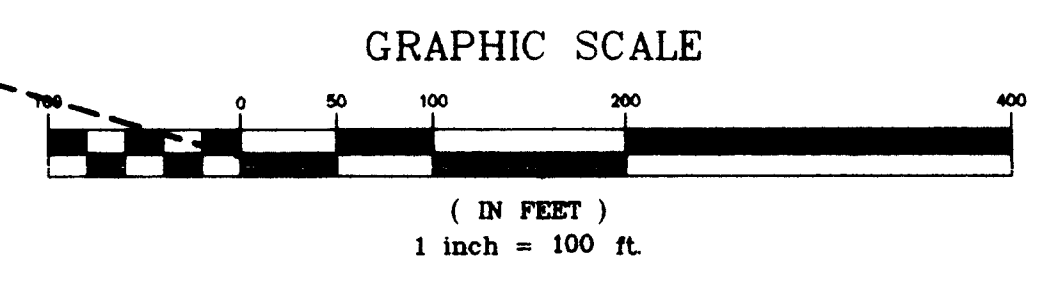


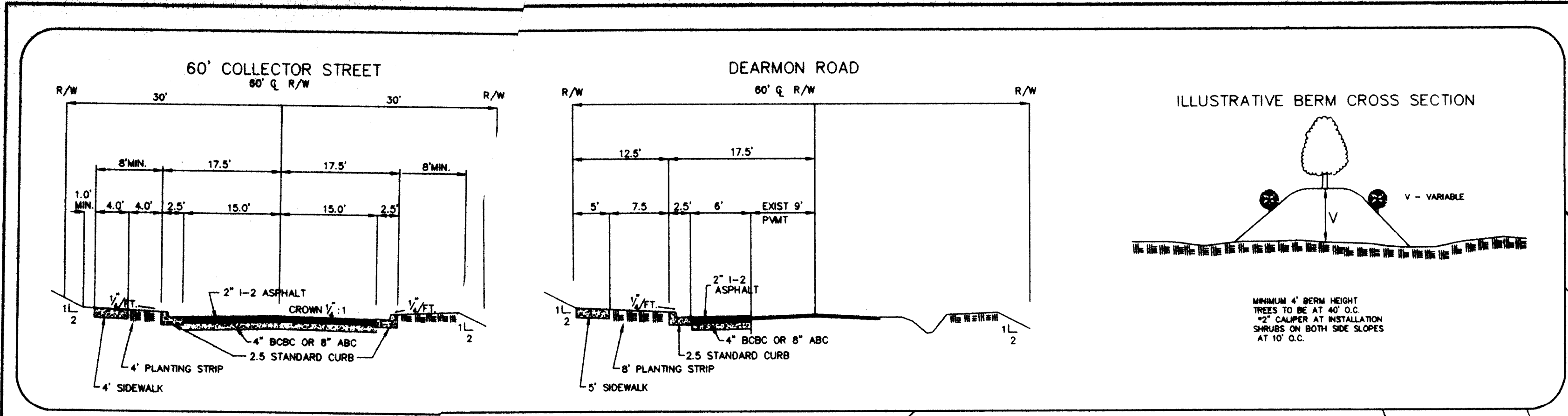
- The intent of this rezoning is to provide an opportunity to develop a for-sale attached townhomes at a density and arrangement which is compatible with the Northeast District Plan concept for this area. The property contained within the urban village area which is proposed around the interchange of Prosperity Church Road and the Outerbelt.
- This parcel is proposed for attached townhouse development, two-story townhomes, possibly 3 story with garage and the units will be for-sale with appropriate condominium documents adopted and recorded. The plan shown indicates a concept of development which may be altered based on final design criteria but in no event shall development extend beyond the building envelope described on the plan.
- The Class C buffer area shown on the northerly and easterly boundary of the townhome area will be undisturbed, except for any necessary utility crossings, with any such crossings being limited to an angle not less than 75 degrees. Existing vegetation will be maintained and supplementary plantings will be made as necessary to meet the requirements of Section 12.302 of the Mecklenburg County Zoning Ordinance. If necessary, retaining walls will be constructed along the inner-edge of the buffer areas to ensure that buffers will remain undisturbed. No patios shall be allowed in the buffer areas.
- Development of this property shall meet the screening requirements of Section 12.303 of the Zoning Ordinance. Any required storm water detention facilities will not be placed in either the buffer or setback areas. Such detention shall be designed to meet the requirements of the Mecklenburg County Storm Water standards.
- Signage shall be permitted in accordance with the requirements of the Mecklenburg County Zoning Ordinance.
- The setback area along Dearmon Road will be improved with the combination of berms and plantings to create a pleasing landscape impact.
- Parking and internal parking lot landscaping will meet section 12.201 and 12.208 of the County Zoning Regulations.
- 30 feet of Right-of-way along Dearmon Road will be dedicated prior to the issuance of building permits.
- Screening will be provided as per section 12.303 of the County zoning regulations.
- All dumpsters will be screened with a solid wooden or masonry enclosure with gates.
- The following agencies must be contacted regarding floodplain and water quality permits:
401/404 Permit NCDENR-Raleigh office (919)733-1786
Wetlands Permit U.S. Army Corps of Engineers (704)271-4854
- Buildings will be located or retaining walls installed to ensure that buffer will remain undisturbed.
- In the event the adjacent property or properties are rezoned to "MF" classifications, buffers may be adjusted or eliminated.
- The developer reserves the right to reduce any buffer width in accordance with Mecklenburg County Zoning Ordinance Section 12.302.

SITE DATA
 SITE SIZE: 19.6 ACRES
 EXISTING ZONING: R-3
 PROPOSED ZONING: R-BMF(CD)
 PROPOSED USE:
 R-BMF(CD) 19.6 ACRES OR 19.0 ACRES NET OF DEARMON ROAD R/W
 146 UNITS (7.45 D.U.A.) OR (7.68 D.U.A. NET OF DEARMON ROAD R/W)
MULTI-FAMILY PARKING SCHEDULE
 146 UNITS
 1.5 SPACES REQUIRED PER UNIT
 218 PARKING SPACES REQUIRED
 302 PARKING SPACES PROVIDED



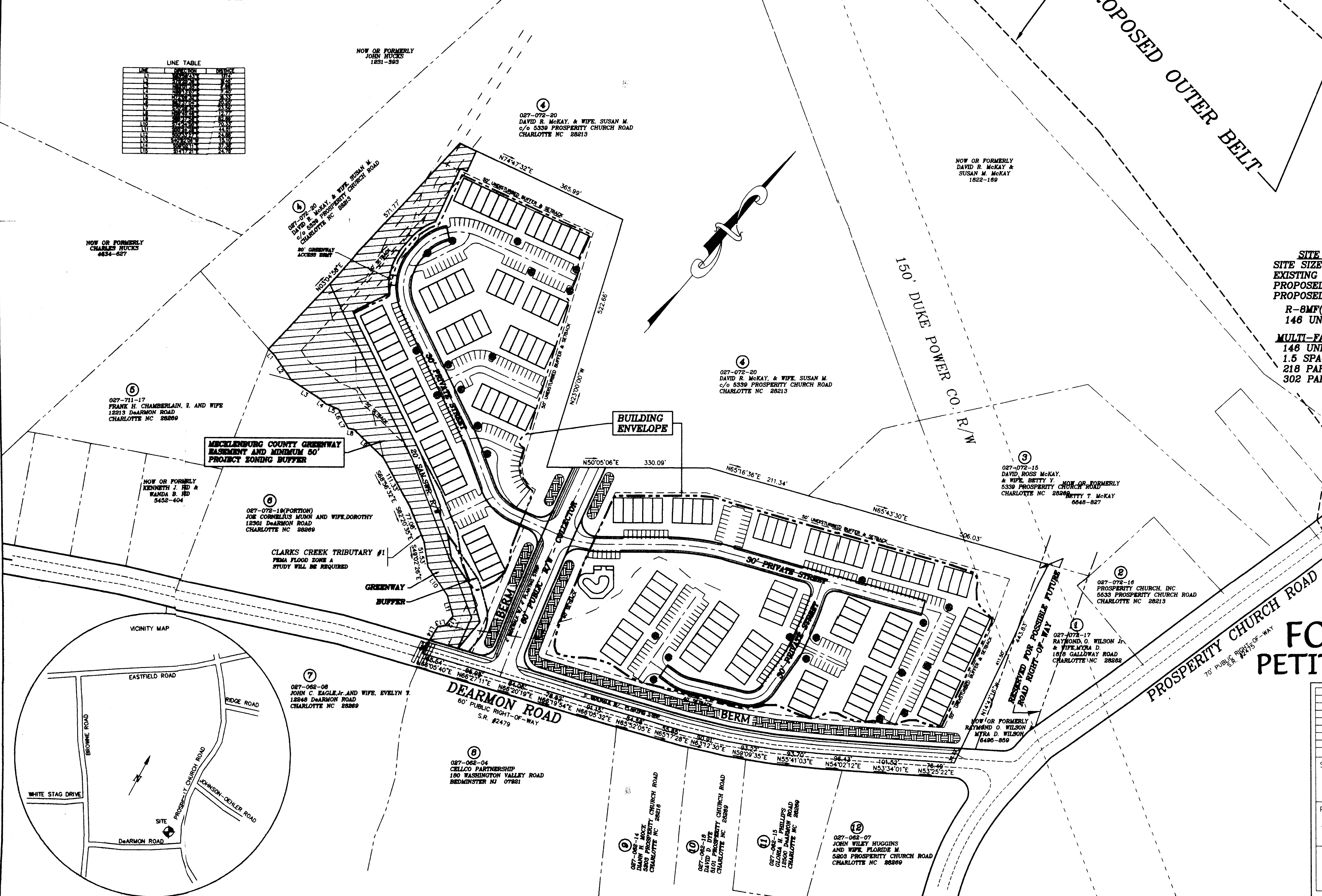
FOR PUBLIC HEARING PETITION # 97-39(c)REVISED

NO.	DATE	REVISION	BY
2	11/05/97	REVISED INFORMATION	BTG
1	10/15/97	PLANNING COMMISSION CHANGES	BTG
		REVISION	BY
SHEET TITLE			PROJECT NO.
APPROVED BY COUNTY COMMISSIONER			SCALE
REZONING PLAN DATE 12/9/97			1" = 100'
PROJECT			DATE
DEARMON ROAD PROPERTY			9-16-97
MALLARD CREEK TWP., MECK. CO., NC			DRAWN BY
FOR: PEARSON-MCALPINE CORP.			BTG
YARBROUGH - WILLIAMS & ASSOCIATES, INC.			CHECKED BY
PLANNING • SURVEYING • ENGINEERING			SFW
730 WHISOR OAK COURT CHARLOTTE, NC 28273			DRAWING NO.
(704) 556-1990			93-75
			SHT. OF SHITS



LINE TABLE

LINE	DESCRIPTION
1	1" - 2" ASPHALT
2	4" BCBC OR 8" ABC
3	2.5 STANDARD CURB
4	4" SIDEWALK
5	8' PLANTING STRIP
6	2.5 STANDARD CURB
7	4" BCBC OR 8" ABC
8	1" - 2" ASPHALT



APPROXIMATE LOCATION OF PROPOSED OUTER BELT TAKEN FROM EXISTING MCDOT MAPS STATE PROJECT NO. 8U672205(R-2248) DATED MAY 6, 1994 SHEETS 29-33 AND SUBJECT TO CHANGE

PROPOSED OUTER BELT

150' DUKE POWER CO. R/W

PROSPERITY CHURCH ROAD

DEARMON ROAD

BUILDING ENVELOPE

MECKLENBURG COUNTY GREENWAY BASEMENT AND MINIMUM 50' PROJECT ZONING BUFFER

CLARKS CREEK TRIBUTARY #1 FEMA FLOOD ZONE A STUDY WILL BE REQUIRED

