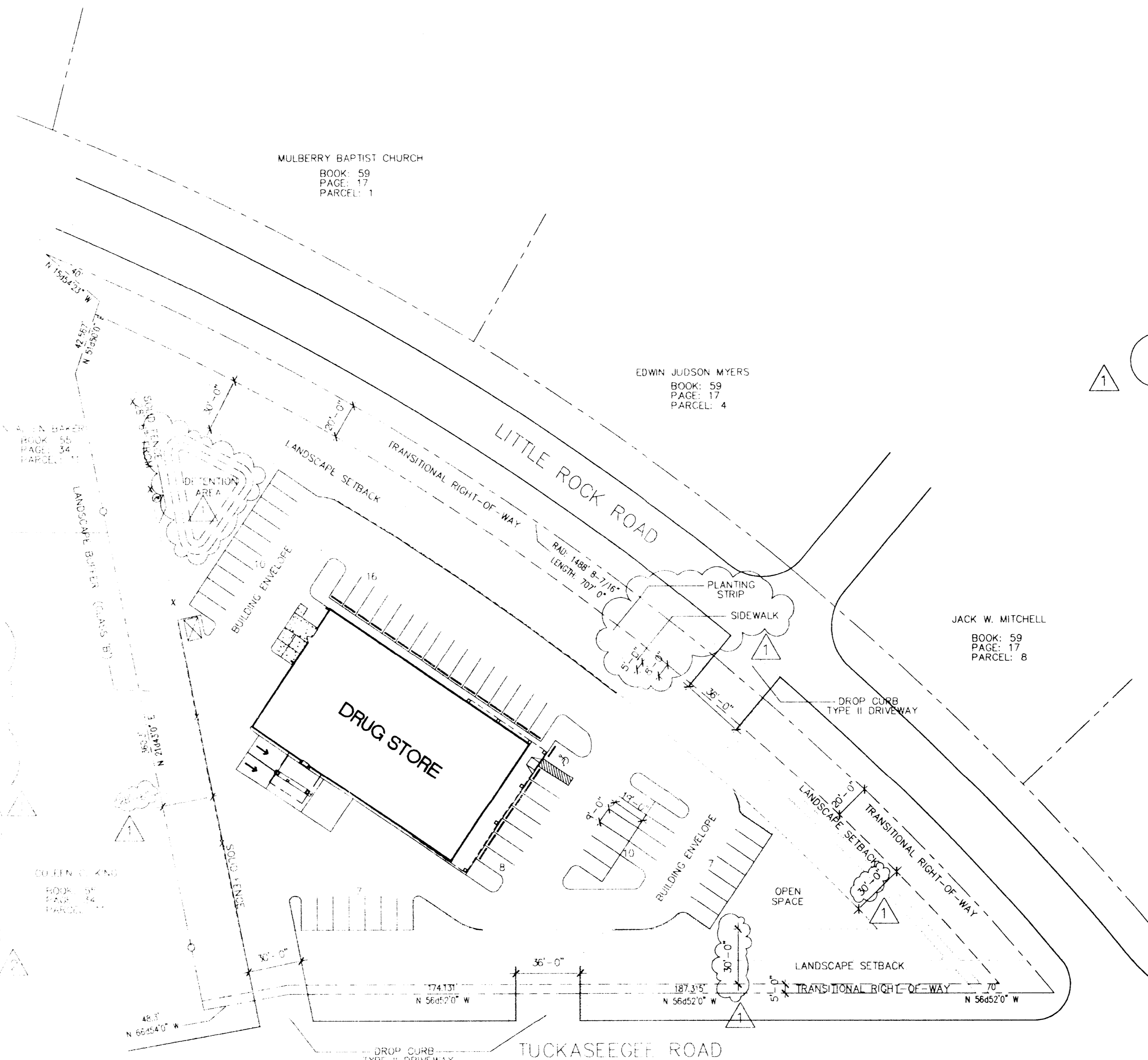


CONDITIONAL NOTES

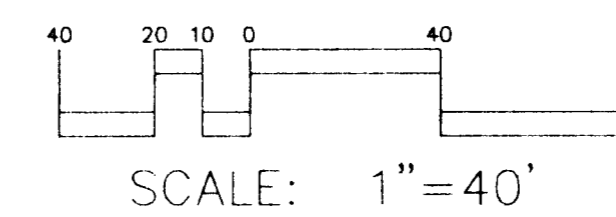
1. The proposed site plan represents a firm concept concerning the overall arrangement of building, parking, and circulation areas. There may be minor adjustments as a matter of right to the layout shown based upon site constraints, tenant needs, etc. However, in no event shall the maximum size of the building increase nor shall setbacks and buffer areas be reduced from that depicted.
2. The proposed use shall be limited to a drug store.
3. The proposed development shall comply with all applicable regulatory standards and requirements pertaining to off-street parking, signage, landscaping/screening, yard dimensions/buffers, storm water management and the Charlotte Tree Ordinance.
4. The number and location of ingress/egress permits shall be limited as shown. The location may vary slightly depending upon final design plans and/or Charlotte Dept. of Transportation requirements.
5. The petitioner shall dedicate twenty (20) feet of property frontage along Little Rock Rd. and five (5) feet along Tuckasegee Rd. for right-of-way measuring fifty (50) feet and thirty-five (35) feet, respectively from the centerline of the streets. The dedication shall occur prior to the issuance of any building permit associated with the development.
6. Storm water retention systems shall not be allowed within any required setbacks or buffers.
7. Curb, gutter, and sidewalk shall be installed as required along Little Rock Road and Tuckasegee Road. The sidewalk shall be separated from the back of the curb by a planting strip measuring a minimum of eight (8) feet.
8. The maximum height of detached lights shall be twenty (20) feet.
9. Any dumpster shall be screened with a solid enclosure with gates.
10. A fire hydrant is required within 150 feet of the building as the truck travels. If such hydrant does not exist, the petitioner shall install a metal one.
11. Security lighting shall be provided. All exterior lighting shall be shielded and/or directed in a manner away from adjoining residential areas not subject to street glare. No such security lighting shall be mounted on the building.
12. Any detached sign shall be allowed on the site and shall conform to the specifications of the two permits. The sign shall be a maximum of 100 square feet with a maximum height of seven (7) feet and fifty (50) square feet in size.
13. The developer will exercise best efforts to own any utility lines that do not conflict with the development of the property.
14. Petitioner shall install appropriate landscaping including seeding (lawns or seeding) in lawn areas, planting trees which are a minimum of 3" in caliper and shrubs which are in 5 gallon minimum containers. The intent is to establish a mature nature landscaping effect at the time of the opening of the drug store.

SITE DATA

SITE : ±2.68 AC.
 EXISTING ZONING : R-3
 PROPOSED ZONING : B-1 ('CD')
 PROPOSED USE : DRUG STORE
 MAX. BLDG. SIZE : 13,900 SF.
 PARKING REQ'D : 56 SPACES
 PARKING PROV'D : 58 SPACES



SITE PLAN



APPROVED BY CITY COUNCIL
 DATE JUNE 16, 1997

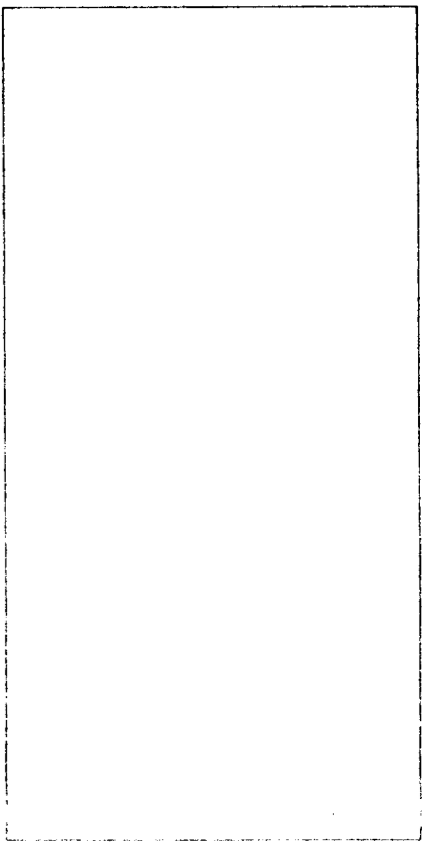
EXHIBIT 'A'
PETITION NO. 97-41
AS FOR PUBLIC HEARING

PETITIONER:
COAB, LLC
 c/o: 447 S. SHARON AMITY
 SUITE 250
 CHARLOTTE, NC 28211



Little & Associates Architects
 5815 Watmark Drive
 Charlotte, NC 28217
 704-525-4358
 704-522-7889 fax

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REZONING SITE PLAN

Project: _____
 Sheet: 1 of 1

V. P. in Charge
VRETTOS
 Project Architect/Job Captain
VRETTOS
 Drawn By
WALKER
 Date Drawn
 2.24.97
 CADD Dwg. Name
 4867/LEEWECK3
 Revisions
 No. 1 Date 4.18.97
 No. 2 Date 6.10.97
 No. _____ Date _____
 Issue Date _____

Project Number
03-4867-00
 Sheet 1 of 1