

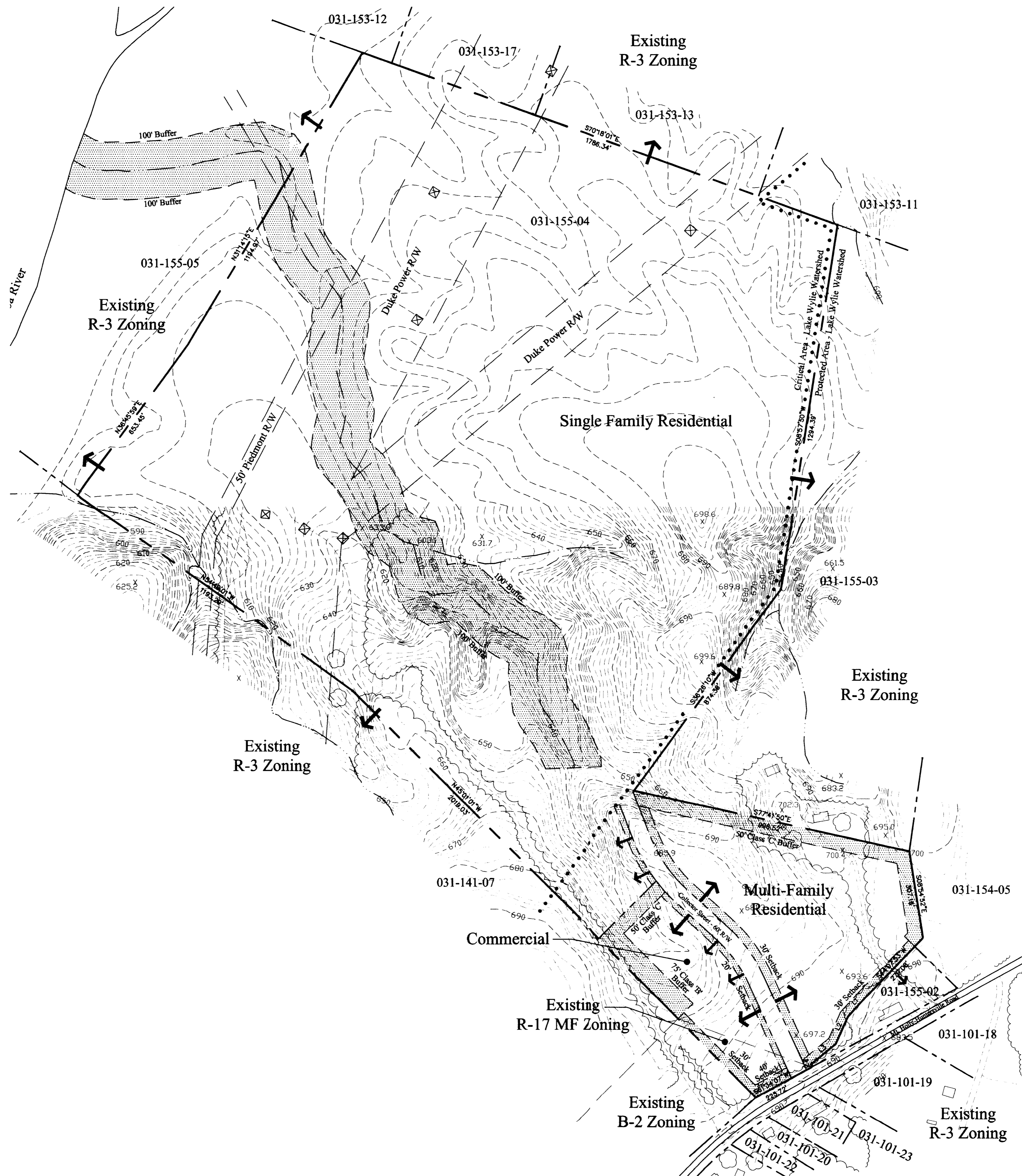
Catawba Plantation

Mecklenburg County, North Carolina

Petitioner: Huntersville Investment L.L.C.

Adjacent Land Owners

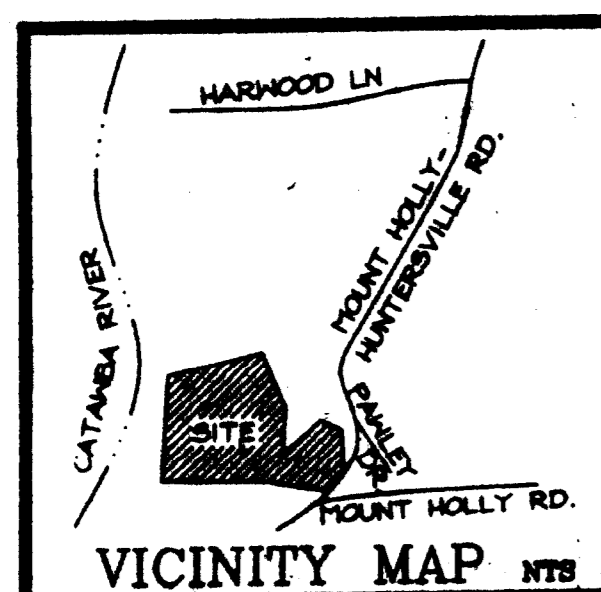
031-101-18 Henderson Belk & (wife) Maria 126 Hidden Pastures Dr. Cramerton, NC 28032	031-153-12 Charlotte Police Club 825 E. 4th. St. Charlotte, NC 28204
031-101-19 Harvey L. Thomas & (wife) Carol 400 Mt. Holly-Huntersville Rd. Charlotte, NC 28214	031-153-13 Gerald Barnes & (wife) Jodie 10325 Beagle Club Rd. Charlotte, NC 28214
103-101-20 Maurice King & Charles King 324 Mt. Holly-Huntersville Rd. Charlotte, NC 28214	031-153-17 Walter Baucom Jr. P.O. Box 26445 Charlotte, NC 28221
103-101-21 Textile Cleaner & Track Service P.O. Box 385 Mount Holly, NC 28120	031-154-05 Henderson Belk & (wife) Maria 126 Hidden Pastures Dr. Cramerton, NC 28032
031-101-22 Sydney Pruett & Tyler John 5008 Brooktree Dr. Charlotte, NC 28208	031-155-02 Robert Tallent 615 Brook Forest Dr. Belmont, NC 28012
031-101-23 Textile Cleaner & Track Service P.O. Box 385 Mount Holly, NC 28120	031-155-03 Elmer Dowell (Estate) 324 Stockton St. Statesville, NC 28677
031-141-07 Henderson Belk & (wife) Maria 126 Hidden Pastures Dr. Cramerton, NC 28032	031-155-04 Blanche Mullis 10508 Rozzelles Ferry Rd. Charlotte, NC 28214
031-153-11 Luther Hardee & (wife) Deborah Rt. 7 Box 169 Kingston, NC 28501	031-155-05 Crescent Resources Inc. P.O. Box 1003 Charlotte, NC 28201



LEGAL DESCRIPTION

BEGINNING at a point, said point being the Southeast corner of the subject property at the intersection with the western right of way line of Mount Holly-Huntersville Road; thence with the southern property line N 45° 01' 01" W, 2019.03 feet; thence N 54° 49' 01" W, 1193.29 feet; thence N 36° 43' 59" E, 653.45 feet; thence N 31° 14' 15" E, 1194.97 feet; thence S 70° 18' 01" E, 1786.34 feet; thence S 8° 57' 50" W, 1294.39 feet; thence S 36° 26' 10" W, 874.36 feet; thence S 77° 41' 50" E, 996.52 feet; thence S 8° 54' 52" E, 307.16 feet; thence S 44° 07' 53" W, 279.08 feet; thence S 42° 31' 43" W, 104.49 feet; thence S 24° 02' 52" W, 108.13 feet; thence S 50° 30' 43" W, 107.86 feet; thence S 3° 29' 38" W, 12.52 feet to a point in the westerly right of way line of Mount Holly-Huntersville Road; thence with said right of way S 61° 34' 07" W, 225.72 feet to the POINT OF BEGINNING, and containing 123.668 acres, more or less.

LINE	LENGTH	BEARING
L1	104.49	S42°31'43"W
L2	103.13	S24°02'52"W
L3	107.86	S50°30'43"W
L4	12.52	S03°29'38"W



NOTES

- The Site Plan consists of the Technical Data Sheet and the Illustrative Plan. The Technical Data Sheet contains all development notes and conditions regarding such things as vehicular access points, buffers/setbacks, generalized building/parking and circulation areas, development intensity, etc. The Illustrative Plan depicts a development scenario based upon the conditions imposed by the Technical Data Sheet, but other development scenarios are permitted as a matter of right which allows alternatives to the arrangement of buildings/parking/circulation areas, building footprints and shapes, lot layout etc. In no event, however, shall buffer or yard/setback spaces be decreased or the maximum level of development intensity increased from that shown on the Technical Data Sheet.
- All proposed development on the Site shall comply with ordinance requirements regarding the number and arrangement of off-street parking spaces (see 12.202) signage, yard dimensions, buffers, screening (see 12.303), and landscaping (see 12.208).
- The proposed development shall consist of a mixed use development containing single family, multi-family and neighborhood commercial uses.
- Required buffers shall remain undisturbed except for necessary utility connections.
- Storm water detention or BMP facilities shall not be permitted within setback or buffer areas.
- All development proposed for the Site shall comply with applicable watershed regulations (Section 10.601).
- Any use permitted under the B-1 District shall be allowed as a permitted use in the commercial area, except that a fast food restaurant shall not be allowed.
- The maximum height of detached rights in the parking lot areas shall be 20 feet.
- All dumpsters shall be screened with solid enclosures with gates.
- Buffer widths shall not be reduced by the installation of a fence, wall or berm.
- The Petitioner shall dedicate land along the Site's Mt. Holly-Huntersville Road frontage sufficient to establish a right-of-way of 50 feet as measured from the centerline of the road. The dedication shall occur prior to the issuance of any building permit associated with the proposed development. The 40 foot setback shall be measured from the new right-of-way line.
- The development purposes the use of the high density options and requirements associated with watershed standards in both the critical and protected areas of the Site.
- A sidewalk shall be provided on both sides of the public collector street, beginning at the Site's entrance and extending to the first street intersection entering the single family residential area. Thereafter, the sidewalk shall continue along one side of the collector street as required.
- Portions of the common open space areas shall contain playfields and ballfields.
- Phasing for the open space and commercial area of the Site shall comply with ordinance provisions.
- The maximum height for buildings located within the commercial area shall be 30 feet. While actual building design and materials have not been determined at this time, it is anticipated that the character of the commercial area will reflect small scale/pedestrian scale buildings. Buildings shall be constructed of brick or stucco or a combination thereof. Roofs will be pitched with shingles.
- The setback for the multi-family development along the public collector street shall be 30 feet and shall be 20 feet for commercial area.

At the main entrance into the site, a northbound left turn lane on Mt. Holly-Huntersville Road shall be constructed by the petitioner/developer with a minimum of 180 feet of storage, 180 foot taper and a 45:1 through lane taper as well as a southbound right turn lane on Mt. Holly-Huntersville Road with a minimum of 150 feet of storage and a 240 foot bay taper. Also, at the secondary entrance, a northbound left turn lane on Mt. Holly-Huntersville road will be built with a minimum of 150 feet of storage, 180 foot taper and a 45:1 through lane taper as well as a southbound right turn lane on Mt. Holly-Huntersville Road with a minimum of 150 feet of storage and a 240 foot bay taper.

For Public Hearing
Petition No. 9745-C

Technical Data Sheet

Land Design

DATE: July 23, 2007
PROJECT NO: 17071
REVISIONS:
9/18/07 - Revised per Planning Commission review

APPROVED BY COUNTY COMMISSION
DATE: 11/11/07

Site Tabulation

Total Site Area:	123.66 Ac
Existing Zoning:	R-3, R-17 MF
Proposed Zoning:	MX-2
Proposed Development:	
Single Family:	287 Units (max.) ± 108.0 Ac
Multi-Family:	185 Units (max.) ± 10.9 Ac
Commercial:	30,000 Sq. Ft. (max.) ± 4.7 Ac
Proposed Common Open Space:	± 37.6 Ac (30%)



Scale: 1" = 200'

Property boundary and topographic information provided by CivilTech Associates.

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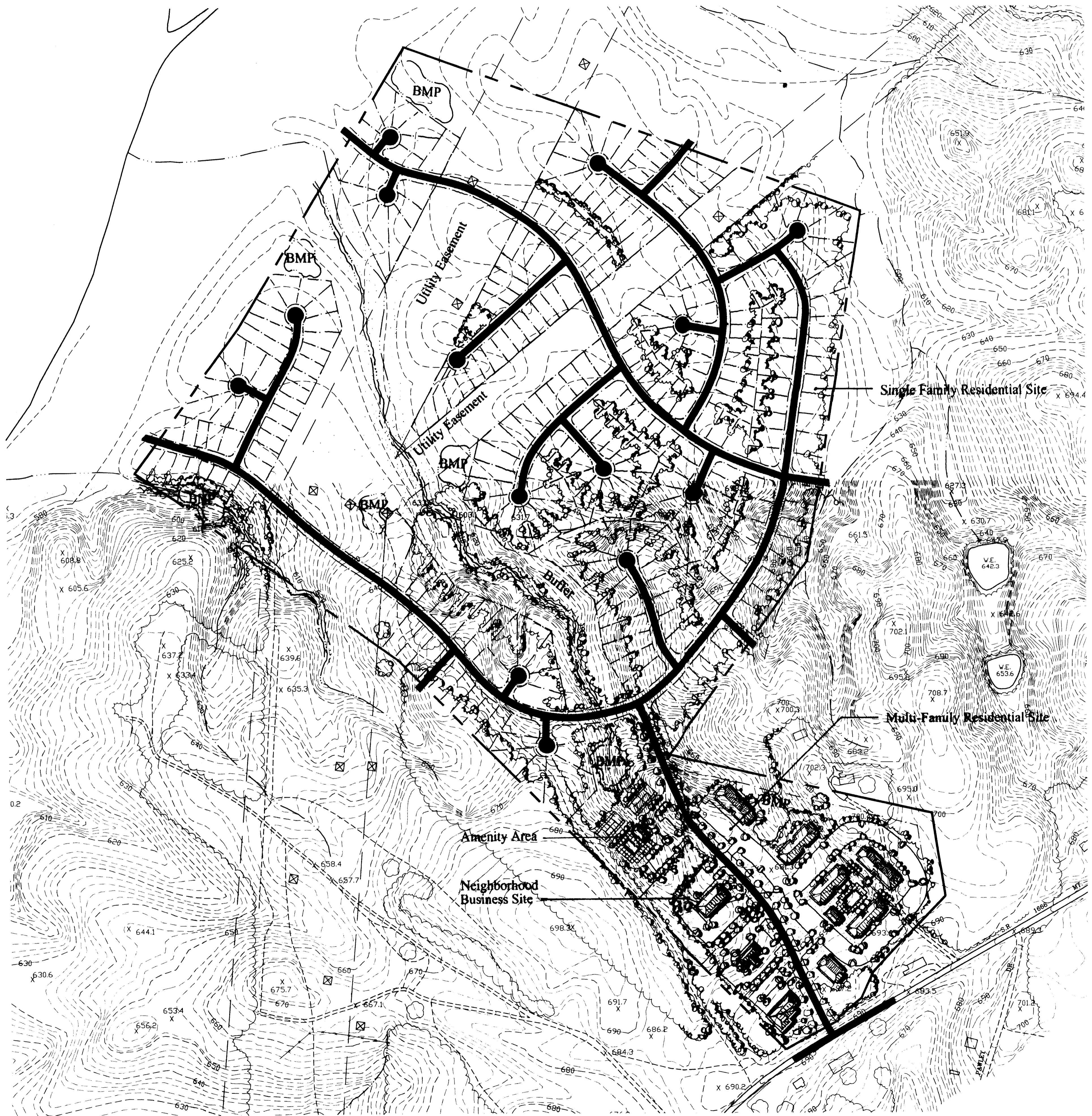
Land Design Inc.
Landscape Architecture Land Planning
Urban Design

SHEET NO:
FILE NAME: 17071.dwg\17071ba2.dwg OF:

Catawba Plantation

Mecklenburg County, North Carolina

Petitioner: Huntersville Investment L.L.C.



Illustrative Plan

Paul Koenig

DATE: July 23, 1997
 PROJECT NO.: 17071
 REVISIONS:
 9/19/97 - Review per Planning Commission review

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Land Design Inc.
 Landscape Architecture Land Planning
 Urban Design



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