# PROSPERITY VILLAGE

CHARLOTTE, NORTH CAROLINA  
 A 146 UNIT MULTI-FAMILY HOUSING COMMUNITY  
 DEVELOPED BY  
**THE MCALPINE CO., INC.**  
 CHARLOTTE, NORTH CAROLINA  
 704.362.2400 704.361.3758

**PROSPERITY VILLAGE**  
 CHARLOTTE, NORTH CAROLINA  
 A 146 UNIT MULTI-FAMILY HOUSING COMMUNITY  
 DEVELOPED BY  
**THE MCALPINE CO., INC.**  
 CHARLOTTE, NORTH CAROLINA  
 704.362.2400

GENERAL NOTES  
 THE MCALPINE CO., INC.  
 DEARMON ROAD  
 REZONING PETITION 97-39(C)

- The intent of this rezoning is to provide an opportunity to develop a for-sale attached townhomes at a density and arrangement which is compatible with the NorthEast District Plan concept for this area. The property contained within the urban village area which is proposed along the interchange of Prosperity Church Road and the Outerbelt.
- This parcel is proposed for attached townhouse development to 3 story townhomes possibly 3 story with garage and the units will be for-sale with appropriate condominium documents adapted and recorded. The plan shown indicates a concept of development which may be altered based on final design criteria but in no event shall development extend beyond the building envelope described on the plan.
- The Class C buffer area shown on the northerly and easterly boundary of the townhome area will be undisturbed, except for any necessary utility crossings, with any such crossings being limited to an angle not less than 75 degrees. Existing vegetation will be maintained and supplementary plantings will be made as necessary to meet the requirements of Section 12.302 f the Mecklenburg County Zoning Ordinance. If necessary, retaining walls will be constructed along the inner-edge of the buffer areas to ensure that buffers will remain undisturbed. No patios shall be allowed in the buffer areas.
- Development of this property shall meet the screening requirements of Section 12.303 or the Zoning Ordinance. Any required storm water detention facilities will not be placed in either the buffer or setback areas. Such retention shall be designed to meet the requirements of the Mecklenburg County Storm Water standards.
- Signage shall be permitted in accordance with the requirements of the Mecklenburg County Zoning Ordinance.
- The setback area along DeArmon Road will be improved with the combination of berms and plantings to create a pleasing landscape impact.
- Parking and internal parking lot landscaping will meet section 2.201 and 12.208 of the County Zoning Regulations.
- 30 feet of Right-of-way along DeArmon Road will be dedicated prior to the issuance of building permits.
- Screening will be provided as per section 12.303 of the County zoning regulations
- All dumpsters will be screened with a solid wooden or masonry enclosure with gates.
- The following agencies must be contacted regarding flood plain and water quality permits:  
 401/404 Permit NCDEHNR-Raleigh office (919)733-1786  
 Wetlands Permit U.S. Army Corps of Engineers 704)271-4854
- Buildings will be located or retaining walls installed to ensure that buffer will remain undisturbed.
- In the event the adjacent property or properties are rezoned to MF classifications, buffers may be adjusted or eliminated.
- The developer reserves the right to reduce any buffer width in accordance with Mecklenburg County Zoning Ordinance Section 12.302.

CONSTRUCTION SEQUENCE

- RECEIVE PLAN APPROVAL FROM THE MECKLENBURG COUNTY ENGINEERING DEPARTMENT.
- REQUEST PRE-CONSTRUCTION CONFERENCE WITH MECKLENBURG COUNTY ENGINEERING INSPECTOR, WILSON DRUWEAY (M) 575-211-9555
- CONTRACTOR SHALL INSTALL TEMPORARY SEDIMENT BASINS, DIVERSION DITCHES, SILT FENCE, AND OTHER EROSION CONTROL MEASURES.
- SET UP PRE-CONSTRUCTION REVIEW WITH COUNTY ENGINEERING INSPECTOR TO REVIEW EROSION CONTROL DEVICES INSTALLED.
- SECTION PERMIT ISSUED BY MECKLENBURG COUNTY ENGINEERING INSPECTOR.
- CONTRACTOR MAY BEGIN GRADING AND INSTALLING UTILITIES.
- CONTRACTOR SHALL REMOVE SEDIMENT WHEN BASIN IS HALF FULL. SILT FENCE SHALL BE KEPT ERECTED AT ALL TIMES AND SEDIMENT REMOVED FROM BEHIND FENCE AFTER EACH RAINFALL, AS NEEDED.
- CONTRACTOR SHALL TEMPORARY SEED PHASE II AFTER THE GRADING IS COMPLETED.
- CONTRACTOR SHALL CONTINUE INSTALLING UTILITIES ON PHASE I.
- FINAL GRADE PHASE I, SEED AND FERTILIZE DENUDEED AREAS IN PHASE I.
- REMOVE ALL EROSION CONTROL DEVICES WITH INSPECTOR APPROVAL.
- FINAL INSPECTION BY MECKLENBURG COUNTY.

CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STRUCTURE CHART

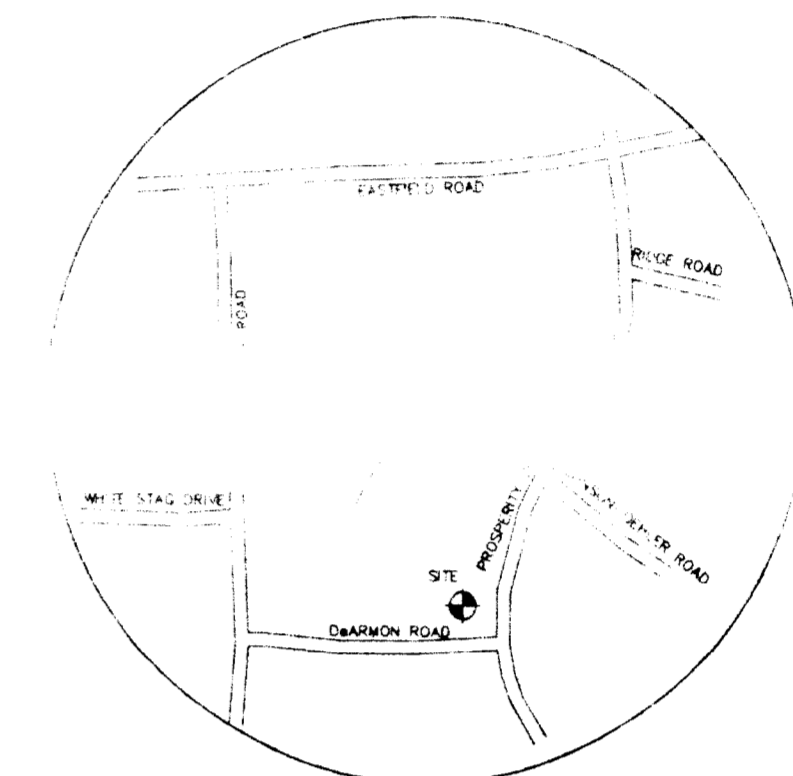
- 20.01 BRICK CATCH BASIN - 15" THRU 54" PIPE
- 20.02 FRAME, GRATE AND HOOD
- 20.03 BRICK DOUBLE CATCH BASIN - 15" THRU 24" PIPE
- 20.04 BRICK DOUBLE CATCH BASIN - 30" THRU 36" PIPE
- 20.09 BLOCK MANHOLE - 15" THRU 36" PIPE
- 20.10 MANHOLE, FRAME AND COVER
- 20.15 BRICK DROP INLET
- 20.14 FRAME AND GRATE FOR DROP INLET
- 20.17 CONCRETE WINGWALL WITH SPLASH PAD
- 20.23 RIP RAP APPROX AT PIPE OUTLETS

SCHEDULE OF DRAWINGS

- L1 COVER SHEET
- L2 EXISTING CONDITIONS
- L3 SITE PLAN
- L4 GRADING PLAN
- L5 GRADING PLAN
- L6 GRADING PLAN
- L7 PROSPERITY VILLAGE DRIVE PROFILE
- L8 JESSICA PLACE & JOCELYN LANE PROFILE
- L9 JESSICA PLACE PROFILE (PHASE 2 NOT IN CONTRACT)
- L10 EXISTING ROAD PROFILE
- L11 REQUIRED PLANTING PLAN
- L12 SITE DETAILS
- C1 STORM DRAINAGE & EROSION CONTROL
- C2 STORM DRAINAGE & EROSION CONTROL
- C3 EROSION CONTROL
- C4 CIVIL PERMIT SHEET
- C5 SANITARY SEWER & WATER SYSTEM
- C6 SANITARY SEWER & WATER SYSTEM
- C7 SANITARY SEWER & WATER SYSTEM (PHASE 2 NOT IN CONTRACT)
- C8 SANITARY SEWER PROFILE
- C9 SANITARY SEWER PROFILE (PHASE 2 NOT IN CONTRACT)
- C10 DETAIL SHEET

SITE DATA

TOTAL AREA: 190 ACRES  
 1884 ACRES NET OF DEARMON ROAD RIGHT OF WAY  
 EXISTING ZONING: R-8 MF (OD)  
 PROPOSED UNITS: 146 FOR SALE TOWN-HOMES  
 DENSITY: 7.75 DUA  
 PARKING REQUIRED: 291 • 15 PER UNIT  
 PARKING PROVIDED: 291 REGULAR SPACES  
 2 VAN HANDICAP SPACES  
 6 HANDICAP SPACES  
 299 TOTAL SPACES  
 BUILDING HEIGHT: 40' MAX  
 OPEN SPACE REQUIRED: 50% • 95 ACRES  
 OPEN SPACE PROVIDED: 135 ACRES • 71%  
 PRIVATE OPEN SPACE REQUIRED: 400 SQ. FT. PER UNIT  
 PRIVATE OPEN SPACE PROVIDED: 400 SQ. FT. PER UNIT  
 SANITATION SERVICE: PRIVATE ROLL OUT PAID FOR BY THE DEVELOPER AND OR THE HOME OWNERS ASSOCIATION



VICINITY MAP (N.T.S.)

GENERAL NOTES

- ALL CONSTRUCTION TO CONFORM TO CHARLOTTE / MECKLENBURG LAND DEVELOPMENT STANDARDS.
- SITE ENGINEERING DRAWINGS SHOWING COMPLIANCE WITH THE SITE ENGINEERING REQUIREMENTS OF THE SUBDIVISION ORDINANCE SHALL BE APPROVED BY THE COUNTY ENGINEERING STAFF AS PART OF THE BUILDING PERMIT PROCESS.
- FINAL DETAILED LANDSCAPE PLAN SHOWING COMPLIANCE WITH THE PLANNING ORDINANCE SHALL BE SUBMITTED FOR APPROVAL AS PART OF THE BUILDING PERMIT PROCESS.
- FIRE HYDRANT LOCATION SHALL BE REVIEWED AND APPROVED BY THE COUNTY FIRE MARSHALL DURING THE BUILDING PERMIT PROCESS.
- ALL STD. NUMBERS REFER TO THE CHARLOTTE/MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL.
- ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
- ANY GRADING BEYOND THE DENUDEED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- GRADING MORE THAN ONE ACRE WITHOUT A PERMIT IS A VIOLATION OF COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDEED AREAS AND ESPECIALLY WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE SHOWN ON THE PLAN. GRADED SLOPES MUST BE SEEDING AND MULCHED WITHIN 30 DAYS OF COMPLETION OF GRADING. ALL REMAINING AREAS ARE TO BE SEEDING AND MULCHED WITHIN 120 DAYS.
- ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE COUNTY ENGINEERING DEPARTMENT.
- SLOPES SHALL BE GRADED NO STEEPER THAN 2:1.
- ANY CONSTRUCTION OR USE WITHIN THE AREAS DELINEATED AS FLOODWAY DISTRICT FRINGE BOUNDARY LINE OR FLOODWAY DISTRICT ENCRoACHMENT BOUNDARY LINE IS TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
- THE MECKLENBURG COUNTY ENGINEERING DEPARTMENT HAS NOT REVIEWED THE STRUCTURAL STABILITY OF ANY RETAINING WALLS ON THE SITE AND DOES NOT ASSUME RESPONSIBILITY FOR THEM. AS-BUILT DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM MUST BE SUBMITTED FOR THE COLLECTOR ROAD PRIOR TO SUBDIVISION FINAL INSPECTION TO THE COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH COUNTY SUBDIVISION ORDINANCE.
- PERMANENT STORM DRAINAGE EASEMENTS WILL BE MAINTAINED BY COUNTY UPON REQUEST. THE COUNTY WILL ACCEPT ROP SYSTEMS ONLY. THE EASEMENT MUST ADJOIN THE RIGHT-OF-WAY AND HAVE A RECORDED METES AND BOUNDS DESCRIPTION.
- PUBLIC STORM DRAINAGE EASEMENTS ARE TO BE MAINTAINED BY THE INDIVIDUAL PROPERTY OWNER.
- NON-STANDARD ITEMS (IE. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE AN ENCRoACHMENT AGREEMENT WITH NCDOT BEFORE INSTALLATION.



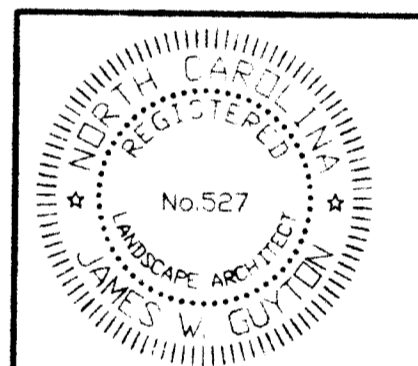
ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: July 22, 1998  
 BY: MARTIN R. CRAMTON, JR.

DESIGN RESOURCE GROUP, PA  
 Landscape Architecture • Land Planning

Phone: (704) 345-0608  
 Fax: (704) 358-3093  
 E-Mail: drgroup@undial.com

COVER SHEET



Scale:  
 Date: 7 MAY 1998  
 Revisions:  
 1) 29 JUNE 1998  
 2) 14 JULY 1998

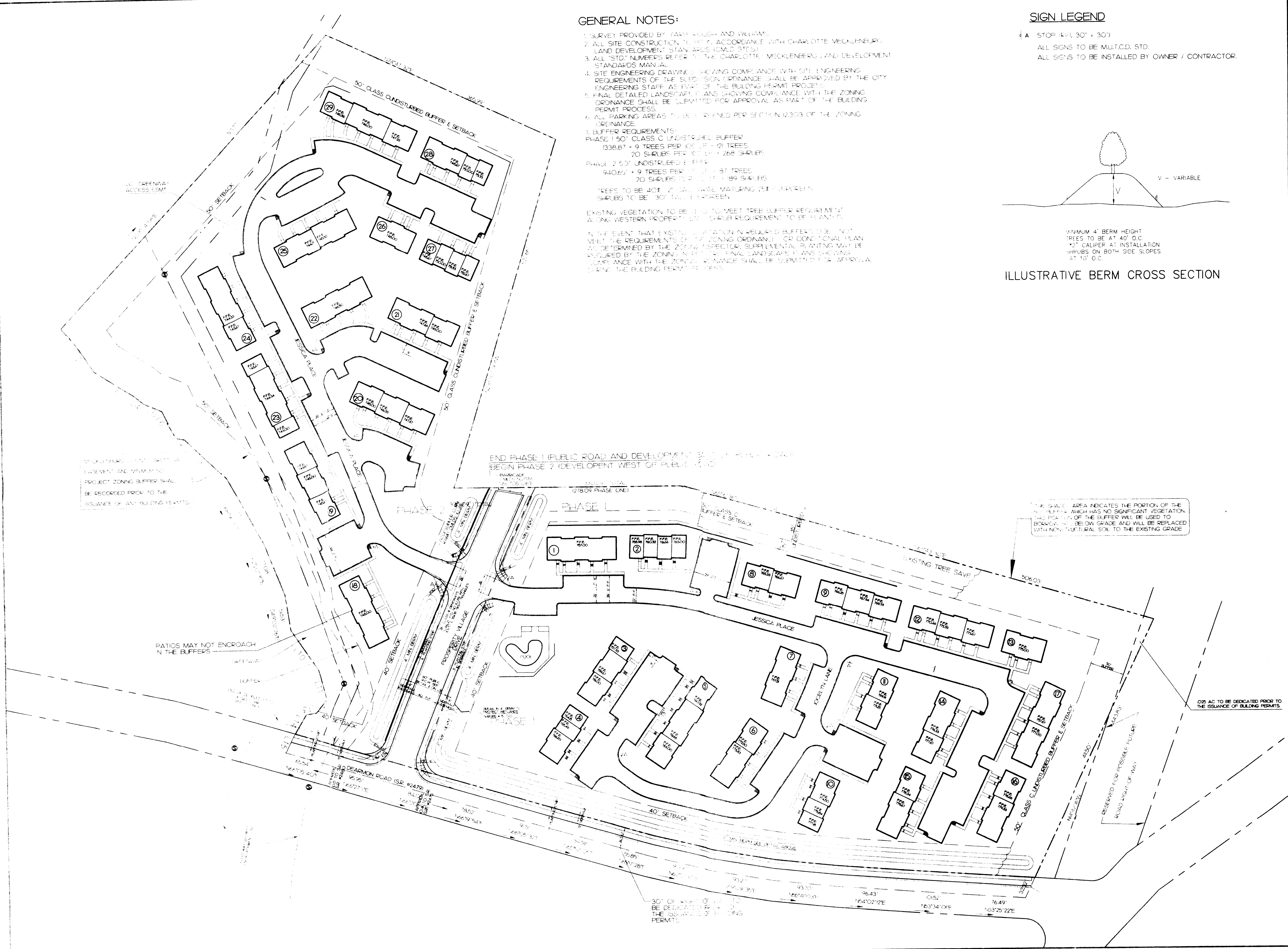
Sheet LI of

CHARLOTTE - MECKLENBURG PLANNING COMMISSION  
 INTER - OFFICE COMMUNICATION

DATE: July 22, 1998  
 TO: Robert Brandon, Zoning Administrator  
 FROM: Martin R. Cramton, Jr., Planning Director  
 SUBJECT: Administrative Approval for Petition No. 97-39(c) Pearson McAlpine Land Corporation Tax parcel 027-072-19(portion) and 027-072-18.

Attached is a revised site plan indicating an area in the buffer along the northeasterly portion of this site to be disturbed and to allow 15 feet of the buffer along the northerly property line in phase I to be disturbed. The plan also indicates that a .25 acre parcel will be dedicated along the eastern portion of the site for future right-of-way prior to the issuance of a building permit. Since these areas do not include significant vegetation I am administratively approving this request. Please use this revised plan when evaluating requests for building permits and certificates of occupancy.

FOR APPROVAL ONLY NOT FOR CONSTRUCTION



**GENERAL NOTES:**

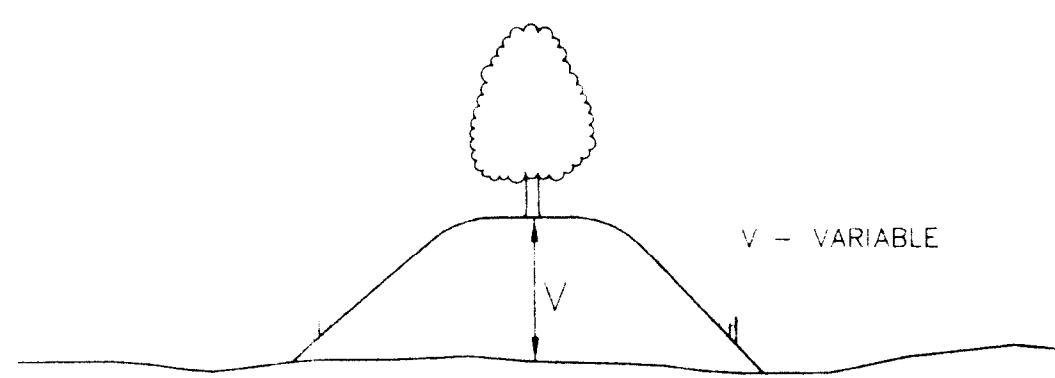
1. SURVEY PROVIDED BY TERRY SUGG AND WILLIAMS.
  2. ALL SITE CONSTRUCTION TO BE IN ACCORDANCE WITH CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS (CMDS) (STD).
  3. ALL (STD) NUMBERS REFER TO THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL.
  4. SITE ENGINEERING DRAWINGS SHOWING COMPLIANCE WITH SITE ENGINEERING REQUIREMENTS OF THE SUBDIVISION ORDINANCE SHALL BE APPROVED BY THE CITY ENGINEERING STAFF AS PART OF THE BUILDING PERMIT PROCESS.
  5. FINAL DETAILED LANDSCAPE PLANS SHOWING COMPLIANCE WITH THE ZONING ORDINANCE SHALL BE SUBMITTED FOR APPROVAL AS PART OF THE BUILDING PERMIT PROCESS.
  6. ALL PARKING AREAS TO BE DETERMINED PER SECTION 12.003 OF THE ZONING ORDINANCE.
- 1. BUFFER REQUIREMENTS:**  
 PHASE 1 50' CLASS C UNDISTURBED BUFFER  
 1338.67' ± 9 TREES PER 100' LF ± 121 TREES  
 20 SHRUBS PER 100' LF ± 268 SHRUBS  
 PHASE 2 50' UNDISTURBED BUFFER  
 940.65' ± 9 TREES PER 100' LF ± 81 TREES  
 20 SHRUBS PER 100' LF ± 189 SHRUBS  
 TREES TO BE 40' ± 2" CALIBER MATURING TREE FURFURREIN  
 SHRUBS TO BE 30" TALL GREEN

EXISTING VEGETATION TO BE MAINTAINED TO MEET TREE BUFFER REQUIREMENT ALONG WESTERN PROPERTY LINE. SHRUB REQUIREMENT TO BE PLANTED.

IN THE EVENT THAT EXISTING VEGETATION IN REQUIRED BUFFERS DOES NOT MEET THE REQUIREMENTS OF THE ZONING ORDINANCE OR CONDITIONAL PLAN AS DETERMINED BY THE ZONING INSPECTOR, SUPPLEMENTAL PLANTING MAY BE REQUIRED BY THE ZONING INSPECTOR. FINAL LANDSCAPE PLANS SHOWING COMPLIANCE WITH THE ZONING ORDINANCE SHALL BE SUBMITTED FOR APPROVAL DURING THE BUILDING PERMIT PROCESS.

**SIGN LEGEND**

- ▲ A STOP SIGN (30" x 30")
- ALL SIGNS TO BE MULTICOLOR STD.
- ALL SIGNS TO BE INSTALLED BY OWNER / CONTRACTOR.



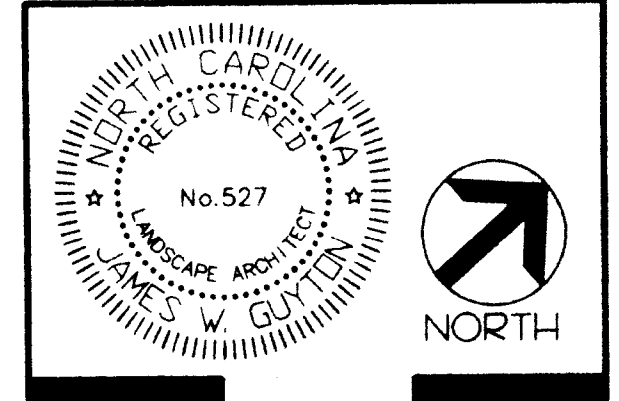
MINIMUM 4" BERM HEIGHT  
 TREES TO BE AT 40' O.C.  
 2" CALIBER AT INSTALLATION  
 SHRUBS ON BOTH SIDE SLOPES  
 AT 10' O.C.

ILLUSTRATIVE BERM CROSS SECTION

**PROSPERITY VILLAGE**  
 CHARLOTTE, NORTH CAROLINA  
 A 146 UNIT MULTI-FAMILY COMMUNITY DEVELOPED BY:  
**THE MCALPINE CO., INC.**  
 CHARLOTTE, NC  
 (704) 362-2400 (704) 361-5758

**DESIGN RESOURCE GROUP, PA**  
 Landscape Architecture • Civil Engineering  
 Land Planning  
 500 East Boulevard  
 Suite 102  
 Charlotte, NC 28203  
 Ph.: (704) 343-0608  
 Fax: (704) 358-3093  
 E-Mail: drgroup@unidal.com

**SITE PLAN**



Scale: 1" = 60'  
 Date: 7 MAY 1998  
 Revisions:  
 1) 29 JUNE 1998  
 2) 14 JULY 1998  
 3) 17 JULY 1998

# P R O S P E R I T Y V I L L A G E

MALLARD CREEK TOWNSHIP, NORTH CAROLINA  
A 146 UNIT MULTI-FAMILY HOUSING COMMUNITY  
DEVELOPED BY

THE MCALPINE CO., INC.  
CHARLOTTE, NORTH CAROLINA  
704.362.2400 704.361.3758

**PROSPERITY VILLAGE**  
MALLARD CREEK TOWNSHIP, NORTH CAROLINA  
A 146 UT MULTI-FAMILY HOUSING COMMUNITY  
DEVELOPED BY  
THE MCALPINE CO., INC.  
CHARLOTTE, NORTH CAROLINA  
704.362.2400 704.361.3758

CHARLOTTE - MECKLENBURG  
PLANNING COMMISSION  
INTER - OFFICE COMMUNICATION

DATE: November 24, 1998

TO: Robert Brandon  
Zoning Administrator

FROM: Martin R. Cramton, Jr.  
Planning Director

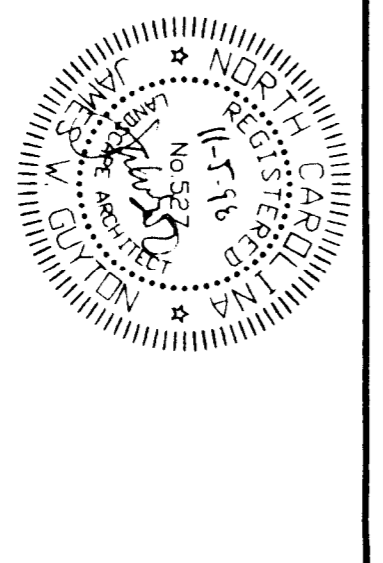
SUBJECT: Administrative Approval for Petition No. 97-39(c) Pearson McAlpine Land Corporation Tax parcel 027-072-19(portion) and 027-072-18.

Attached is a revised site plan removing the required buffer along the northern and northeasterly boundary lines on the abutted conditional plan. This plan also indicates that the buffer along the northerly property line is to be disturbed, since this area does not include significant vegetation. Since these changes are minor, I am administratively approving this request. Please use this revised plan when evaluating requests for building permits and certificates of occupancy.

**DESIGN  
RESOURCE  
GROUP, PA**

Landscaping Architecture • Civil Engineering  
Landscape Planning  
500 East Boulevard  
Suite 102  
Charlotte, NC 28203  
Phone: (704) 543-0605  
Fax: (704) 538-3693  
E-Mail: [drgroup@earthlink.com](mailto:drgroup@earthlink.com)

**COVER  
SHEET**



Scale: 7 MAY 1998

Date: 7 MAY 1998

Revisions: 1) 29 JUNE 1998

2) 14 JULY 1998

3) 31 JULY 1998

4) 25 AUGUST 1998

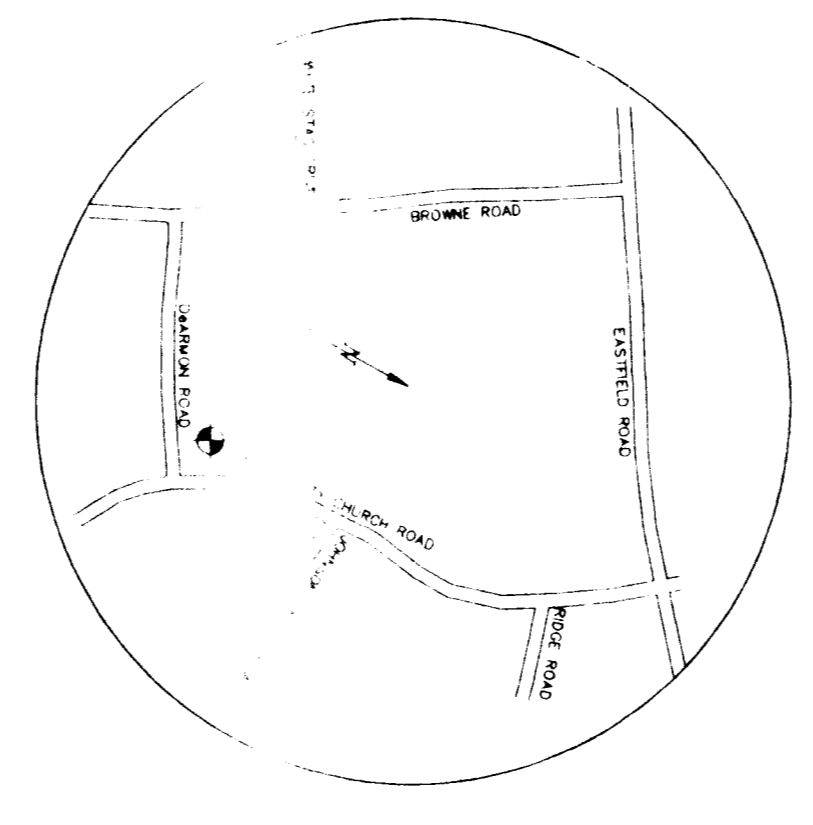
5) 15 SEPTEMBER 1998

6) 5 NOV 98 REMOVE BUFFER

Sheet U of

**SITE DATA**

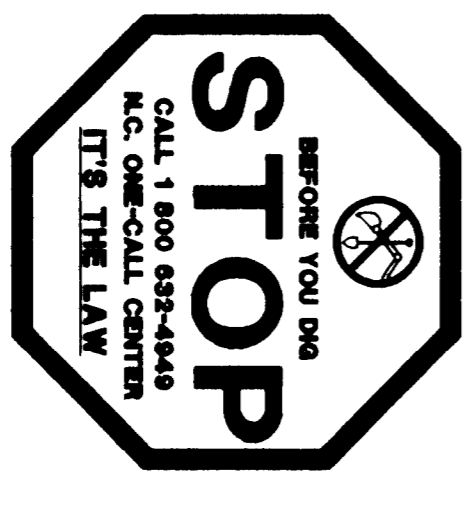
TOTAL AREA: 90 ACRES  
8.84 ACRES NET OF DEARMON  
ROAD RIGHT OF WAY  
EXISTING ZONING: R-10 (RESIDENTIAL SINGLE-FAMILY)  
TAX PARCEL #: 027-07-09  
DENSITY: 775 PL 027-07-09  
AREA OF PROPOSED VILLAGE ROAD: 64 AC.  
PARKING PROVIDED: 292 • 15 PER UNIT  
6 HANDICAP SPACES  
799 TOTAL SPACES  
BUILDING HEIGHT: 40' MAX WITH A 16' MINIMUM  
OPEN SPACE REQUIRED: 125 ACRES • 71%  
PRIVATE OPEN SPACE PROVIDED: 400 SQ. FT. PER UNIT  
SANITARY SEWER PROFILES (PHASE 2 NOT IN CONTRACT)  
DEVELOPER: THE MCALPINE CO., INC.  
THE CITY OF CHARLOTTE WILL NOT PROVIDE ROLL OUT  
GARBAGE COLLECTION



VICINITY MAP (N.T.S.)

**GENERAL NOTES**

1. ALL CONSTRUCTION TO CONFORM TO CHARLOTTE / MECKLENBURG LAND DEVELOPMENT STANDARDS.
2. SITE ENGINEERING DRAWINGS SHOWING COMPLIANCE WITH THE SITE ENGINEERING REQUIREMENTS OF THE SUBDIVISION ORDINANCE SHALL BE APPROVED BY THE COUNTY ENGINEERING DEPARTMENT AND THE PLANNING COMMISSION.
3. ENGINEERING SHALL BE SUBMITTED FOR APPROVAL AS PART OF THE BUILDING PERMIT PROCESS.
4. FIRE HYDRANT LOCATION SHALL BE REVIEWED AND APPROVED BY THE COUNTY FIRE DEPARTMENT.
5. MARSHALL DURING THE BUILDING PERMIT PROCESS.
6. DEVELOPMENT STANDARDS MANUAL FOR CHARLOTTE/MECKLENBURG LAND DEVELOPMENT.
7. ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
8. ANY GRADING BEYOND THE DEEMED LIMITS SHOWN ON THE PLAN IS SUBJECT TO A FINE COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE OF COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE OF COUNTY EROSION CONTROL ORDINANCE.
9. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL. ON LARGE DENuded AREAS AND ESPECIALLY WASH SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE SHOWN ON THE PLAN. ALL GRADED AREAS SHALL BE SEEDING AND MULCHED WITHIN 90 DAYS AND MULCHED WITHIN 120 DAYS.
10. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE COUNTY ENGINEERING DEPARTMENT.
11. EROSION CONTROL MEASURES SHALL BE GRADED NO STEEPER THAN 2:1.
12. ANY CONSTRUCTION OR USE WITHIN THE AREAS DELINEATED AS FLOODWAY DISTRICT PERME BOUNDARY LINE IS TO THE RESTRICTIONS DISTRICT ENFORCEMENT BOUNDARY LINE IS TO THE RESTRICTIONS DISTRICT ENFORCEMENT BOUNDARY LINE OF THE CITY OF CHARLOTTE.
13. THE MECKLENBURG COUNTY ENGINEERING DEPARTMENT HAS NOT REVIEWED THE STRUCTURAL STABILITY OF ANY RETAINING WALLS ON THE SITE AND DOES NOT ASSUME RESPONSIBILITY FOR THEM.
14. THE SITE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE RETAINING WALLS AND THE CONSTRUCTION OF THE RETAINING WALLS.
15. THE SITE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE RETAINING WALLS DESCRIBED HEREIN.
16. ANY BUILDING WITHIN THE FLOOD PLAIN RESTRICTION FLOODLINE IS SUBJECT TO THE FLOOD PLAIN RESTRICTION FLOODLINE IS SUBJECT TO THE MECKLENBURG COUNTY SUBDIVISION ORDINANCE, SECTION 7.200A.



ATTACHED TO ADMINISTRATIVE APPROVAL

DATE: 11/24/98  
BY: MARTIN R. CRAMTON, JR.  
97-39(c)

**DISCLAIMER:**  
THE MECKLENBURG COUNTY NOR ITS EMPLOYEES OR AGENTS SHALL BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY RETAINING WALLS OR STRUCTURES. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE RETAINING WALLS DESCRIBED HEREIN.

**CONSTRUCTION SEQUENCE**

1. RECEIVE PLAN APPROVAL FROM THE MECKLENBURG COUNTY ENGINEERING DEPARTMENT.
2. HOLD PRE-CONSTRUCTION CONFERENCE WITH MECKLENBURG COUNTY ENGINEERING DEPARTMENT.
3. ALL UNDISTURBED BUFFERS WILL BE STAKED AND FLAGGED FROM TO COMMENCEMENT OF GRADING.
4. CONTRACTOR SHALL INSTALL TEMPORARY SEDIMENT BASINS, EROSION CONTROL MATS, SILT FENCE, AND OTHER EROSION CONTROL MEASURES.
5. SET UP PRE-CONSTRUCTION REVIEW WITH COUNTY ENGINEERING INSPECTOR TO REVIEW EROSION CONTROL DEVICES INSTALLED.
6. GRADING PERMIT ISSUED BY MECKLENBURG COUNTY ENGINEERING DEPARTMENT.
7. CONTRACTOR MAY BEGIN GRADING AND INSTALLING UTILITIES.
8. CONTRACTOR SHALL REMOVE SEDIMENT WHEN BASIN IS HALF FULL. SILT FENCE SHALL BE KEPT ERECTED AT ALL TIMES AND SEDIMENT REMOVED FROM BEHIND FENCE AFTER EACH RAINFALL AS NEEDED.
9. CONTRACTOR SHALL TEMPORARILY SEED PHASE II AFTER THE GRADING IS COMPLETED.
10. CONTRACTOR SHALL CONTINUE INSTALLING UTILITIES ON PHASE I.
11. FINAL GRADE PHASE I, SEED AND STABILIZING DENuded AREAS IN PHASE I.
12. REMOVE ALL EROSION CONTROL DEVICES WITH INSPECTOR APPROVAL.
13. FINAL INSPECTION BY MECKLENBURG COUNTY.

**CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STRUCTURE CHART**

- 2001 BROOK CATCH BASIN - 5' THRU 54" PIPE
- 2002 FRAME, GATE AND HOOD
- 2003 BROOK DOUBLE CATCH BASIN - 5' THRU 24" PIPE
- 2004 BROOK DOUBLE CATCH BASIN - 5' THRU 36" PIPE
- 2009 BLOCK MANHOLE - 5' THRU 36" PIPE
- 2010 MANHOLE FRAME AND COVER
- 2018 BROOK DROP NET
- 2014 FRAME AND GATE FOR DROP NET
- 2015 FRAME AND GATE FOR THREATENED THREATENED
- 2013 GR. RATE ARROW AT PIPE OUTLETS

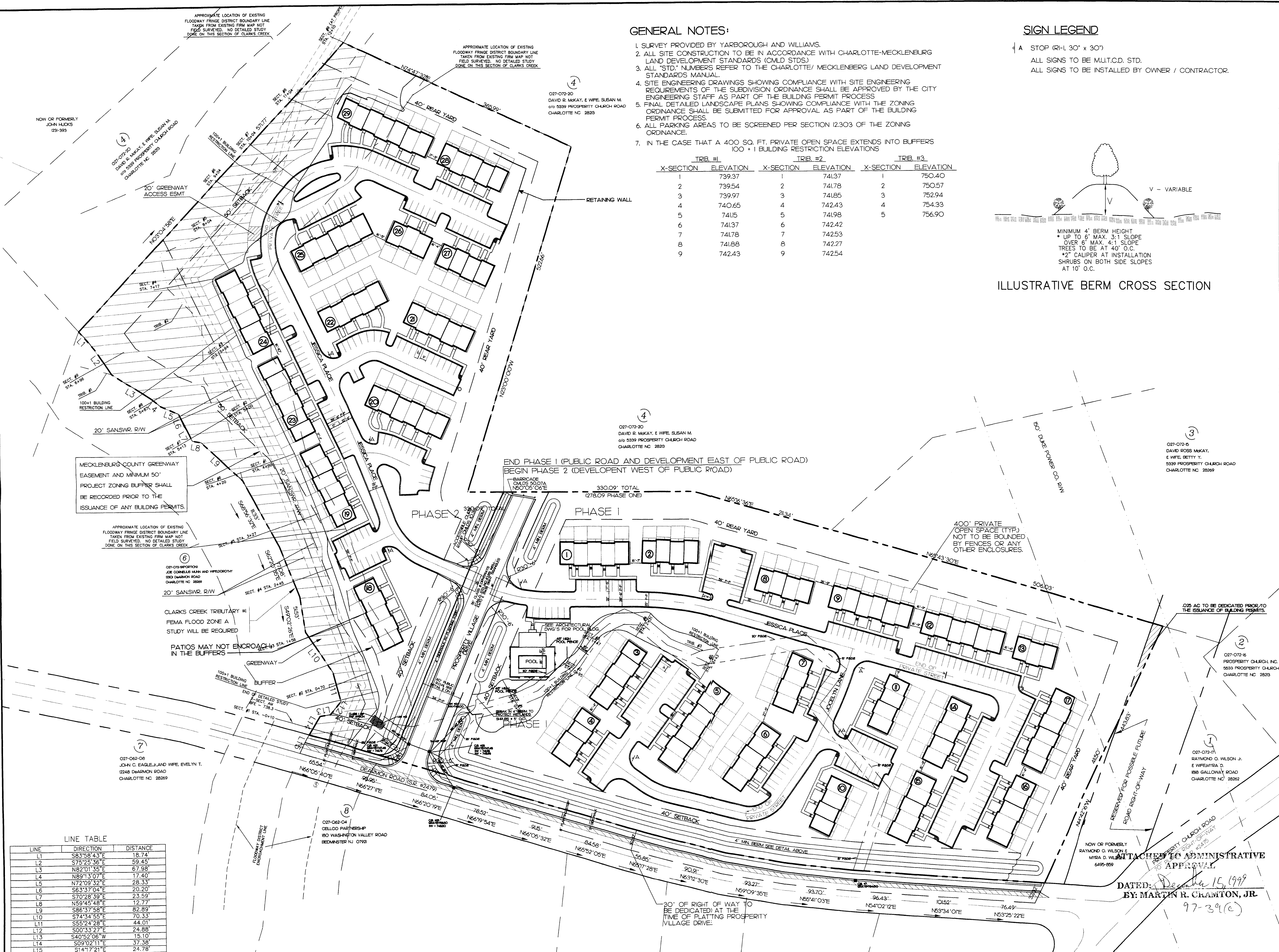
**SCHEDULE OF DRAWINGS**

11. COVER SHEET
12. EXISTING CONDITIONS
13. SITE PLAN
14. GRADING PLAN
15. GRADING PLAN
16. PROSPERITY VILLAGE DRIVE PROFILE
17. PROSPERITY VILLAGE DRIVE PROFILE
18. JESSICA PLACE PROFILE
19. JESSICA PLACE PROFILE
20. PROSPERITY VILLAGE DRIVE PROFILE
21. SITE DETAILS
22. STORM DRAINAGE & EROSION CONTROL
23. EROSION CONTROL SHEET
24. SANITARY SEWER & WATER SYSTEM
25. SANITARY SEWER & WATER SYSTEM
26. SANITARY SEWER & WATER SYSTEM
27. SANITARY SEWER & WATER SYSTEM
28. SANITARY SEWER PROFILES (PHASE 2 NOT IN CONTRACT)
29. SANITARY SEWER PROFILES (PHASE 2 NOT IN CONTRACT)
30. DETAIL SHEET

**GENERAL NOTES**

1. The intent of this rezoning is to provide an opportunity to develop a for-sale attached townhomes at a density and arrangement which is compatible with the Northeast District Plan concept for this area. The property contained within the urban village area which is proposed around the interchange of Prosperity Church Road and the Outerbelt.
2. This parcel is proposed for attached townhouse development two-story townhomes possibly 3 story with garage and the units will be for-sale with appropriate condominium documents adopted and recorded. The plan shown indicates a concept of development which may be altered based on final design criteria but in no event shall development extend beyond the building envelope described on the plan.
3. The Class C buffer area shown on the northerly and easterly boundary of the townhome area will be undisturbed, except for any necessary utility crossings, with any such crossings being limited to an angle not less than 75 degrees. Existing vegetation will be maintained and supplementary plantings will be made as necessary to meet the requirements of Section 12.302 of the Mecklenburg County Zoning Ordinance. If necessary, retaining walls will be constructed along the inner-edge of the buffer areas to ensure that buffers will remain undisturbed. No patios shall be allowed in the buffer areas.
4. Development of this property shall meet the screening requirements of Section 12.303 of the Zoning Ordinance. Any required storm water detention facilities will not be placed in either the buffer or setback areas. Such detention facilities shall be designed to meet the requirements of the Mecklenburg County Storm Water standards.
5. Stormage shall be permitted in accordance with the requirements of the Mecklenburg County Zoning Ordinance.
6. The setback area along Dearmon Road will be improved with the combination of berms and plantings to create a pleasing landscape impact.
7. Parking and internal parking lot landscaping will meet section 12.201 and 12.208 of the County Zoning Regulations.
8. 30 feet of Right-of-way along Dearmon Road will be dedicated prior to the issuance of building permits.
9. Screening will be provided as per section 12.303 of the County zoning regulations with gates.
10. All dumpsters will be screened with a solid wooden or masonry enclosure with gates.
11. The following agencies must be contacted regarding flood plain and water quality permits:  
NCDENR-Raleigh office (919)733-1786  
401/404 Permit U.S. Army Corps of Engineers (704)271-4854  
Wetlands Permit
12. Buildings will be located or retaining walls installed to ensure that buffer will remain undisturbed.
13. In the event the adjacent property or properties are rezoned to "M1" classifications, buffers may be adjusted or eliminated.
14. The developer reserves the right to reduce any buffer width in accordance with Mecklenburg County Zoning Ordinance Section 12.302.





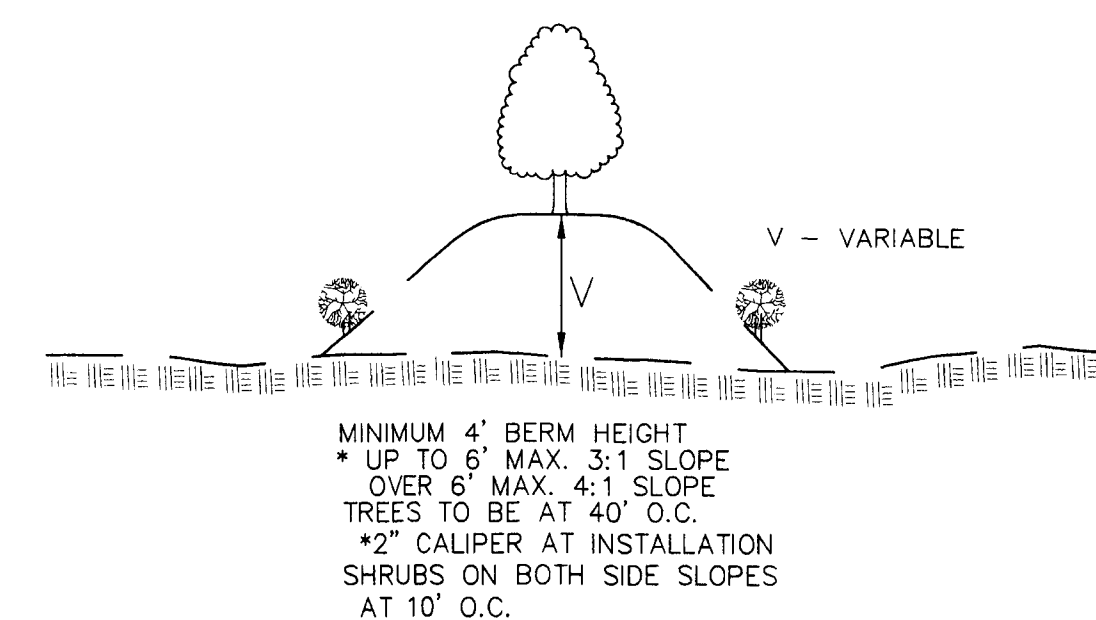
**GENERAL NOTES:**

1. SURVEY PROVIDED BY YARBOROUGH AND WILLIAMS.
2. ALL SITE CONSTRUCTION TO BE IN ACCORDANCE WITH CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS (CMLD STDS.)
3. ALL "STD." NUMBERS REFER TO THE CHARLOTTE/ MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL.
4. SITE ENGINEERING DRAWINGS SHOWING COMPLIANCE WITH SITE ENGINEERING REQUIREMENTS OF THE SUBDIVISION ORDINANCE SHALL BE APPROVED BY THE CITY ENGINEERING STAFF AS PART OF THE BUILDING PERMIT PROCESS.
5. FINAL DETAILED LANDSCAPE PLANS SHOWING COMPLIANCE WITH THE ZONING ORDINANCE SHALL BE SUBMITTED FOR APPROVAL AS PART OF THE BUILDING PERMIT PROCESS.
6. ALL PARKING AREAS TO BE SCREENED PER SECTION 12.303 OF THE ZONING ORDINANCE.
7. IN THE CASE THAT A 400 SQ. FT. PRIVATE OPEN SPACE EXTENDS INTO BUFFERS 100' + 1 BUILDING RESTRICTION ELEVATIONS

TRIB. #1		TRIB. #2		TRIB. #3	
X-SECTION	ELEVATION	X-SECTION	ELEVATION	X-SECTION	ELEVATION
1	739.37	1	741.37	1	750.40
2	739.54	2	741.78	2	750.57
3	739.97	3	741.85	3	752.94
4	740.65	4	742.43	4	754.33
5	741.5	5	741.98	5	756.90
6	741.37	6	742.42		
7	741.78	7	742.53		
8	741.88	8	742.27		
9	742.43	9	742.54		

**SIGN LEGEND**

- A STOP (R-1, 30" x 30")
- ALL SIGNS TO BE M.U.T.C.D. STD.
- ALL SIGNS TO BE INSTALLED BY OWNER / CONTRACTOR.



ILLUSTRATIVE BERM CROSS SECTION

MINIMUM 4' BERM HEIGHT  
 \* UP TO 6' MAX. 3:1 SLOPE  
 OVER 6' MAX. 4:1 SLOPE  
 TREES TO BE AT 40' O.C.  
 \*2" CALIPER AT INSTALLATION  
 SHRUBS ON BOTH SIDE SLOPES  
 AT 10' O.C.

MECKLENBURG COUNTY GREENWAY  
 EASEMENT AND MINIMUM 50'  
 PROJECT ZONING BUFFER SHALL  
 BE RECORDED PRIOR TO THE  
 ISSUANCE OF ANY BUILDING PERMITS.

CLARKS CREEK TRIBUTARY #1  
 FEMA FLOOD ZONE A  
 STUDY WILL BE REQUIRED

PATIOS MAY NOT ENCRoACH  
 IN THE BUFFERS

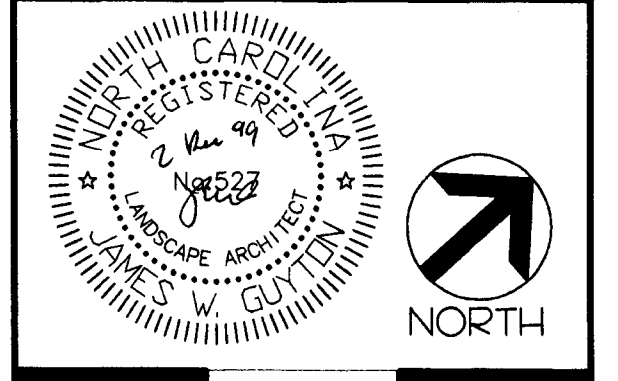
**LINE TABLE**

LINE	DIRECTION	DISTANCE
L1	S83°58'43"E	18.74'
L2	S75°23'38"E	59.45'
L3	N82°01'35"E	67.98'
L4	N89°13'07"E	17.40'
L5	N72°09'32"E	28.33'
L6	S63°37'04"E	20.20'
L7	S70°28'39"E	23.59'
L8	N59°45'48"E	12.77'
L9	S95°37'58"E	82.89'
L10	S74°34'55"E	70.33'
L11	S55°24'28"E	44.01'
L12	S00°33'27"E	24.88'
L13	S40°52'06"W	15.10'
L14	S09°02'11"E	37.38'
L15	S14°17'21"E	24.78'

**DESIGN RESOURCE GROUP, PA**

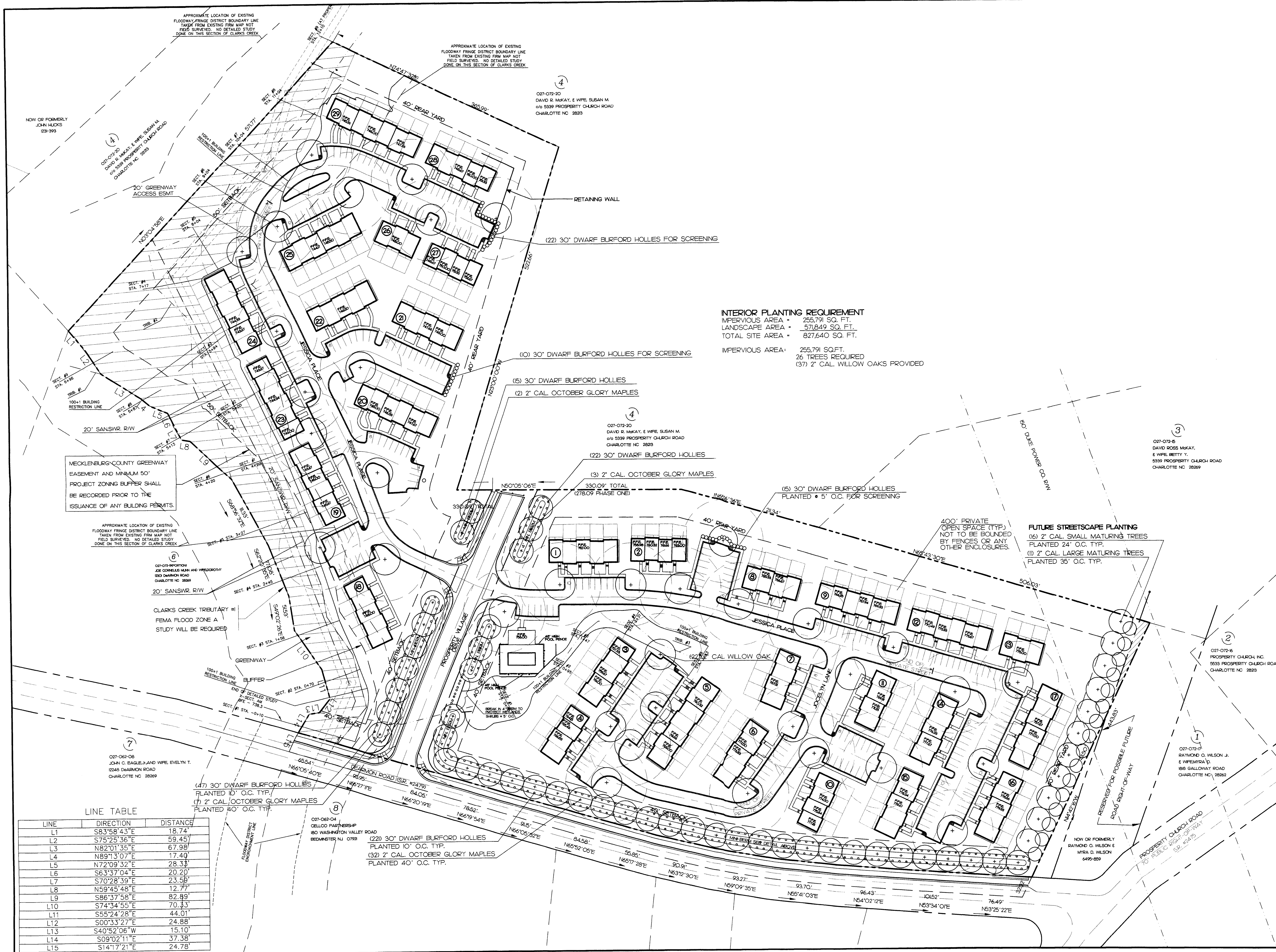
Landscape Architecture • Land Planning  
 500 East Boulevard  
 Suite 102  
 Charlotte, NC 28203  
 Ph.: (704) 343-0608  
 Fax: (704) 343-9380

**SITE PLAN**



Scale: 1" = 60'  
 Date: 7 MAY 1998  
 Revisions:  
 1) 29 JUNE 1998  
 2) 14 JULY 1998  
 3) 17 JULY 1998  
 4) 31 JULY 1998  
 5) 25 AUGUST 1998  
 6) 15 SEPTEMBER 1998  
 7) 5 NOV 98 REMOVE BUFFER  
 8) 2 DEC. 99 REMOVED FAR EASTERN BUFFER  
 Sheet **L3** of

DATED: *December 15, 1999*  
 BY: MARTIN R. CRAWFORD, JR.  
*97-39(c)*



**INTERIOR PLANTING REQUIREMENT**  
 IMPERVIOUS AREA = 255,791 SQ. FT.  
 LANDSCAPE AREA = 571,849 SQ. FT.  
 TOTAL SITE AREA = 827,640 SQ. FT.

IMPERVIOUS AREA: 255,791 SQ. FT.  
 26 TREES REQUIRED  
 (37) 2" CAL. WILLOW OAKS PROVIDED

MECKLENBURG COUNTY GREENWAY  
 EASEMENT AND MINIMUM 50'  
 PROJECT ZONING BUFFER SHALL  
 BE RECORDED PRIOR TO THE  
 ISSUANCE OF ANY BUILDING PERMITS.

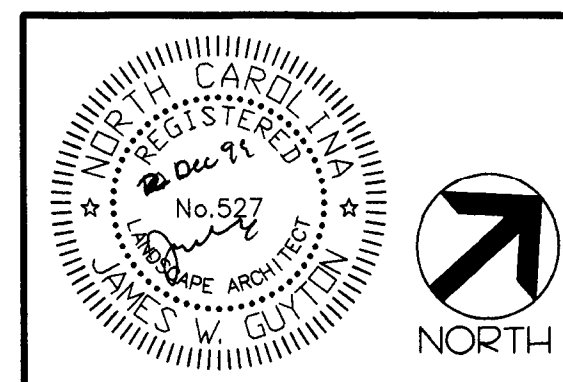
LINE TABLE

LINE	DIRECTION	DISTANCE
L1	S83°58'43"E	18.74'
L2	S75°25'36"E	59.45'
L3	N82°01'35"E	67.98'
L4	N89°13'07"E	17.40'
L5	N72°09'32"E	28.33'
L6	S63°37'04"E	20.20'
L7	S70°28'39"E	23.58'
L8	N59°45'48"E	12.77'
L9	S86°37'58"E	82.89'
L10	S74°34'55"E	70.33'
L11	S55°24'28"E	44.01'
L12	S00°33'27"E	24.88'
L13	S40°52'06"W	15.10'
L14	S09°02'11"E	37.38'
L15	S14°17'21"E	24.78'

**PROSPERITY VILLAGE**  
 MALLERD CREEK TOWNSHIP, NORTH CAROLINA  
 A 146 UNIT MULTI-FAMILY COMMUNITY DEVELOPED BY:  
**THE MCALPINE CO., INC.**  
 CHARLOTTE, NC  
 (704) 362-2400 (704) 361-3738

**DESIGN RESOURCE GROUP, PA**  
 Landscape Architecture • Civil Engineering  
 Land Planning  
 500 East Boulevard  
 Suite 102  
 Charlotte, NC 28203  
 Ph.: (704) 343-0608  
 Fax: (704) 358-3093

**REQUIRED PLANTING PLAN**



Scale: 1" = 60'  
 Date: 7 MAY 1998

Revisions:  
 1) 29 JUNE 1998  
 2) 14 JULY 1998  
 3) 24 AUGUST 1998  
 4) 5 NOV 98 REMOVE  
 BUFFER  
 5) 2 DEC. 99 FAR EASTERN BUFFER  
 REMOVED

# PROSPERITY VILLAGE

## PHASE 2

MALLARD CREEK TOWNSHIP, NORTH CAROLINA  
A 151 UNIT MULTI-FAMILY HOUSING COMMUNITY

DEVELOPED BY  
**THE MCALPINE CO., INC.**  
CHARLOTTE, NORTH CAROLINA  
704.362.2400 704.361.3758

PROSPERITY VILLAGE PHASE 2

MALLARD CREEK TOWNSHIP, NORTH CAROLINA

A 151 UNIT MULTI-FAMILY HOUSING COMMUNITY

DEVELOPED BY

THE MCALPINE CO., INC.

CHARLOTTE, NORTH CAROLINA  
704.362.2400

GENERAL NOTES  
THE MCALPINE CO., INC.  
DEARMON ROAD

### REZONING PETITION 97-39(C)

- The intent of this rezoning is to provide an opportunity to develop a for-sale attached townhomes at a density and arrangement which is compatible with the Northeast District Plan concept for this area. The property contained within the urban village area which is proposed around the interchange of Prosperity Church Road and the Outerbelt.
- This parcel is proposed for attached townhouse development, two-story townhomes, possibly 3 story with garage and the units will be for-sale with appropriate condominium documents adopted and recorded. The plan shown indicates a concept of development which may be altered based on final design criteria but in no event shall development extend beyond the building envelope described on the plan.
- The Class C buffer area shown on the northerly and easterly boundary of the townhome area will be undisturbed, except for any necessary utility crossings, with any such crossings being limited to an angle not less than 75 degrees. Existing vegetation will be maintained and supplementary plantings will be made as necessary to meet the requirements of Section 12.302 of the Mecklenburg County Zoning Ordinance. If necessary, retaining walls will be constructed along the inner-edge of the buffer areas to ensure that buffers will remain undisturbed. No patios shall be allowed in the buffer areas.
- Development of this property shall meet the screening requirements of Section 12.303 of the Zoning Ordinance. Any required storm water detention facilities will not be placed in either the buffer or setback areas. Such detention shall be designed to meet the requirements of the Mecklenburg County Storm Water standards.
- Signage shall be permitted in accordance with the requirements of the Mecklenburg County Zoning Ordinance.
- The setback area along Dearmon Road will be improved with the combination of berms and plantings to create a pleasing landscape impact.
- Parking and internal parking lot landscaping will meet section 12.201 and 12.208 of the County Zoning Regulations.
- 30 feet of Right-of-way along Dearmon Road will be dedicated prior to the issuance of building permits.
- Screening will be provided as per section 12.303 of the County zoning regulations with gates.
- All dumpsters will be screened with a solid wooden or masonry enclosure with gates.
- The following agencies must be contacted regarding flood plain and water quality permits:  
401/404 Permit NCDEHNR-Raleigh office (919)733-1786  
Wetlands Permit U.S. Army Corps of Engineers (704)271-4854
- Buildings will be located or retaining walls installed to ensure that buffer will remain undisturbed.
- In the event the adjacent property or properties are rezoned to "MF" classifications, buffers may be adjusted or eliminated.
- The developer reserves the right to reduce any buffer width in accordance with Mecklenburg County Zoning Ordinance Section 12.302.

### CONSTRUCTION SEQUENCE

- RECEIVE PLAN APPROVAL FROM THE MECKLENBURG COUNTY ENGINEERING DEPARTMENT.
- REQUEST PRE-CONSTRUCTION CONFERENCE WITH MECKLENBURG COUNTY ENGINEERING INSPECTOR, WILSON DRUMHEATY (M) 575-2085.
- ALL UNDISTURBED BUFFERS WILL BE STAKED AND FLAGGED PRIOR TO COMMENCEMENT OF GRADING.
- CONTRACTOR SHALL INSTALL TEMPORARY SEDIMENT BASINS, DIVERSION DITCHES, SILT FENCE, AND OTHER EROSION CONTROL MEASURES.
- SET UP PRE-CONSTRUCTION REVIEW WITH COUNTY ENGINEERING INSPECTOR TO REVIEW EROSION CONTROL DEVICES INSTALLED.
- GRADING PERMIT ISSUED BY MECKLENBURG COUNTY ENGINEERING INSPECTOR.
- CONTRACTOR MAY BEGIN GRADING AND INSTALLING UTILITIES.
- CONTRACTOR SHALL REMOVE SEDIMENT WHEN BASIN IS HALF FULL. SILT FENCE SHALL BE KEPT ERRECTED AT ALL TIMES AND SEDIMENT REMOVED FROM BEHIND FENCE AFTER EACH RAINFALL, AS NEEDED.
- CONTRACTOR SHALL TEMPORARY SEED PHASE II AFTER THE GRADING IS COMPLETED.
- REMOVE ALL EROSION CONTROL DEVICES WITH INSPECTOR APPROVAL.
- FINAL INSPECTION BY MECKLENBURG COUNTY.

### CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STRUCTURE CHART

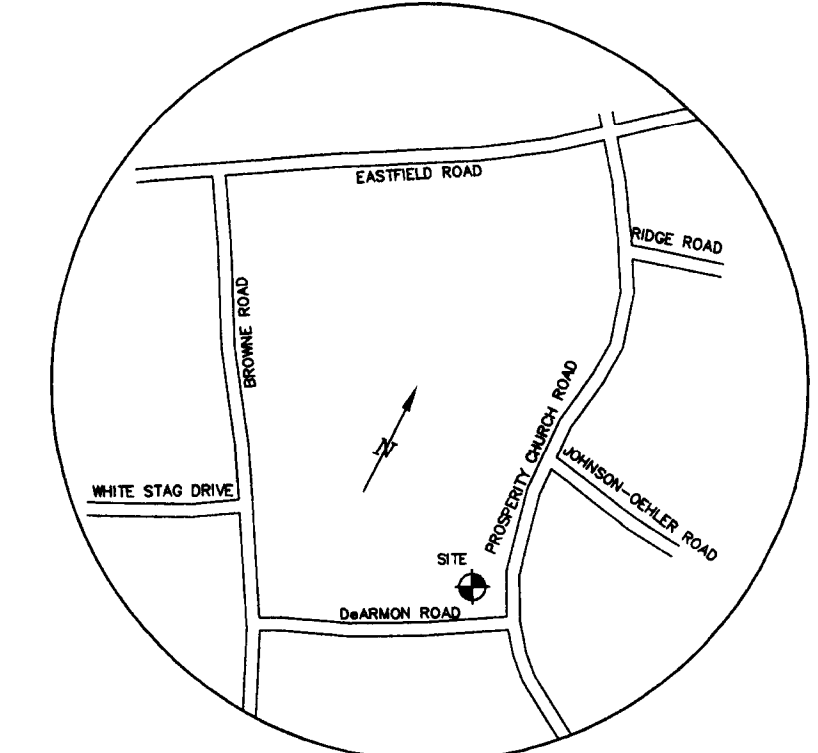
- 20.01 BRICK CATCH BASIN - 15" THRU 54" PIPE
- 20.02 FRAME, GRATE AND HOOD
- 20.03 BRICK DOUBLE CATCH BASIN - 15" THRU 24" PIPE
- 20.04 BRICK DOUBLE CATCH BASIN - 30" THRU 36" PIPE
- 20.09 BLOCK MAN-HOLE - 15" THRU 36" PIPE
- 20.10 MAN-HOLE FRAME AND COVER
- 20.13 BRICK DROP INLET
- 20.14 FRAME AND GRATE FOR DROP INLET
- 20.17 CONCRETE WINGWALL WITH SPLASH PAD
- 20.23 RIP RAP APRON AT PIPE OUTLETS

### SCHEDULE OF DRAWINGS

- L1 COVER SHEET
- L2 EXISTING CONDITIONS
- L3 SITE PLAN
- L4 GRADING PLAN
- L5 GRADING PLAN
- L6 EXISTING PROSPERITY VILLAGE DRIVE PLAN & PROFILE
- L7 JESSICA PLACE PROFILE (PHASE 2)
- L8 REQUIRED PLANTING PLAN
- L9 SITE DETAILS
- C1 STORM DRAINAGE & EROSION CONTROL
- C2 SANITARY SEWER & WATER SYSTEM
- C3 SANITARY SEWER PROFILES
- C4 DETAIL SHEET

### SITE DATA

TOTAL AREA: 19.0 ACRES  
18.64 ACRES NET OF DEARMON ROAD RIGHT-OF-WAY  
EXISTING ZONING: S-B MF (C)  
PROPOSED UNITS: 151 FOR SALE TOWNHOMES MAXIMUM  
TAX PARCEL #: 027-07-218  
DENSITY: 8.0 DUA  
AREA OF PROSPERITY VILLAGE ROAD: .64 AC.  
PARKING REQUIRED: 227 \* 15 PER UNIT  
PARKING PROVIDED: 313 REGULAR SPACES  
HANDICAP SPACE: 314 TOTAL SPACES  
BUILDING HEIGHT: 40' MAX WITH A 15' MINIMUM BUILDING SEPARATION  
OPEN SPACE REQUIRED: 50% \* 9.5 ACRES  
OPEN SPACE PROVIDED: 13.5 ACRES \* 71%  
PRIVATE OPEN SPACE REQUIRED: 400 SQ. FT. PER UNIT  
PRIVATE OPEN SPACE PROVIDED: 400 SQ. FT. PER UNIT  
SANITATION SERVICE: PRIVATE ROLL OUT PAID FOR BY THE DEVELOPER AND OR THE HOME OWNERS ASSOCIATION  
THE CITY OF CHARLOTTE WILL NOT PROVIDE ROLL OUT GARBAGE COLLECTION.



VICINITY MAP (N.T.S.)

### GENERAL NOTES

- ALL CONSTRUCTION TO CONFORM TO CHARLOTTE / MECKLENBURG LAND DEVELOPMENT STANDARDS.
- SITE ENGINEERING DRAWINGS SHOWING COMPLIANCE WITH THE SITE ENGINEERING REQUIREMENTS OF THE SUBDIVISION ORDINANCE SHALL BE APPROVED BY THE COUNTY ENGINEERING STAFF AS PART OF THE BUILDING PERMIT PROCESS.
- FINAL DETAILED LANDSCAPE PLAN SHOWING COMPLIANCE WITH THE ZONING ORDINANCE SHALL BE SUBMITTED FOR APPROVAL AS PART OF THE BUILDING PERMIT PROCESS.
- FIRE HYDRANT LOCATION SHALL BE REVIEWED AND APPROVED BY THE COUNTY FIRE MARSHALL DURING THE BUILDING PERMIT PROCESS.
- ALL STD. NUMBERS REFER TO THE CHARLOTTE/MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL.
- ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
- ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- GRADING MORE THAN ONE ACRE WITHOUT A PERMIT IS A VIOLATION OF COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDED AREAS AND ESPECIALLY WASHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE SHOWN ON THE PLAN. ALL GRADED SLOPES MUST BE SEEDED AND MULCHED WITHIN 30 DAYS OF COMPLETION OF GRADING. ALL REMAINING AREAS ARE TO BE SEEDED AND MULCHED WITHIN 120 DAYS.
- ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE COUNTY ENGINEERING DEPARTMENT.
- SLOPES SHALL BE GRADED NO STEEPER THAN 2:1.
- ANY CONSTRUCTION OR USE WITHIN THE AREAS DELINEATED AS FLOODWAY DISTRICT FRINGE BOUNDARY LINE OR FLOODWAY DISTRICT ENCROACHMENT BOUNDARY LINE IS TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
- THE MECKLENBURG COUNTY ENGINEERING DEPARTMENT HAS NOT REVIEWED THE STRUCTURAL STABILITY OF ANY RETAINING WALLS ON THE SITE AND DOES NOT ASSUME RESPONSIBILITY FOR THEM.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM MUST BE SUBMITTED FOR THE COLLECTOR ROAD PRIOR TO SUBDIVISION FINAL INSPECTION TO THE COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH COUNTY SUBDIVISION ORDINANCE.
- PERMANENT STORM DRAINAGE EASEMENTS WILL BE MAINTAINED BY COUNTY UPON REQUEST. THE COUNTY WILL ACCEPT ROP SYSTEMS ONLY. THE EASEMENT MUST ADJOIN THE RIGHT-OF-WAY AND HAVE A RECORDED METES AND BOUNDS DESCRIPTION.
- PUBLIC STORM DRAINAGE EASEMENTS ARE TO BE MAINTAINED BY THE INDIVIDUAL PROPERTY OWNER.
- NON-STANDARD ITEMS (IE. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE AN ENCROACHMENT AGREEMENT WITH NCOT BEFORE INSTALLATION.
- ANY BUILDING WITHIN THE 100' BUILDING RESTRICTION FLOODLINE IS SUBJECT TO THE RESTRICTIONS OF CITY OF CHARLOTTE / MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.B.



ATTACHED TO ADMINISTRATIVE

DATED: July 21, 2000  
BY: MARTIN R. CRAMTON, JR.

97-39c

**DISCLAIMER:**  
NEITHER MECKLENBURG COUNTY NOR ITS EMPLOYEES ASSUME ANY LIABILITY FOR INJURES OR DAMAGES ARISING OUT OF, OR IN ANY WAY CONNECTED WITH, THE DESIGN, CONSTRUCTION OR USE OF THE RETAINING WALLS DESCRIBED IN THESE PLANS AND SPECIFICATIONS. NEITHER MECKLENBURG COUNTY NOR ITS EMPLOYEES ARE RESPONSIBLE FOR THE DESIGN OR STRUCTURAL CAPABILITY OF THE RETAINING WALLS DESCRIBED HEREIN.

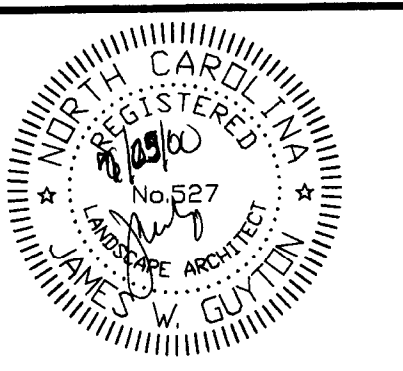
### Resource Group

1230 West Morehead Street, Suite 214  
Charlotte, NC 28208  
704.343.0608 fax 704.358.3093  
www.drgp.com

- Landscape Architecture
- Urban Design
- Civil Engineering
- Land Planning

DRG

COVER SHEET



Scale:  
Date: 5 JULY 2000  
Revisions:

Sheet LI of

### CHARLOTTE - MECKLENBURG PLANNING COMMISSION

#### INTER - OFFICE COMMUNICATION

DATE: July 21, 2000

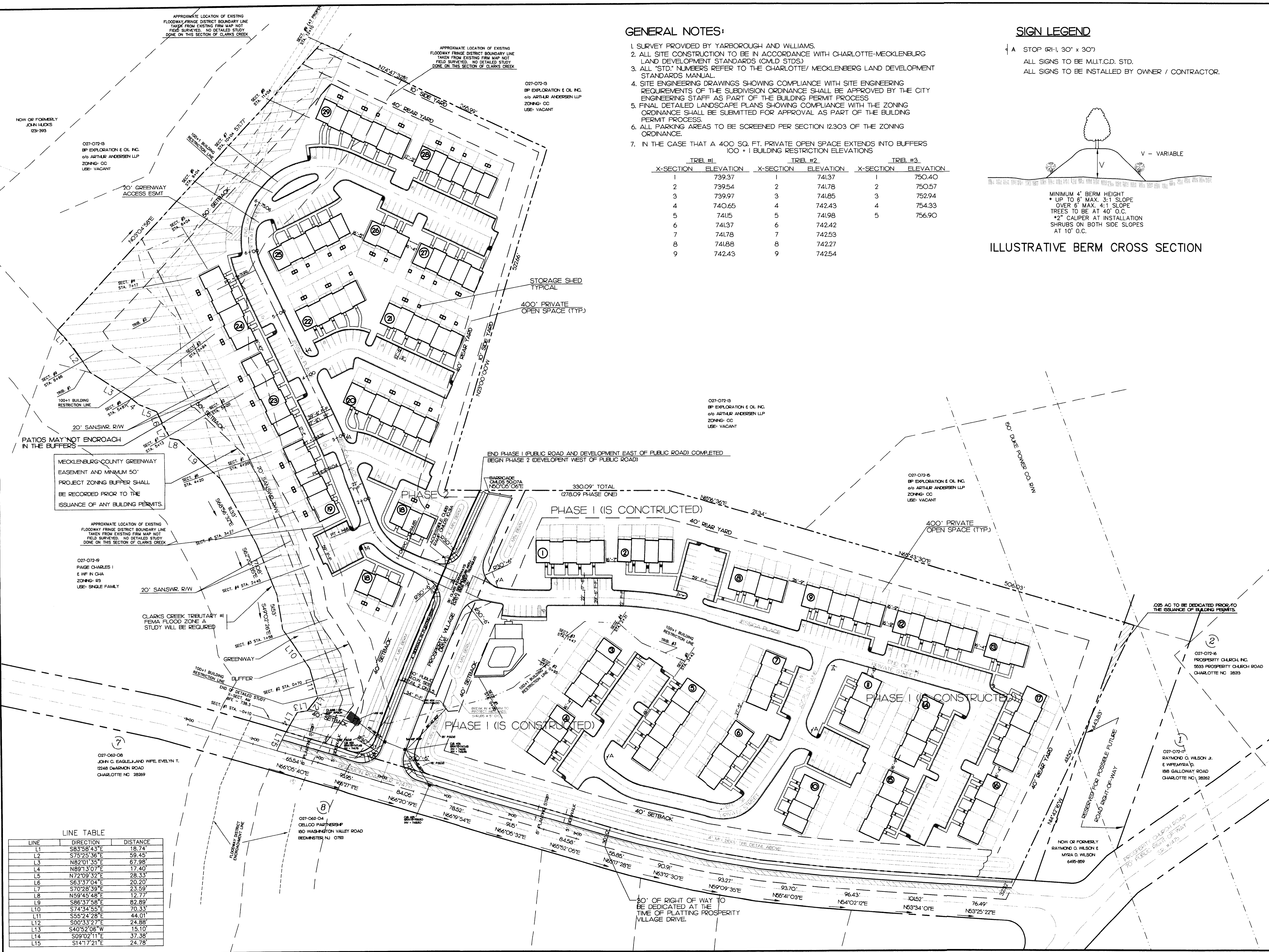
TO: Robert Brandon  
Zoning Administrator

FROM: Martin R. Cramton, Jr.  
Planning Director

SUBJECT: Administrative Approval for Petition No. 97-39(c), Pearson McAlpine Land Corporation.

Attached is a revised site plan for the aforementioned conditional rezoning indicating an increase in the total number of units from 146 to 151, per Section 6.206(2) of the City code. This plan does not reflect approval of the site layout, which will be approved through the multi-family review process. Since this change is minor, I am administratively approving this modification. Please use this revised plan when evaluating requests for building permits and certificates of occupancy.





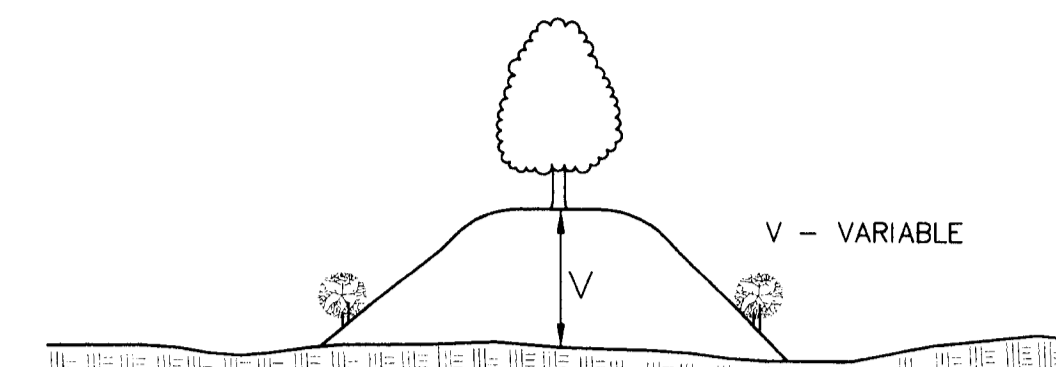
**GENERAL NOTES:**

1. SURVEY PROVIDED BY YARBOROUGH AND WILLIAMS.
2. ALL SITE CONSTRUCTION TO BE IN ACCORDANCE WITH CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS (CMLD STDS.)
3. ALL "STD." NUMBERS REFER TO THE CHARLOTTE/MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL.
4. SITE ENGINEERING DRAWINGS SHOWING COMPLIANCE WITH SITE ENGINEERING REQUIREMENTS OF THE SUBDIVISION ORDINANCE SHALL BE APPROVED BY THE CITY ENGINEERING STAFF AS PART OF THE BUILDING PERMIT PROCESS.
5. FINAL DETAILED LANDSCAPE PLANS SHOWING COMPLIANCE WITH THE ZONING ORDINANCE SHALL BE SUBMITTED FOR APPROVAL AS PART OF THE BUILDING PERMIT PROCESS.
6. ALL PARKING AREAS TO BE SCREENED PER SECTION 12.303 OF THE ZONING ORDINANCE.
7. IN THE CASE THAT A 400 SQ. FT. PRIVATE OPEN SPACE EXTENDS INTO BUFFERS 100' + 1 BUILDING RESTRICTION ELEVATIONS

TRIB. #1		TRIB. #2		TRIB. #3	
X-SECTION	ELEVATION	X-SECTION	ELEVATION	X-SECTION	ELEVATION
1	739.37	1	741.37	1	750.40
2	739.54	2	741.78	2	750.57
3	739.97	3	741.85	3	752.94
4	740.65	4	742.43	4	754.33
5	741.15	5	741.98	5	756.90
6	741.37	6	742.42		
7	741.78	7	742.53		
8	741.88	8	742.27		
9	742.43	9	742.54		

**SIGN LEGEND**

- STOP (R-1, 30" x 30")
- ALL SIGNS TO BE M.U.T.C.D. STD.
- ALL SIGNS TO BE INSTALLED BY OWNER / CONTRACTOR.



ILLUSTRATIVE BERM CROSS SECTION

027-072-18  
BP EXPLORATION & OIL INC.  
c/o ARTHUR ANDERSEN LLP  
ZONING: CC  
USE: VACANT

027-072-18  
BP EXPLORATION & OIL INC.  
c/o ARTHUR ANDERSEN LLP  
ZONING: CC  
USE: VACANT

027-072-18  
BP EXPLORATION & OIL INC.  
c/o ARTHUR ANDERSEN LLP  
ZONING: CC  
USE: VACANT

027-072-18  
BP EXPLORATION & OIL INC.  
c/o ARTHUR ANDERSEN LLP  
ZONING: CC  
USE: VACANT

027-072-16  
PROSPERITY CHURCH, INC.  
5533 PROSPERITY CHURCH ROAD  
CHARLOTTE NC 28225

027-072-17  
RAYMOND O. WILSON, J.  
& WIFE MARRA P.  
188 GALLOWAY ROAD  
CHARLOTTE NC 28262

027-062-04  
CELICO PARTNERSHIP  
180 WASHINGTON VALLEY ROAD  
BEDMINSTER NJ 07911

**LINE TABLE**

LINE	DIRECTION	DISTANCE
L1	S83°58'43"E	18.74
L2	S75°25'36"E	59.45
L3	N85°20'13"E	67.98
L4	N89°13'07"E	17.40
L5	N72°09'32"E	28.33
L6	S63°37'04"E	20.20
L7	S70°28'39"E	23.58
L8	N59°45'48"E	12.77
L9	S86°37'58"E	82.89
L10	S74°34'55"E	70.33
L11	S55°24'28"E	44.01
L12	S00°33'27"E	24.88
L13	S40°52'06"W	15.10
L14	S09°02'11"E	37.38
L15	S14°17'21"E	24.78

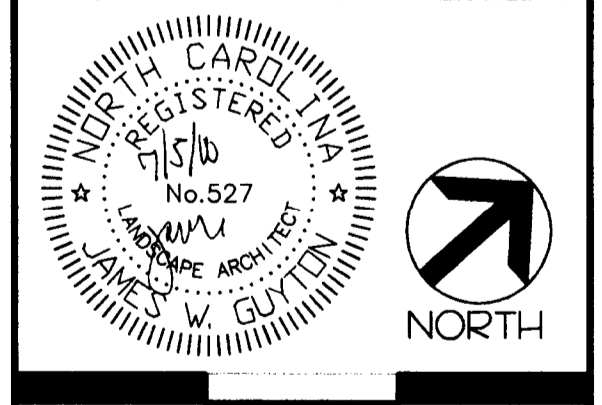
**PROSPERITY VILLAGE PHASE 2**  
MALLERD CREEK TOWNSHIP, NORTH CAROLINA  
A 151 UNIT MULTI-FAMILY COMMUNITY DEVELOPED BY:  
**THE MCALPINE CO., INC.**  
CHARLOTTE, NC  
(704) 362-9400 (704) 361-3788

**Design Resource Group**  
1230 West Morehead Street, Suite 214  
Charlotte, NC 28208  
704.343.0608 fax 704.358.3093  
www.drgp.com

- Landscape Architecture
- Urban Design
- Civil Engineering
- Land Planning

**DRG**

**SITE PLAN**



Scale: 1" = 60'  
Date: 5 JULY 2000  
Revisions: