

Mallard Oaks

Mecklenburg County, North Carolina
Petitioner: Crosland Commercial

Site Tabulation
Total Site Area: 111.7 Ac
Existing Zoning: R-3
Proposed Zoning: O-1 (CD)
[180 rooms of] [24,000 sq. ft.]
B-1 (CD)
[12,500 sq. ft.]

Legal Description
BEGINNING at a point, and point being the Southeast corner of the subject property interest at the intersection of John Adams Road and Mallard Creek Church Road, thence with the Southern property line S 84° 02' 50" E, 118.15 feet to a corner; thence S 10° 00' 00" E, 234.27 feet to a corner; thence S 17° 21' 10" W, 221.15 feet to a corner; thence N 1° 12' 12" E, 84.36 feet to a corner; thence S 75° 18' 22" W, 174.00 feet to a corner; thence along a curve to the center, L=120.12 feet, R=500.00 feet, to a corner; thence S 20° 12' 12" E, 201.82 feet to the POINT OF BEGINNING, and containing 117.7 acres more or less.

Development Standards
Note:
1. Direct access to Mallard Creek Church Rd. from the subject site will not be permitted. The final driveway access point located on John Adams Road shall be a minimum of 100 feet from the edge of pavement at Mallard Creek Church Rd.
2. All parking and screening shall meet the requirements of the Mecklenburg County Zoning Ordinance.
3. Developer will install planting within the 1-85 R/W subject to NCDOT accommodating same planting. Planting shall include shrubs at 10' intervals, 2' x 2' x 2' cal. consisting primarily of Red Maple and Red Bud. Occasional Oak and other selectives may also be used.

Petition No. 98-03(c)
For Public Hearing

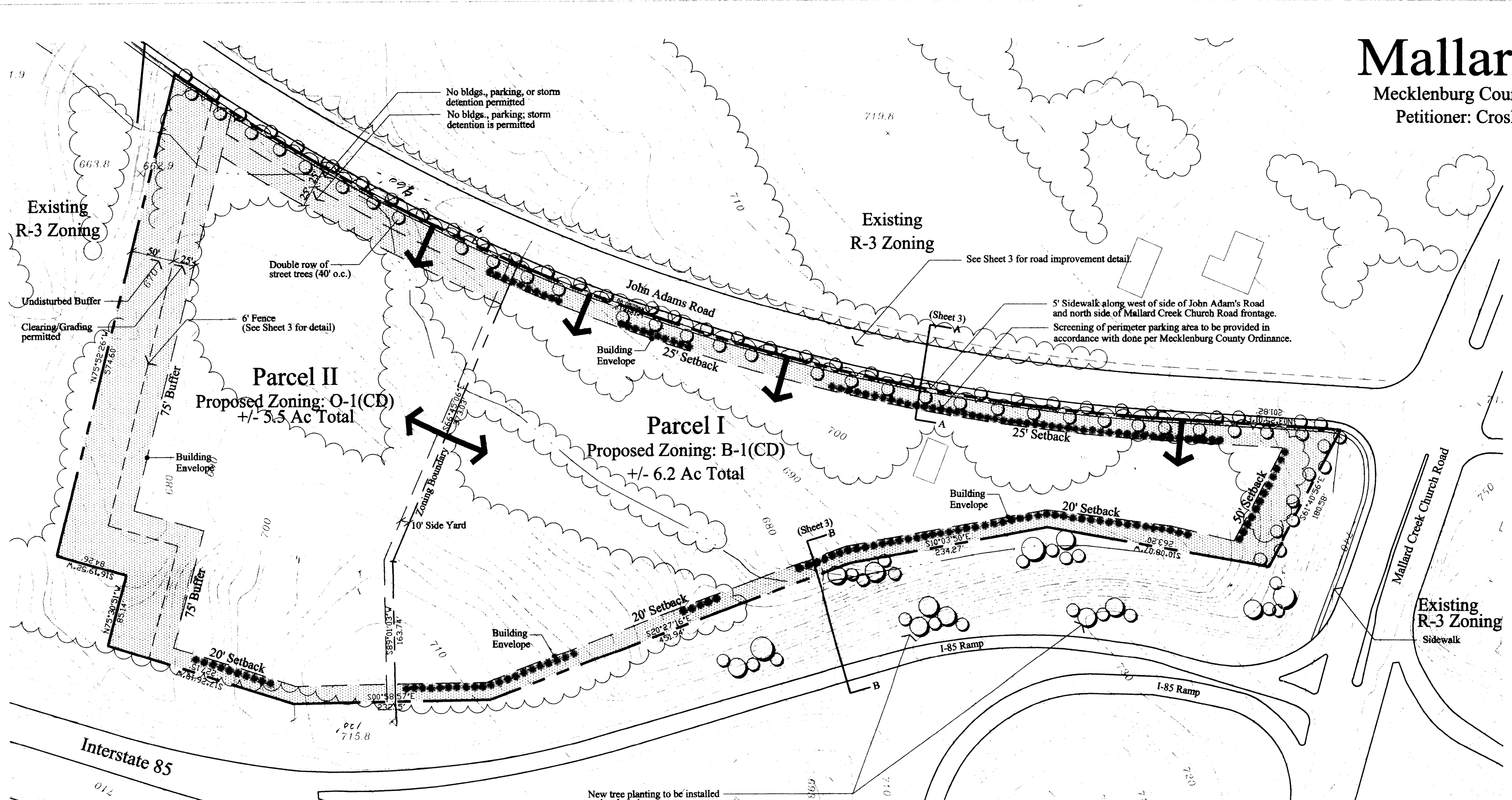
Technical Data Sheet

Ford Design
DATE: October 17, 1997
PROJECT NO: 9704
REVISIONS:
10-17-97 Revised Per planning staff comments
10-20-97 Revised Per Client Comment
10-21-97 Revised Per Client Comment
10-25-97 Revised Per Client Comment

APPROVED BY COUNTY COMMISSION
DATE: 11/16/97

LandDesign Inc.
Landscape Architecture Land Planning
Urban Design

SHEET NO: 1 OF 3
FILE NAME: 980303.mxd



DEVELOPMENT STANDARDS

General Provisions
Unless more stringent standards are established by the Technical Data Sheet or these Ordinance Standards, all development shall conform to the Mecklenburg County Zoning Ordinance (Ordinance No. 98-03) for the O-1 zoning district classification and Ordinance Standards for the B-1 zoning district classification. All development shall conform to the Ordinance for the O-1 zoning district classification and Ordinance Standards for the B-1 zoning district classification.

Site Plan
1. All proposed buildings shall be set back from the street in accordance with the Ordinance.
2. All proposed buildings shall be set back from the street in accordance with the Ordinance.
3. All proposed buildings shall be set back from the street in accordance with the Ordinance.
4. All proposed buildings shall be set back from the street in accordance with the Ordinance.

Access Points
1. The location of all access points to the site shall be indicated on the site plan.
2. The location of all access points to the site shall be indicated on the site plan.
3. The location of all access points to the site shall be indicated on the site plan.

Storm Water Management
1. Storm water runoff from the site shall be managed through proper techniques which satisfy the requirements of the Mecklenburg County Zoning Ordinance.
2. Storm water runoff from the site shall be managed through proper techniques which satisfy the requirements of the Mecklenburg County Zoning Ordinance.

Mallard Oaks

Mecklenburg County, North Carolina
Petitioner: Crosland Commercial

Petition No. 98-03(c)
For Public Hearing

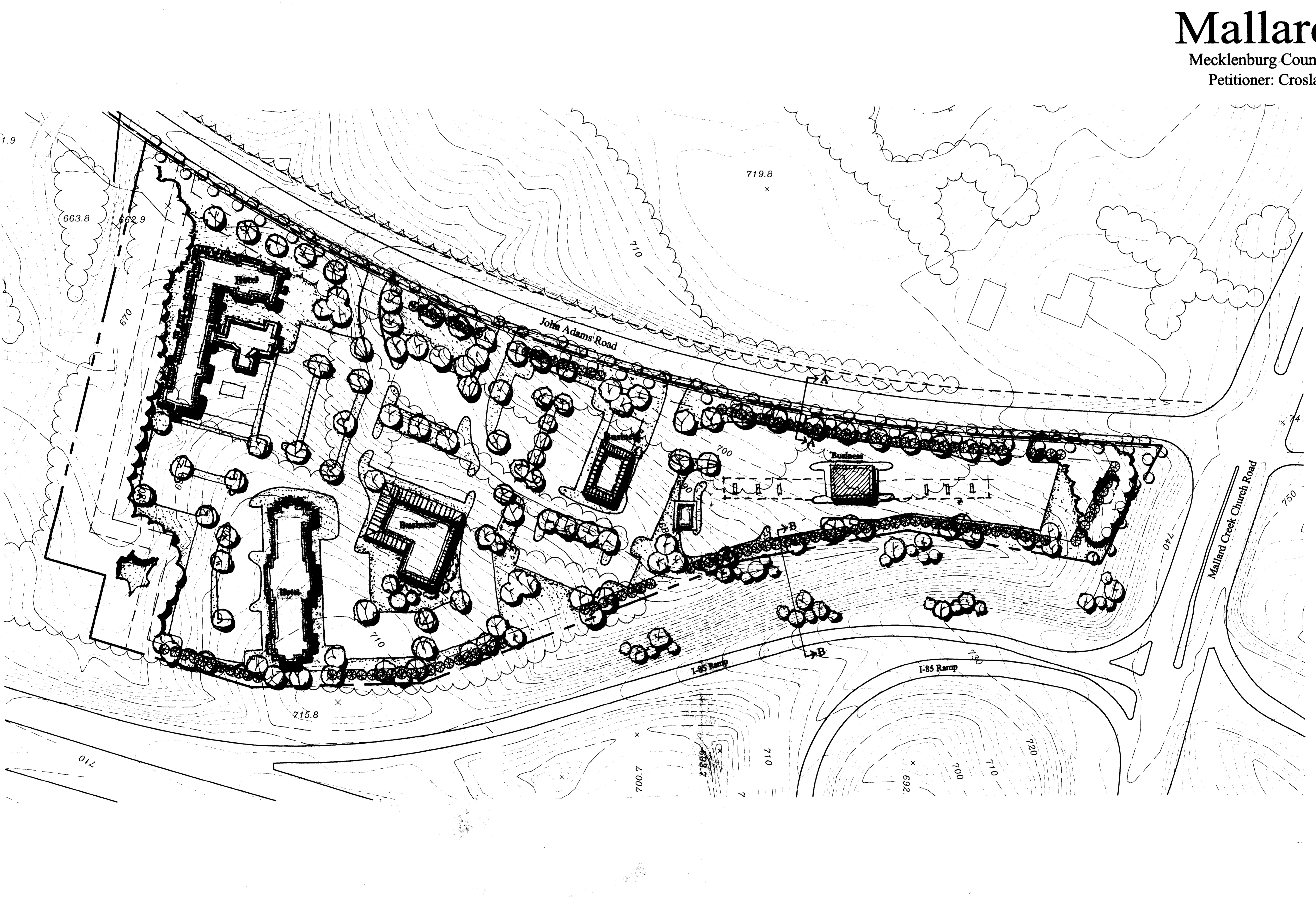
Schematic Site Plan

Ford Design
DATE: October 17, 1997
PROJECT NO: 9704
REVISIONS:
10-17-97 Revised Per planning staff comments
10-20-97 Revised Per Client Comment
10-21-97 Revised Per Client Comment
10-25-97 Revised Per Client Comment

APPROVED BY COUNTY COMMISSION
DATE: 11/16/97

LandDesign Inc.
Landscape Architecture Land Planning
Urban Design

SHEET NO: 2 OF 3
FILE NAME: 980303.mxd



Mallard Oaks

Mecklenburg County, North Carolina
Petitioner: Crosland Commercial

Petition No. 98-03(c)
For Public Hearing

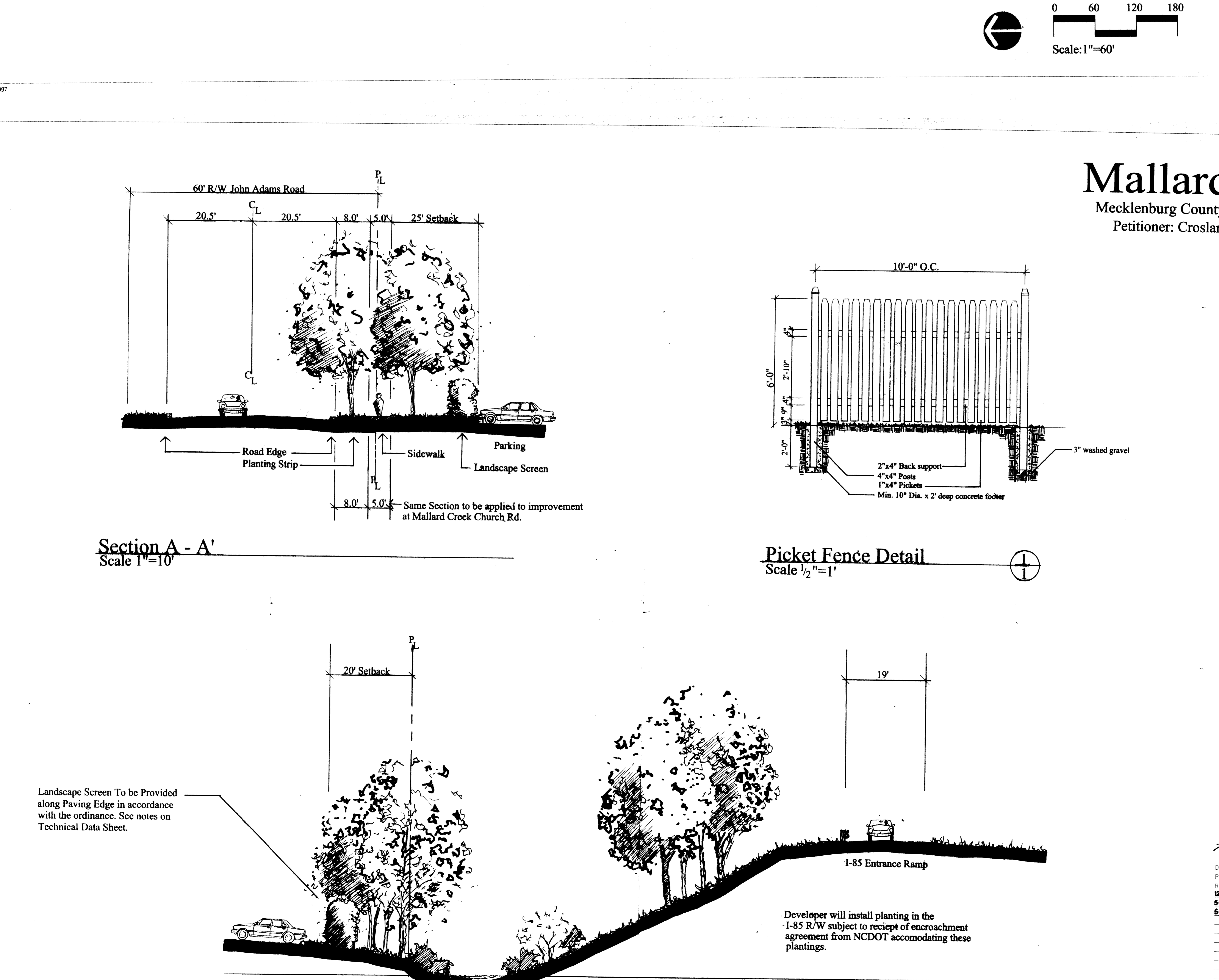
Detail and Sections

Ford Design
DATE: October 17, 1997
PROJECT NO: 9704
REVISIONS:
10-17-97 Revised Per planning staff comments
10-20-97 Revised Per Client Comment
10-21-97 Revised Per Client Comment
10-25-97 Revised Per Client Comment

APPROVED BY COUNTY COMMISSION
DATE: 11/16/97

LandDesign Inc.
Landscape Architecture Land Planning
Urban Design

SHEET NO: 3 OF 3
FILE NAME: 980303.mxd



Developer will install planting in the 1-85 R/W subject to receipt of encroachment agreement from NCDOT accommodating these plantings.