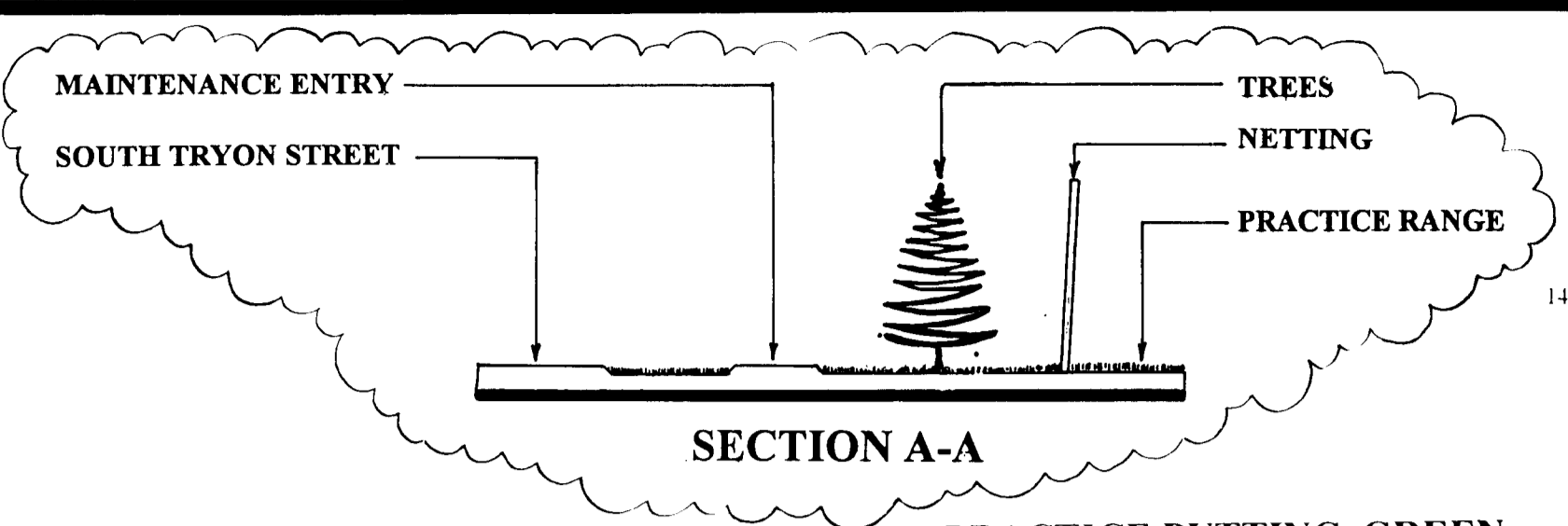


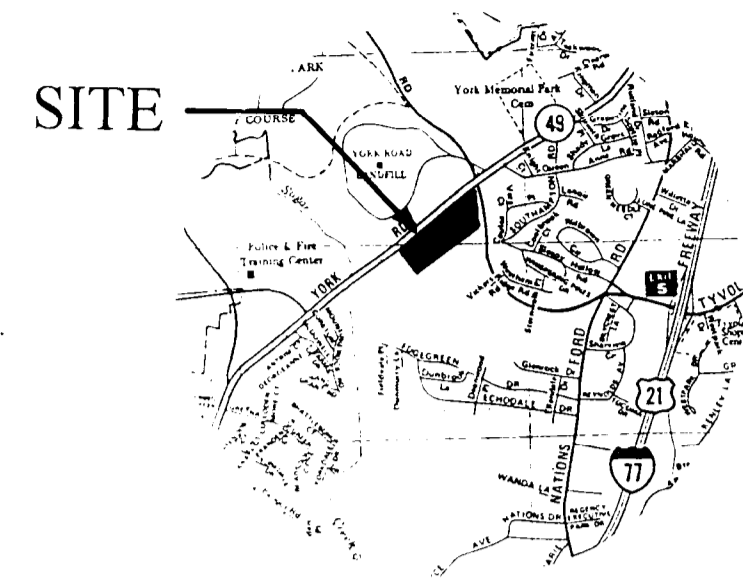
REZONING PLAN

GENERAL NOTES

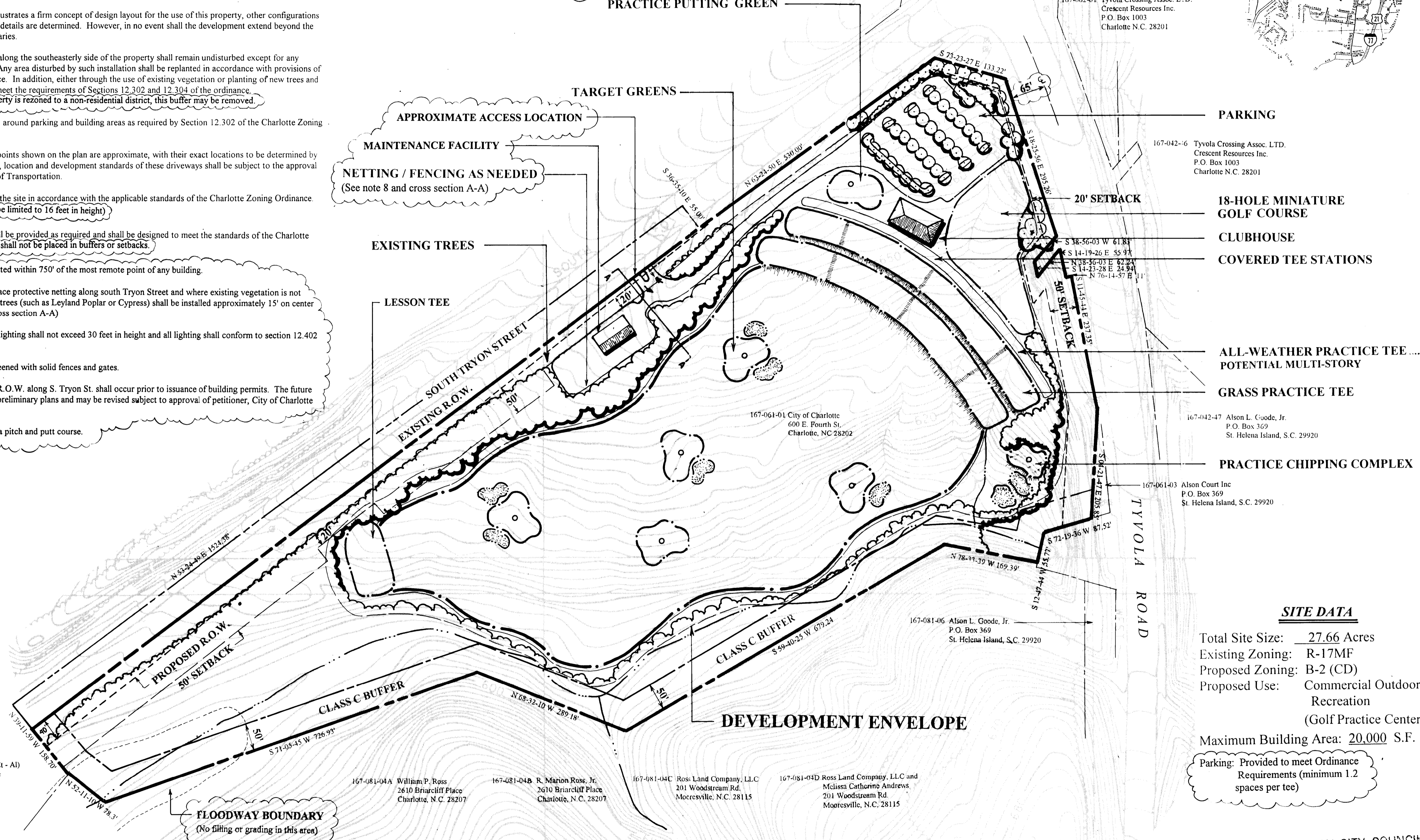
1. While this schematic plan illustrates a firm concept of design layout for the use of this property, other configurations of use may occur as more site details are determined. However, in no event shall the development extend beyond the Building Development Boundaries.
2. The buffer areas indicated along the southeasterly side of the property shall remain undisturbed except for any necessary utility installation. Any area disturbed by such installation shall be replanted in accordance with provisions of the Charlotte Zoning Ordinance. In addition, either through the use of existing vegetation or planting of new trees and shrubs, the buffer areas shall meet the requirements of Sections 12.302 and 12.304 of the ordinance. In the event the adjacent property is rezoned to a non-residential district, this buffer may be removed.
3. Screening shall be installed around parking and building areas as required by Section 12.302 of the Charlotte Zoning Ordinance.
4. The two driveway access points shown on the plan are approximate, with their exact locations to be determined by the final site plan. In addition, location and development standards of these driveways shall be subject to the approval of the Charlotte Department of Transportation.
5. Signage may be placed on the site in accordance with the applicable standards of the Charlotte Zoning Ordinance. (Ground mounted signs shall be limited to 16 feet in height)
6. Storm water detention shall be provided as required and shall be designed to meet the standards of the Charlotte Storm Water Department, but shall not be placed in buffers or setbacks.
7. A fire hydrant shall be located within 750' of the most remote point of any building.
8. Where it is necessary to place protective netting along south Tryon Street and where existing vegetation is not sufficient, a row of evergreen trees (such as Leyland Poplar or Cypress) shall be installed approximately 15' on center in front of the netting. (see cross section A-A)
9. Building and parking area lighting shall not exceed 30 feet in height and all lighting shall conform to section 12.402 of the Zoning Ordinance.
10. All dumpsters shall be screened with solid fences and gates.
11. Dedication of additional R.O.W. along S. Tryon St. shall occur prior to issuance of building permits. The future R.O.W. shown is taken from preliminary plans and may be revised subject to approval of petitioner, City of Charlotte and N.C.D.O.T..
12. Final design may include a pitch and putt course.



VICINITY MAP



JACOBSON
GOLF COURSE DESIGN
1590 S. Milwaukee Ave., Suite 101, Libertyville, Illinois 60048
Phone: (817) 918-1361 Fax: (817) 918-1374



- PARKING
- 18-HOLE MINIATURE GOLF COURSE
- CLUBHOUSE
- COVERED TEE STATIONS
- ALL-WEATHER PRACTICE TEE ... POTENTIAL MULTI-STORY
- GRASS PRACTICE TEE
- PRACTICE CHIPPING COMPLEX

SITE DATA

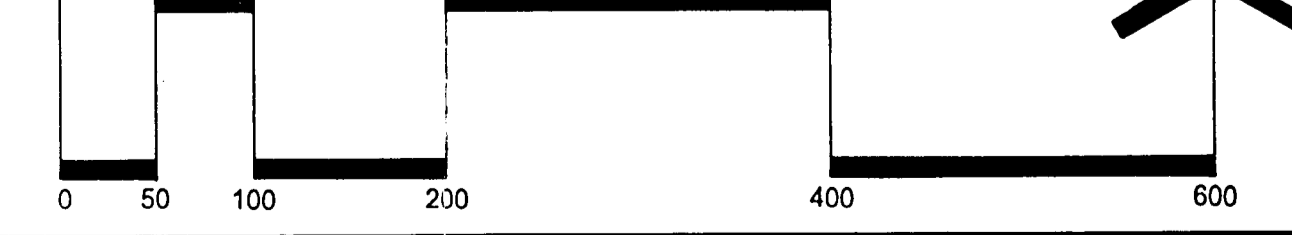
Total Site Size: 27.66 Acres
 Existing Zoning: R-17MF
 Proposed Zoning: B-2 (CD)
 Proposed Use: Commercial Outdoor Recreation (Golf Practice Center)
 Maximum Building Area: 20,000 S.F.

Parking: Provided to meet Ordinance Requirements (minimum 1.2 spaces per tee)

APPROVED BY CITY COUNCIL
 DATE: 7/21/97

	BY:	DATE
DRAWN	WJH	5/10/96
APPROVED		
REVISION		
REZONING PLAN NOTES, ETC.	RET	3/19/97
A.L. GOODE, JR. 167-042-47	RET	3/22/97
PER STAFF REVIEW	RAJ	5/14/97
SETBACK & R.O.W. ADJUSTMENTS	TAS	5/20/97

Scale: 1" = 100'



"For Public Hearing"

MICHAEL JORDAN
GOLF PRACTICE CENTER
Charlotte, North Carolina

NOTE: LAYOUT DETAILS FOR THIS PLAN ARE FOR ILLUSTRATIVE PURPOSES ONLY.