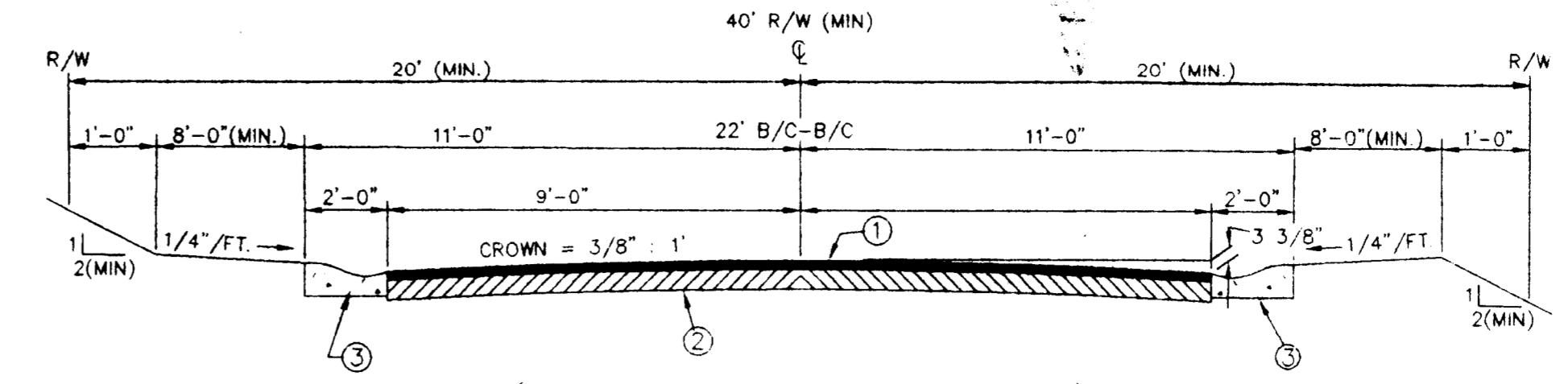


REVISIONS:
 1. 3/28/98 NOTE #4 REVISED TO INCLUDE "A WALLS"
 2. 3/28/98 NOTE #4 REVISED TO INCLUDE "HEIGHT"
 3. 8/24/98 PER CLIENT REQUEST "ADD LOT # 17"

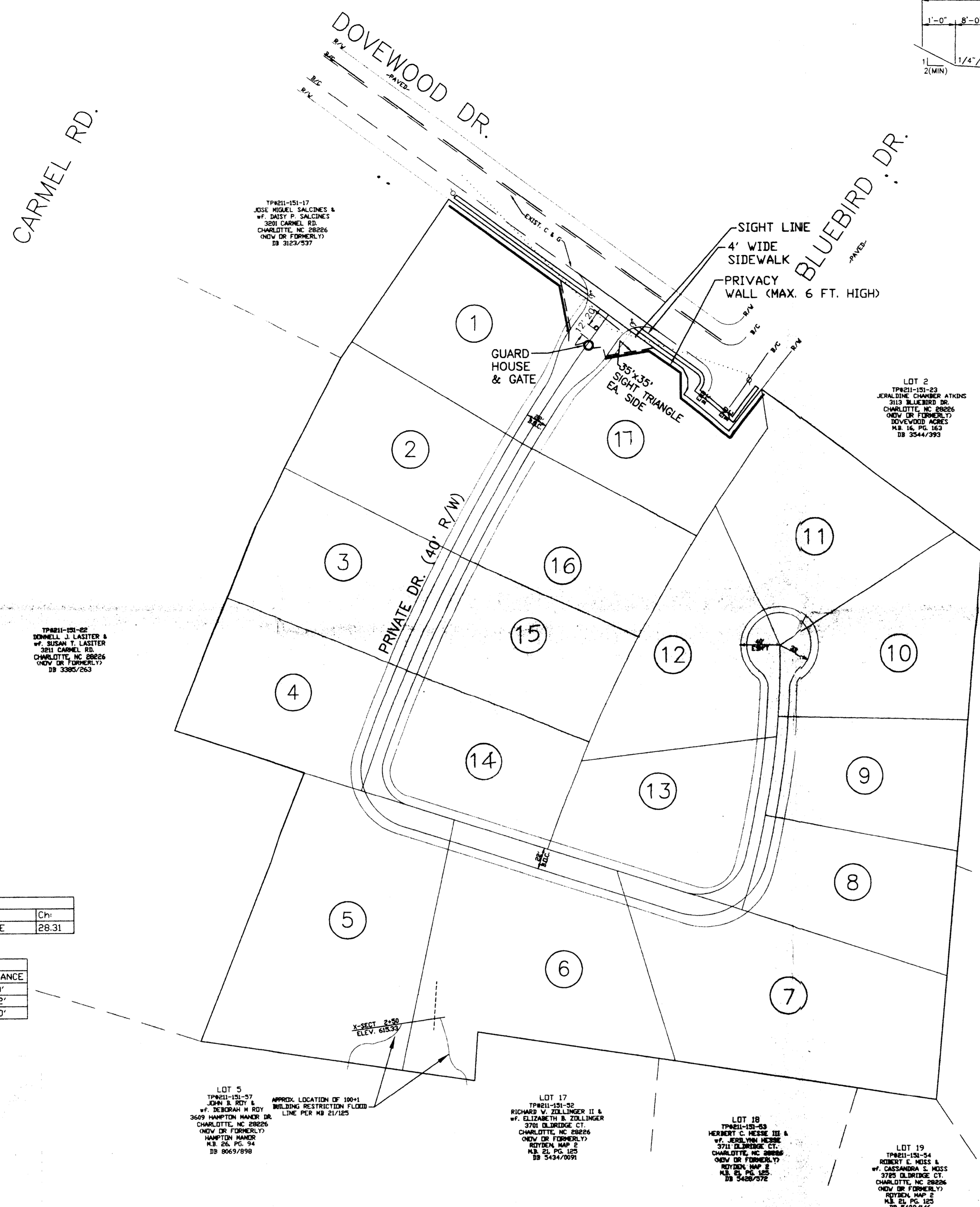


(STANDARD #10.02A & #10.15A)
 PRIVATE DRIVE CROSS SECTION
 FOR
 40' R/W

- PAVEMENT SCHEDULE
- ① 1 1/2" BITUMINOUS CONCRETE SURFACE COURSE, TYPE I-2
 - ② 4" BITUMINOUS CONCRETE BASE COURSE, TYPE HB OR
 - ③ 2"-0" VALLEY GUTTER (CMLD STD. 10.17A)

FOR PUBLIC HEARING
 PETITION #98-22

NORTH PER RECORD MAP
 BOOK: 21, PAGE: 125



CONDITIONAL NOTES:

1. THE PROPOSED SITE PLAN REPRESENTS THE ANTICIPATED, PREFERRED ARRANGEMENT OF SINGLE FAMILY LOTS AND PRIVATE STREET LAYOUT. HOWEVER MINOR VARIATIONS REGARDING THE SIZE, SHAPE, AND ARRANGEMENT OF LOTS AS WELL AS THE LOCATION OF THE STREET ARE PERMITTED AS A MATTER OF RIGHT. IN NO EVENT, HOWEVER, SHALL THERE BE ANY INCREASE IN THE NUMBER OF SINGLE FAMILY LOTS FROM THAT SHOWN.
2. THE PROPOSED DEVELOPMENT SHOWN SHALL COMPLY WITH ALL APPLICABLE ZONING AND SUBDIVISION REGULATIONS AND REQUIREMENTS.
3. VEHICULAR ACCESS TO THE SITE SHALL BE RESTRICTED TO ONE PRIVATE STREET CONNECTION TO DOVEWOOD DRIVE AS SHOWN. THE STREET SHALL BE TERMINATED AS A CUL-DE-SAC. THE STREET SHALL BE DESIGNED WITH A 40 FOOT RIGHT-OF-WAY DIMENSION AND SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION, WHICH SHALL BE ESTABLISHED.
4. AS PERMITTED BY SECTION 11.208 OF THE CITY OF CHARLOTTE ZONING ORDINANCE, THE DEVELOPMENT SHALL UTILIZE VARIOUS INNOVATIVE DEVELOPMENT AND DIMENSIONAL STANDARDS DESIGNED TO SPECIFICALLY ACCOMMODATE THE PROPOSED DEVELOPMENT. THESE STANDARDS SHALL BE LIMITED TO: STREET TYPE AND CONSTRUCTION STANDARDS, PUBLIC STREET FRONTAGE, OPEN SPACE, AND WALL HEIGHT.
5. THE ONLY USE THAT SHALL BE PERMITTED IS A SINGLE FAMILY DWELLING AND ASSOCIATED ANCILLARY STRUCTURES. A MAXIMUM OF ONLY 17 LOTS SHALL BE ALLOWED.
6. ALL LOTS SHALL UTILIZE THE R-3 DIMENSIONAL STANDARDS FOR SETBACKS, SIDE YARDS, AND REAR YARDS.
7. THE DEVELOPER SHALL PROVIDE A 4 FOOT SIDEWALK AND 4 FOOT PLANTING STRIP ALONG THE SITE'S DOVEWOOD DRIVE AND BLUEBIRD DRIVE FRONTAGE AS REQUIRED BY THE SUBDIVISION ORDINANCE REGULATIONS.
8. THE MINIMUM REAR YARD FOR ALL LOTS SHALL BE 45 FEET (SAME AS R-3 DISTRICT). THE MINIMUM SIDE YARD FOR LOTS ALONG DOVEWOOD DRIVE AND BLUEBIRD DRIVE SHALL BE 15 FEET.
9. PUBLIC EMERGENCY AND SANITATION VEHICLES SHALL BE PERMITTED ACCESS TO THE SITE.
10. THE PRIVATE STREET IS PART OF THE DIMENSIONAL STANDARD FOR EACH LOT. AN EASEMENT AGREEMENT SHALL BE RECORDED TO ALLOW FOR ACCESS ACROSS EACH LOT.
11. TREES ARE CONSIDERED A SIGNIFICANT DEVELOPMENT ASSET. LOTS WILL NOT BE CLEAR CUT AND AS MANY TREES AS IS REASONABLY POSSIBLE SHALL BE SAVED BY THE HOME BUILDERS. THIS CONDITION WILL BE INCORPORATED INTO THE ARCHITECTURAL REVIEW AND APPROVAL PROCESS OF THE HOMEOWNERS ASSOCIATION.
12. NO CONSTRUCTION TRAFFIC WILL PARK ON DOVEWOOD DRIVE ONCE THE PROPOSED PRIVATE STREET IS BUILT.
13. NO CHAIN LINK FENCE SHALL BE ALLOWED ALONG THE PROPERTY PERIMETERS. (TEMPORARY C.L. FENCE MAY BE USED AT PROJECT ENTRANCE DURING CONSTRUCTION.)

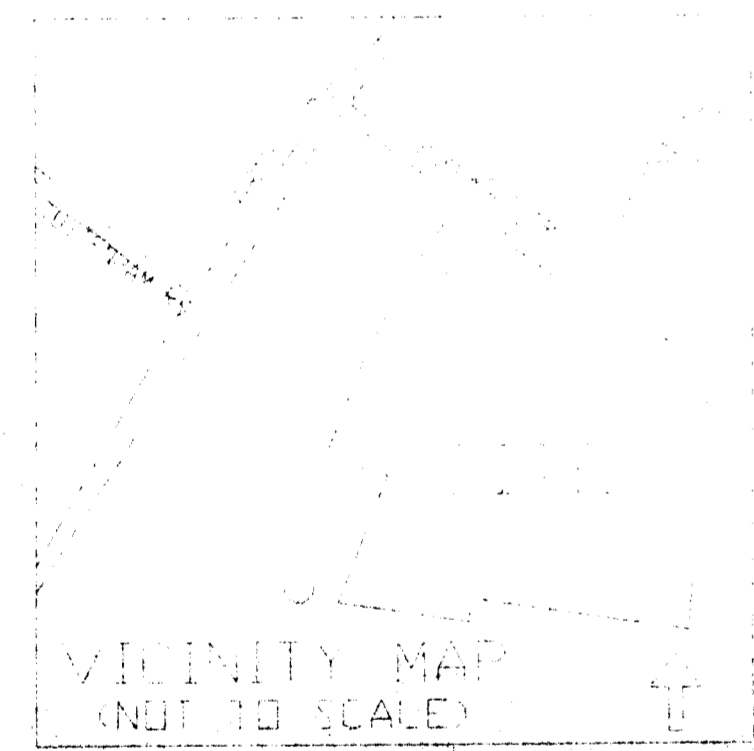
ATTACHED TO ADMINISTRATIVE APPROVAL
 DATED: September 28, 1998
 BY: MARTIN R. CRAMTON, JR.

SITE DATA:

1. TAX PARCEL #'S 211-151-06 & 211-151-07.
2. PROPERTY ZONED R-3.
3. PROPOSED ZONING: MX-1 (INNOVATIVE).
4. MAXIMUM NUMBER OF LOTS: 17 SINGLE FAMILY LOTS.
5. DENSITY: 1.40 DWELLING UNITS/ACRE.
6. SITE ACREAGE: 12.098 ACRES.

| CURVE CHART | | | |
|-------------|-------|-------|---------------------|
| NUMBER | R= | L= | Ch= |
| C1 | 20.02 | 31.45 | S 06°35'56" E 28.31 |

| LINE CHART | | |
|------------|---------------|----------|
| NUMBER | DIRECTION | DISTANCE |
| L1 | S 51°35'56" E | 60.00' |
| L2 | N 38°24'04" E | 54.02' |
| L3 | S 03°32'55" W | 49.60' |



LOT 5
 TPRE21-151-57
 JOHN S. RYAN &
 W. DEBRAH W. RYAN
 3609 HAMPTON HANER DR.
 CHARLOTTE, NC 28226
 (INDV. OR FORMERLY)
 HAMPTON HANER
 N.B. 25, PG. 94
 DB 8669/959

LOT 17
 TPRE21-151-52
 RICHARD W. ZOLLINGER II &
 W. ELIZABETH A. ZOLLINGER
 3718 BLUEBIRD CT.
 CHARLOTTE, NC 28226
 (INDV. OR FORMERLY)
 RICHARD W. ZOLLINGER II
 N.B. 25, PG. 125
 DB 3434/959

LOT 18
 TPRE21-151-53
 HERBERT C. HESS III &
 W. JOSELYN HESS
 2711 BLUEBIRD CT.
 CHARLOTTE, NC 28226
 (INDV. OR FORMERLY)
 HERBERT C. HESS III
 N.B. 25, PG. 125
 DB 3438/976

LOT 19
 TPRE21-151-54
 ROBERT C. HESS &
 W. CASSANDRA E. HESS
 3725 BLUEBIRD CT.
 CHARLOTTE, NC 28226
 (INDV. OR FORMERLY)
 ROBERT C. HESS
 N.B. 25, PG. 125
 DB 3432/146

LOT 35B
 TPRE21-151-56
 THOMAS PATTON HESS III
 & W. BETTY G. HESS
 3816 HICKORYLAND FARMS RD.
 CHARLOTTE, NC 28226
 (INDV. OR FORMERLY)
 THOMAS PATTON HESS III
 N.B. 25, PG. 447
 DB 7754/356

LOT 48
 TPRE21-151-61
 THOMAS PATTON HESS III
 & W. BETTY G. HESS
 3816 HICKORYLAND FARMS RD.
 CHARLOTTE, NC 28226
 (INDV. OR FORMERLY)
 THOMAS PATTON HESS III
 N.B. 25, PG. 447
 DB 2673/529

BURNELL ASSOCIATES
 CIVIL & STRUCTURAL ENGINEERS
 1300 EAST 4TH ST., SUITE 302
 CHARLOTTE, N.C. 28204-2231
 PHONE: 704/378-9838

CLIENT:
ELROD CONSTRUCTION CO.
 PROJECT:
DOVEWOOD SUBDIVISION

DESCRIPTION:
REZONING PLAN
PETITION #98-22
 DRAWN BY: **ROBERT KENNEDY**
 SCALE:
 1" = 60'

SEAL
 DATE: 8/10/98
 SHEET NO. C1 OF 1

CHARLOTTE - MECKLENBURG PLANNING COMMISSION
 INTER - OFFICE COMMUNICATION

DATE: September 28, 1998
 TO: Robert Brandon, Zoning Administrator
 FROM: Martin R. Cramton, Jr., Planning Director
 SUBJECT: Administrative Approval for Petition No. 98-22 Elrod Construction Company Tax Parcels 211-151-06 and 07.

Attached is a site plan showing an increase of 1 lot for the above mentioned site which increases the total number of lots from 16 to 17. The Zoning Committee voted to allow this change at the September 28, 1998 work session after finding the request in compliance with the requirements of the zoning ordinance. Please use this revised plan when evaluating requests for building permits and certificates of occupancy.

DOVEWOOD SUBDIVISION

A PRIVATE COMMUNITY

DEVELOPED BY:

ELROD CONSTRUCTION

INDEX OF SHEETS

- C1 OF 6 SUBDIVISION PLAN
- C2 OF 6 STREET & STORM DRAINAGE PROFILES
- C3 OF 6 GRADING & STORM DRAINAGE PLAN
- C4 OF 6 DRAINAGE BASIN & EROSION CONTROL PLAN
- C5 OF 6 EROSION CONTROL DETAILS
- C6 OF 6 DEVELOPMENT DETAILS

DEVELOPMENT DATA

ZONING MX-1 INNOVATIVE (REZONING PETITION #98-72)
 MIN. WIDTH 10'
 MIN. SETBACK 30'
 MIN. REAR YARD 45'
 MIN. SIDE YARD 6'
 MIN. LOT AREA 10,000 SF
 TOTAL AREA 12.038 Ac.
 NUMBER OF LOTS 17
 DENSITY 1.41 LOTS/ACRE

GENERAL SHEET NOTES

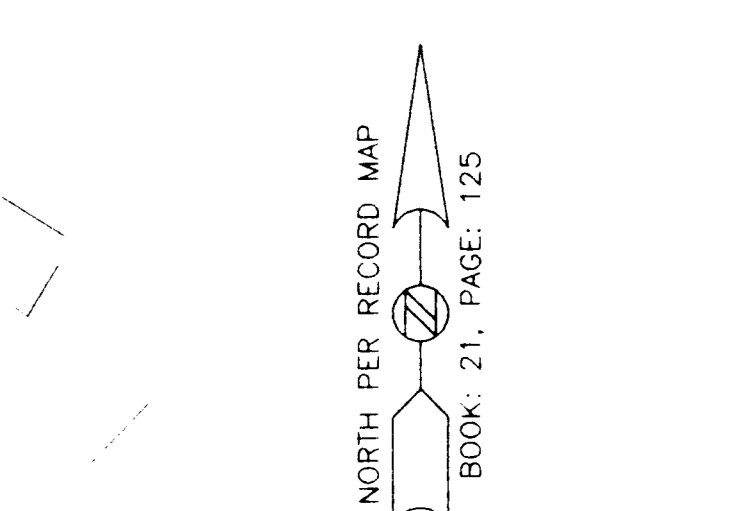
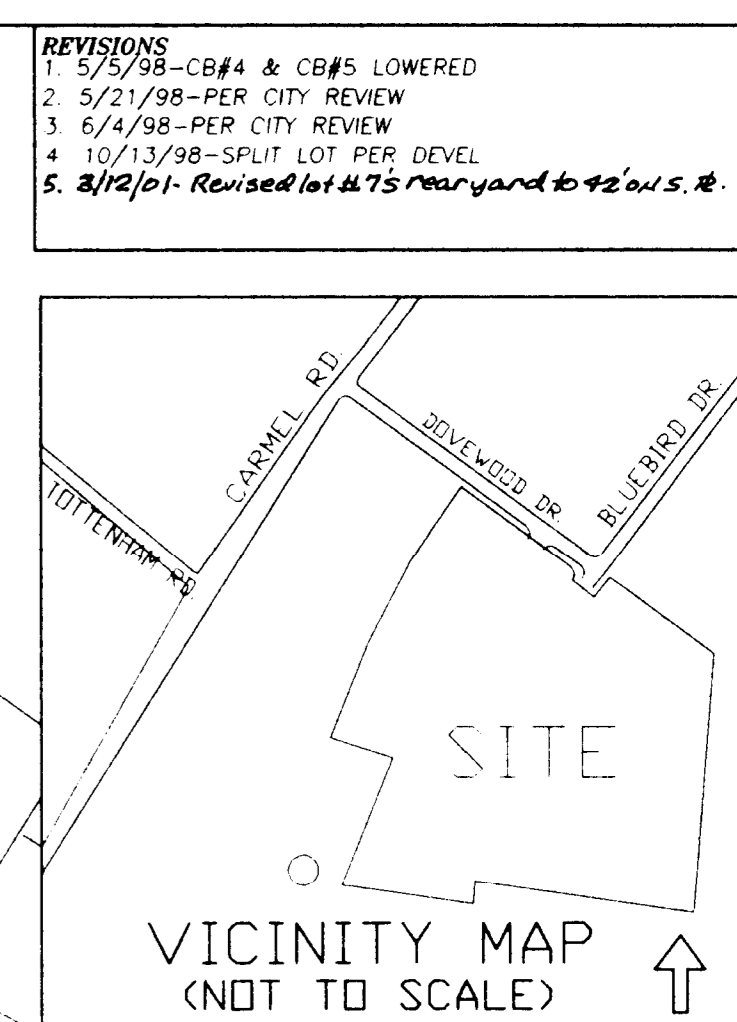
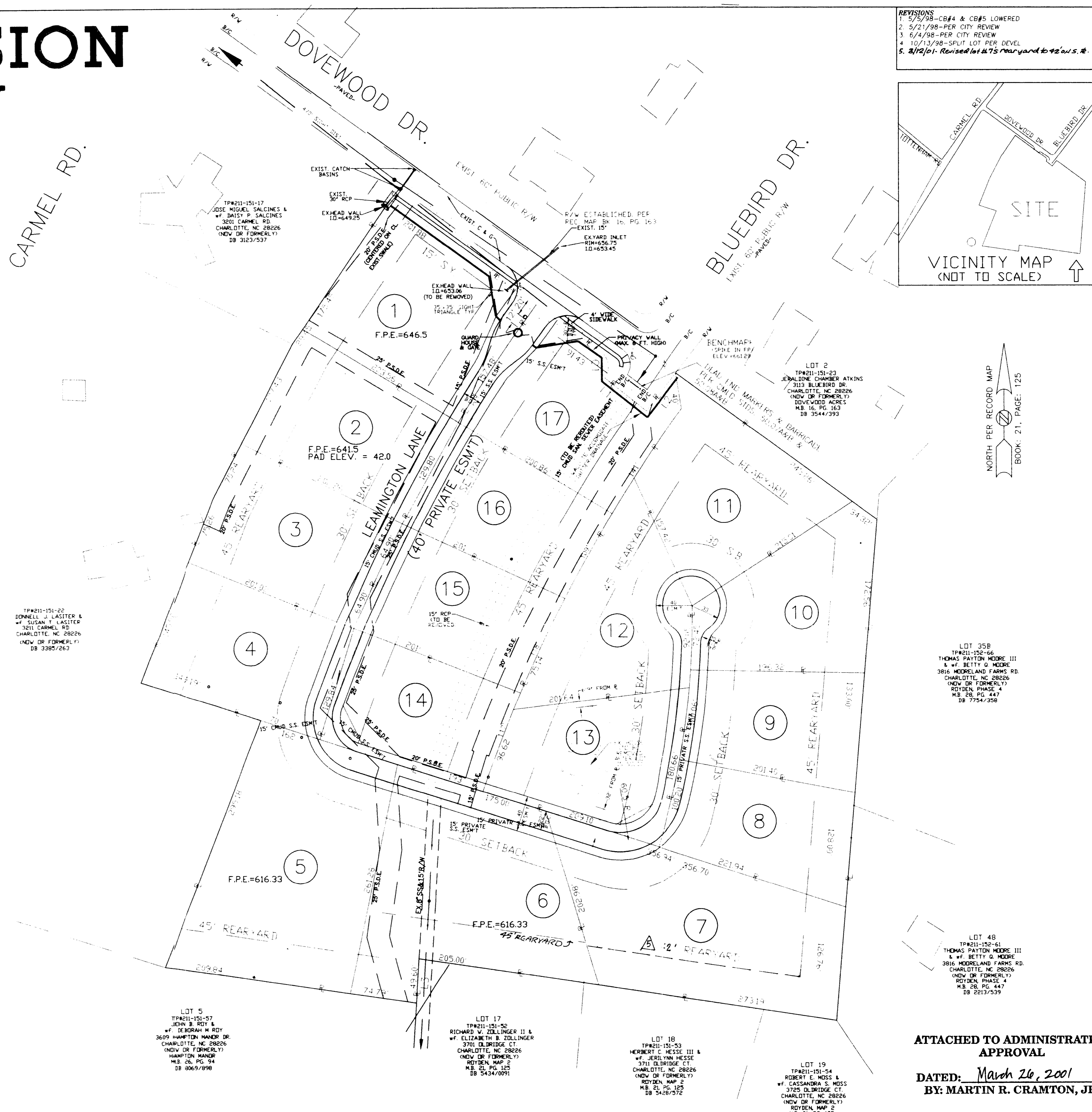
1. ANY ON SITE DEMOLITION LANDFILL REQUIRES THE ISSUANCE OF A PERMIT FROM THE MECKLENBURG COUNTY DEPARTMENT OF HEALTH & ENVIRONMENTAL PROTECTION AND THE MECKLENBURG COUNTY ZONING ADMINISTRATOR.
2. THE SPECIFIC LOCATION OF ON SITE DEMOLITION LANDFILLS WILL BE DETERMINED BY THE MECKLENBURG COUNTY DEPARTMENT OF HEALTH & ENVIRONMENTAL PROTECTION & THE MECKLENBURG COUNTY ZONING ADMINISTRATOR THROUGH THE PERMITTING PROCESS.
3. HANDICAP RAMP SHALL BE PROVIDED AT EACH STREET FROM INTERSECTION.
4. A 35' x 35' SIGHT TRIANGLE CONSTRUCTED PER C.M.D. 10.33A. LOCATIONS ARE SHOWN ON PLAN W/ HANDICAP SYMBOL PER.
5. THIS PROJECT'S APPROXIMATE COMPLETION DATE WILL BE FALL, 1999.
6. THIS DRAWING SHALL BE READ IN CONJUNCTION W/ ALL OTHER DRAWINGS IN THIS SET W/ ANY DISCREPANCIES BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER.
7. UNID. RIP RAP SHALL BE LAID BEYOND EVERY FLARED END SECTION FOR 10'-11' - AT LEAST THE RECEIVING CHANNEL WIDTH - 1" THICKNESS OF GRAVEL, OVER FILTER FABRIC, OR MIN. 4" OF #5 WASHED STONE ON STABLE SUBGRADE TOP.
8. CONTIGUOUS WERE FURNISHED TO THE # 330.
9. LAND DEVELOPMENT ENGINEER TO BE GIVEN 48 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
10. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH CITY INSPECTOR DEPARTMENT PRIOR TO CONSTRUCTION AT DOVEWOOD DRIVE.
11. DEVELOPER WILL PROVIDE STREET SIGNS PER C.M.D. 50.15 (IF SIGNS ONLY).
12. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED BY THE CITY INSPECTOR BASED ON FIELD CONDITIONS.
13. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. FURTHER REQUIREMENTS MAY BE MADE BY THE CHARLOTTE DEPARTMENT OF TRANSPORTATION IN ACCORDANCE WITH CITY CODE.
14. GRADING MORE THAN ONE ACRE WITHOUT A PERMIT IS A VIOLATION OF CITY CODE AND IS SUBJECT TO AN IMMEDIATE FINE.
15. GRADING AREAS OUTSIDE THE LIMITS SHOWN IS A VIOLATION OF CITY CODE AND IS SUBJECT TO AN IMMEDIATE FINE.
16. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE ADJACENT PROPERTY OWNERS.
17. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON CURB SUBSURFACE DRAINAGE FACILITIES. MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
18. PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC STORM DRAINAGE EASEMENTS ARE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
19. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWATER CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
20. AS-BUILT DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
21. DIRECT VEHICULAR ACCESS FROM LOT #11 TO DOVEWOOD DRIVE AND FROM LOT #17 TO BLUEBIRD DRIVE IS PROHIBITED.
22. MAINTENANCE OF FURNISHED DRIVE AND PRIVACY WALL SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION.
23. LOTS SHALL NOT BE CLEAR CUT. BUILDERS SHALL SAVE AS MANY TREES AS IS REASONABLY POSSIBLE.
24. NO CONSTRUCTION TRAFFIC WILL PARK ON DOVEWOOD DRIVE ONCE THE PROPOSED LEAMINGTON LANE IS BUILT.
25. DEVELOPMENT OF THIS SUBDIVISION SHALL BE IN ACCORDANCE WITH ALL CONDITIONAL REQUIREMENTS OF APPROVED REZONING PETITION #98-72.

CONDITIONAL REZONING NOTES:

1. THE PROPOSED SITE PLAN REPRESENTS THE ANTICIPATED, PREFERRED ARRANGEMENT OF SINGLE FAMILY LOTS AND PRIVATE STREET LAYOUT. HOMEOWNER VARIATIONS REGARDING THE SIZE, SHAPE, AND ARRANGEMENT OF LOTS AS WELL AS THE LOCATION OF THE STREET ARE PERMITTED AS A MATTER OF RIGHT. IN NO EVENT, THOUGH, SHALL THERE BE ANY INCREASE IN THE NUMBER OF SINGLE FAMILY LOTS FROM THAT SHOWN.
2. THE PROPOSED DEVELOPMENT SHOWN SHALL COMPLY WITH ALL APPLICABLE ZONING AND SUBDIVISION REGULATIONS AND REQUIREMENTS.
3. VEHICULAR ACCESS TO THE SITE SHALL BE RESTRICTED TO ONE PRIVATE STREET CONNECTION TO DOVEWOOD DRIVE AS SHOWN. THE STREET SHALL BE TERMINATED AS A DEAD-END. THE STREET SHALL BE DESIGNED WITH A 40 FOOT RIGHT-OF-WAY DIMENSION AND SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION, WHICH SHALL BE ESTABLISHED AS PERMITTED BY SECTION 11.208 OF THE CITY OF CHARLOTTE ZONING ORDINANCE. THE DEVELOPMENT SHALL UTILIZE VARIOUS INNOVATIVE DEVELOPMENT AND DIMENSIONAL STANDARDS DESIGNED TO SPECIFICALLY ACCOMMODATE THE PROPOSED DEVELOPMENT. THESE STANDARDS SHALL BE LIMITED TO STREET FINE AND CONSTRUCTION STANDARDS, PUBLIC STREET FRONTAGE, OPEN SPACE, AND WALL HEIGHT.
4. THE ONLY USE THAT SHALL BE PERMITTED IS A SINGLE FAMILY DWELLING AND ASSOCIATED ANGLARY STRUCTURES. A MAXIMUM OF ONLY 17 LOTS SHALL BE ALLOWED.
5. ALL LOTS SHALL UTILIZE THE R-3 DIMENSIONAL STANDARDS FOR SETBACKS, SIDE YARDS AND REAR YARDS.
6. THE DEVELOPER SHALL PROVIDE A 4 FOOT SIDEWALK AND 4 FOOT PLANTING STRIP ALONG THE SITE'S DOVEWOOD DRIVE AND BLUEBIRD DRIVE FRONTAGE AS REQUIRED BY THE SUBDIVISION ORDINANCE REGULATIONS.
7. THE MINIMUM REAR YARD FOR ALL LOTS SHALL BE 45 FEET (SAME AS R-3 DISTRICT). THE MINIMUM SIDE YARD FOR LOTS ALONG DOVEWOOD DRIVE AND BLUEBIRD DRIVE SHALL BE 15 FEET.
8. PUBLIC EMERGENCY AND SANITATION VEHICLES SHALL BE PERMITTED ACCESS TO THE SITE.
9. THE PRIVATE STREET IS PART OF THE DIMENSIONAL STANDARD FOR EACH LOT. AN EASEMENT AGREEMENT SHALL BE RECORDED TO ALLOW FOR ACCESS ACROSS EACH LOT.
10. TREES ARE CONSIDERED A SIGNIFICANT DEVELOPMENT ASSET. LOTS WILL NOT BE CLEAR CUT AND AS MANY TREES AS IS REASONABLY POSSIBLE SHALL BE SAVED BY THE HOME BUILDERS. THIS CONDITION WILL BE INCORPORATED INTO THE ARCHITECTURAL REVIEW AND APPROVAL PROCESS OF THE HOMEOWNERS ASSOCIATION.
11. NO CONSTRUCTION TRAFFIC WILL PARK ON DOVEWOOD DRIVE ONCE THE PROPOSED PRIVATE STREET IS BUILT.
12. NO CHAIN LINK FENCE SHALL BE ALLOWED ALONG THE PROPERTY PERIMETERS. (TEMPORARY CL FENCE MAY BE USED AT PROJECT ENTRANCE DURING CONSTRUCTION).

| LINE CHART | | |
|------------|---------------|----------|
| NUMBER | DIRECTION | DISTANCE |
| L1 | S 51°35'56" E | 60.00' |
| L2 | N 38°24'04" E | 54.02' |
| L3 | S 03°32'55" W | 49.60' |

| CURVE CHART | | | |
|-------------|-------|-------|---------------------|
| NUMBER | R= | L= | Ch= |
| C1 | 20.02 | 31.45 | S 06°35'56" E 28.31 |



LOT 35B
 TRP#211-151-06
 THOMAS PATTON MCCRE III
 & W/ BETTY G. MCCRE
 3816 HIGHLAND FARMS RD.
 CHARLOTTE, NC 28206
 (NEW OR FORMERLY)
 RYDLEN POOL #2
 M.B. PL. PG. 147
 DB 7754/358

LOT 48
 TRP#211-151-06
 THOMAS PATTON MCCRE III
 & W/ BETTY G. MCCRE
 3816 HIGHLAND FARMS RD.
 CHARLOTTE, NC 28206
 (NEW OR FORMERLY)
 RYDLEN POOL #2
 M.B. PL. PG. 147
 DB 2217/339

LOT 19
 TRP#211-151-04
 ROBERT E. HESSE III &
 W/ CASSANDRA S. HESSE
 3725 OLDRIDGE CT.
 CHARLOTTE, NC 28226
 (NEW OR FORMERLY)
 RYDLEN MAP #2
 M.B. PL. PG. 125
 DB 3428/372

LOT 17
 TRP#211-151-07
 JOHN B. ROY &
 W/ J. BROWN H. ROY
 807 HARTMAN MANOR DR.
 CHARLOTTE, NC 28226
 (NEW OR FORMERLY)
 HARTMAN MANOR
 M.B. PL. PG. 74
 DB 8069/798

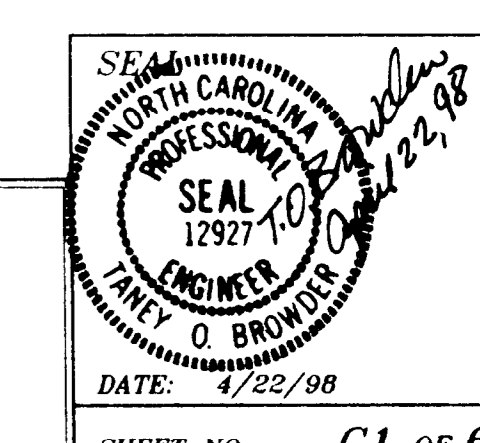
LOT 17
 TRP#211-151-02
 RICHARD W. ZILLINGER II &
 W/ ELIZABETH B. ZILLINGER
 3701 OLDRIDGE CT.
 CHARLOTTE, NC 28226
 (NEW OR FORMERLY)
 RYDLEN MAP #2
 M.B. PL. PG. 125
 DB 3424/391

LOT 19
 TRP#211-151-04
 ROBERT E. HESSE III &
 W/ CASSANDRA S. HESSE
 3725 OLDRIDGE CT.
 CHARLOTTE, NC 28226
 (NEW OR FORMERLY)
 RYDLEN MAP #2
 M.B. PL. PG. 125
 DB 3428/372

ATTACHED TO ADMINISTRATIVE APPROVAL
 DATED: March 26, 2001
 BY: MARTIN R. CRAMTON, JR.

1998-22

| | | |
|---|---|--|
| BURNELL ASSOCIATES CIVIL & STRUCTURAL ENGINEERS 1300 EAST 4TH ST. SUITE 302 CHARLOTTE, N.C. 28204-2231 PHONE: 704/375-9638 | CLIENT ELROD CONSTRUCTION CO. | DESCRIPTION SUBDIVISION PLAN DRAWN BY: TANEY O. BROWDER, P.E. SCALE: 1" = 60' JOB No.: C01LE.ELROD.DOVEWOOD.SUBDIV.TOPOSURV.DWG DATE: 4/22/98 SHEET NO. C1 OF 6 |
| | PROJECT DOVEWOOD SUBDIVISION CHARLOTTE, NC | |



CHARLOTTE-MECKLENBURG PLANNING COMMISSION INTER-OFFICE COMMUNICATION

DATE: March 26, 2001

TO: Robert Brandon, Zoning Administrator

FROM: Martin R. Cramton, Jr., Planning Director

SUBJECT: Administrative Approval for Petition No. 98-22 Elrod Construction Company; Tax Parcels 211-151-06 & 07

Attached is a revised site plan for the above conditional rezoning indicating a rear yard reduction, per innovative standards. The plan has been revised to reflect a 42 foot required rear yard on Lot #7. The Zoning Committee of the Planning Commission has granted approval for this modification. Since this change is minor, I am administratively approving this required rear yard reduction. Please use this revised plan when evaluating requests for building permits and certificates of occupancy.

DOVEWOOD SUBDIVISION

A PRIVATE COMMUNITY

DEVELOPED BY:

ELROD CONSTRUCTION

INDEX OF SHEETS

- C1 OF 6 SUBDIVISION PLAN
- C2 OF 6 STREET & STORM DRAINAGE PROFILES
- C3 OF 6 GRADING & STORM DRAINAGE PLAN
- C4 OF 6 DRAINAGE BASIN & EROSION CONTROL PLAN
- C5 OF 6 EROSION CONTROL DETAILS
- C6 OF 6 DEVELOPMENT DETAILS

DEVELOPMENT DATA

ZONING MX-1 INNOVATIVE (REZONING PETITION #98-72)
 MIN. WIDTH 10'
 MIN. SETBACK 30'
 MIN. REAR YARD... 45'
 MIN. SIDE YARD... 6'
 MIN. LOT AREA... 10,000 SF
 TOTAL AREA..... 12.098 AC.
 NUMBER OF LOTS... 17
 DENSITY 1.41 LOTS/ACRE

GENERAL SHEET NOTES

1. ANY ON SITE DEMOLITION LANDFILL REQUIRES THE ISSUANCE OF A PERMIT FROM THE MECKLENBURG COUNTY DEPT. OF HEALTH & ENVIRONMENTAL PROTECTION AND THE MECKLENBURG COUNTY ZONING ADMINISTRATOR.
2. THE SPECIFIC LOCATION OF ON SITE DEMOLITION LANDFILLS WILL BE DETERMINED BY THE MECKLENBURG CO. DEPARTMENT OF HEALTH & ENVIRONMENTAL PROTECTION & THE MECKLENBURG COUNTY ZONING ADMINISTRATOR THROUGH THE PERMITTING PROCESS.
3. A 15' x 35' SIGHT TRIANGLE SHALL BE PROVIDED AT EACH STREET ROW INTERSECTION.
4. HANDICAP RAMPS ARE TO BE CONSTRUCTED PER 0402.10.33A. LOCATIONS ARE SHOWN ON PLAN W/ HANDICAP SYMBOL, I.P.S.
5. THIS PROJECT'S APPROXIMATE COMPLETION DATE WILL BE FALL 1999.
6. THIS DRAWING SHALL BE READ IN CONJUNCTION W/ ALL OTHER DRAWINGS IN THIS SET.
7. ANY DISCREPANCIES BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER.
8. UNTO RIP RAP SHALL BE LAID BEYOND EVERY FLARED END SECTION FOR 10'-11' AT LEAST THE RECEIVING CHANNEL WITH 12" THICKNESS OF CLASS 1 OVER FILTER FABRIC OF MIN. 4" OR 6" MESH SIZE ON STABLE SUBGRADE TOP.
9. CONTOURS WERE TAKEN FROM COUNTY TOPO # 232.
10. LAND DEVELOPMENT ENGINEER TO BE GIVEN 48 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
11. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH CITY INSPECTOR.
12. ALL ROAD IMPROVEMENTS TO BE COORDINATED WITH CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION AT DOVEWOOD DRIVE.
13. DEVELOPER WILL PROVIDE STREET SIGNS PER CALDS 50.05 (9' SIGNS ONLY).
14. IN ROLLING AND BELLY TERRAINS, SLOPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED BY THE CITY INSPECTOR BASED ON FIELD CONDITIONS.
15. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. FURTHER REQUIREMENTS MAY BE MADE BY THE CHARLOTTE DEPARTMENT OF TRANSPORTATION IN ACCORDANCE WITH CITY CODE.
16. GRADING MORE THAN ONE ACRE WITHOUT A PERMIT IS A VIOLATION OF CITY CODE AND IS SUBJECT TO AN IMMEDIATE FINE.
17. GRADING AREAS OUTSIDE THE LIMITS SHOWN IS A VIOLATION OF CITY CODE AND IS SUBJECT TO AN IMMEDIATE FINE.
18. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
19. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON CURBS.
20. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DETERMINED NECESSARY BY THE INSPECTOR.
21. PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC STORM DRAINAGE EASEMENTS ARE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
22. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKSWAMP CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TWIGS, JUNK AND OTHER ACCUMULATIONS.
23. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY OF CHARLOTTE SUBDIVISION ORDINANCE.
24. NON-STANDARD ITEMS (IE. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A ROW ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
25. DIRECT VEHICULAR ACCESS FROM LOT NO'S 1 & 17 TO DOVEWOOD DRIVE AND FROM LOT #11 TO BLUEBIRD DRIVE IS PROHIBITED.
26. MAINTENANCE OF LEANING LANE AND PRIVACY WALL SHALL BE THE RESPONSIBILITY OF THE HOMEOWNER'S ASSOCIATION.
27. LOTS SHALL NOT BE CLEAR CUT. BUILDERS SHALL SAVE AS MANY TREES AS IS REASONABLY POSSIBLE.
28. NO CONSTRUCTION TRAFFIC WILL PARK ON DOVEWOOD DRIVE ONCE THE PROPOSED LEANING LANE IS BUILT.
29. DEVELOPMENT OF THIS SUBDIVISION SHALL BE IN ACCORDANCE WITH ALL CONDITIONAL REQUIREMENTS OF APPROVED REZONING PETITION #98-72.

CONDITIONAL REZONING NOTES:

1. THE PROPOSED SITE PLAN REPRESENTS THE ANTICIPATED, PREFERRED ARRANGEMENT OF SINGLE FAMILY LOTS AND PRIVATE STREET LAYOUT. HOWEVER MINOR VARIATIONS REGARDING THE SIZE, SHAPE, AND ARRANGEMENT OF LOTS AS WELL AS THE LOCATION OF THE STREET ARE PERMITTED AS A MATTER OF RIGHT IN NO EVENT, HOWEVER, SHALL THERE BE ANY INCREASE IN THE NUMBER OF SINGLE FAMILY LOTS FROM THAT SHOWN.
2. THE PROPOSED DEVELOPMENT SHOWN SHALL COMPLY WITH ALL APPLICABLE ZONING AND SUBDIVISION REGULATIONS AND REQUIREMENTS.
3. VEHICULAR ACCESS TO THE SITE SHALL BE RESTRICTED TO ONE PRIVATE STREET CONNECTION TO DOVEWOOD DRIVE AS SHOWN. THE STREET SHALL BE TERMINATED AS A CUL-DE-SAC. THE STREET SHALL BE DESIGNED WITH A 40 FOOT RIGHT-OF-WAY DIMENSION AND SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION, WHICH SHALL BE ESTABLISHED.
4. AS PERMITTED BY SECTION 11.208 OF THE CITY OF CHARLOTTE ZONING ORDINANCE, THE DEVELOPMENT SHALL UTILIZE VARIOUS INNOVATIVE DEVELOPMENT AND DIMENSIONAL STANDARDS DESIGNED TO SPECIFICALLY ACCOMMODATE THE PROPOSED DEVELOPMENT. THESE STANDARDS SHALL BE LIMITED TO STREET TYPE AND CONSTRUCTION STANDARDS, PUBLIC STREET FRONTAGE OPEN SPACE, AND WALL HEIGHT.
5. THE ONLY USE THAT SHALL BE PERMITTED IS A SINGLE FAMILY DWELLING AND ASSOCIATED ANCILLARY STRUCTURES. A MAXIMUM OF ONLY 17 LOTS SHALL BE ALLOWED.
6. ALL LOTS SHALL UTILIZE THE R-3 DIMENSIONAL STANDARDS FOR SETBACKS, SIDE YARDS, AND REAR YARDS.
7. THE DEVELOPER SHALL PROVIDE A 4 FOOT SIDEWALK AND 4 FOOT PLANTING STRIP ALONG THE SITE'S DOVEWOOD DRIVE AND BLUEBIRD DRIVE FRONTAGE AS REQUIRED BY THE SUBDIVISION ORDINANCE REGULATIONS.
8. THE MINIMUM REAR YARD FOR ALL LOTS SHALL BE 45 FEET (SAME AS R-3 DISTRICT). THE MINIMUM SIDE YARD FOR LOTS ALONG DOVEWOOD DRIVE AND BLUEBIRD DRIVE SHALL BE 15 FEET.
9. PUBLIC EMERGENCY AND SANITATION VEHICLES SHALL BE PERMITTED ACCESS TO THE SITE.
10. THE PRIVATE STREET IS PART OF THE DIMENSIONAL STANDARD FOR EACH LOT. AN EASEMENT AGREEMENT SHALL BE RECORDED TO ALLOW FOR ACCESS ACROSS EACH LOT.
11. TREES ARE CONSIDERED A SIGNIFICANT DEVELOPMENT ASSET. LOTS WILL NOT BE CLEAR CUT AND AS MANY TREES AS IS REASONABLY POSSIBLE SHALL BE SAVED BY THE HOME BUILDERS. THIS CONDITION WILL BE INCORPORATED INTO THE ARCHITECTURAL REVIEW AND APPROVAL PROCESS OF THE HOMEOWNERS ASSOCIATION.
12. NO CONSTRUCTION TRAFFIC WILL PARK ON DOVEWOOD DRIVE ONCE THE PROPOSED PRIVATE STREET IS BUILT.
13. NO CHAIN LINK FENCE SHALL BE ALLOWED ALONG THE PROPERTY PERIMETERS. (TEMPORARY C.L. FENCE MAY BE USED AT PROJECT ENTRANCE DURING CONSTRUCTION.)

| NUMBER | DIRECTION | DISTANCE |
|--------|---------------|----------|
| L1 | S 51°35'56" E | 60.00' |
| L2 | N 38°24'04" E | 54.02' |
| L3 | S 03°32'55" W | 49.60' |

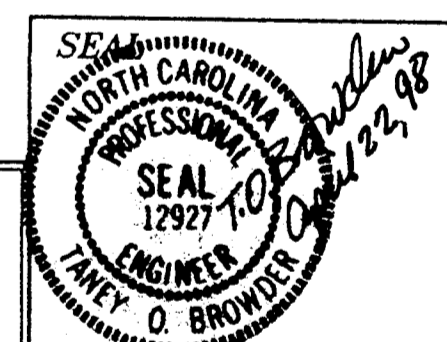
| NUMBER | R= | L= | Ch |
|--------|-------|-------|---------------------|
| C1 | 20.02 | 31.45 | S 06°35'56" E 28.31 |

BURNELL ASSOCIATES
 CIVIL & STRUCTURAL ENGINEERS
 1300 EAST 4TH ST. SUITE 302
 CHARLOTTE, N.C. 28204-2231
 PHONE: 704/376-9836

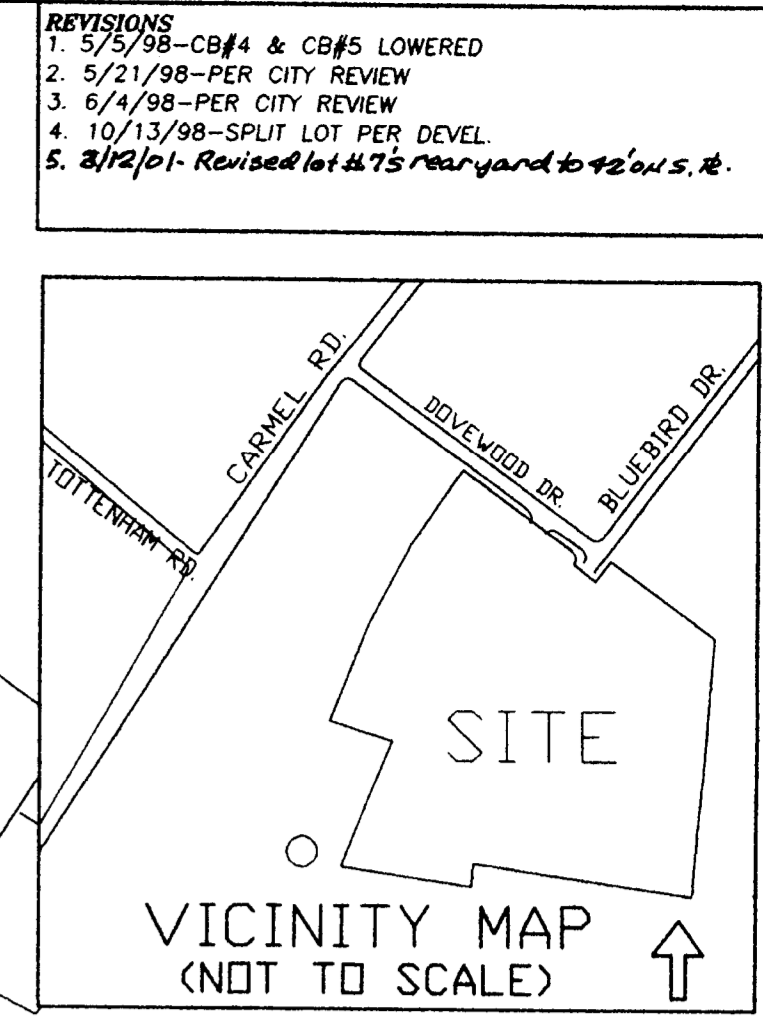
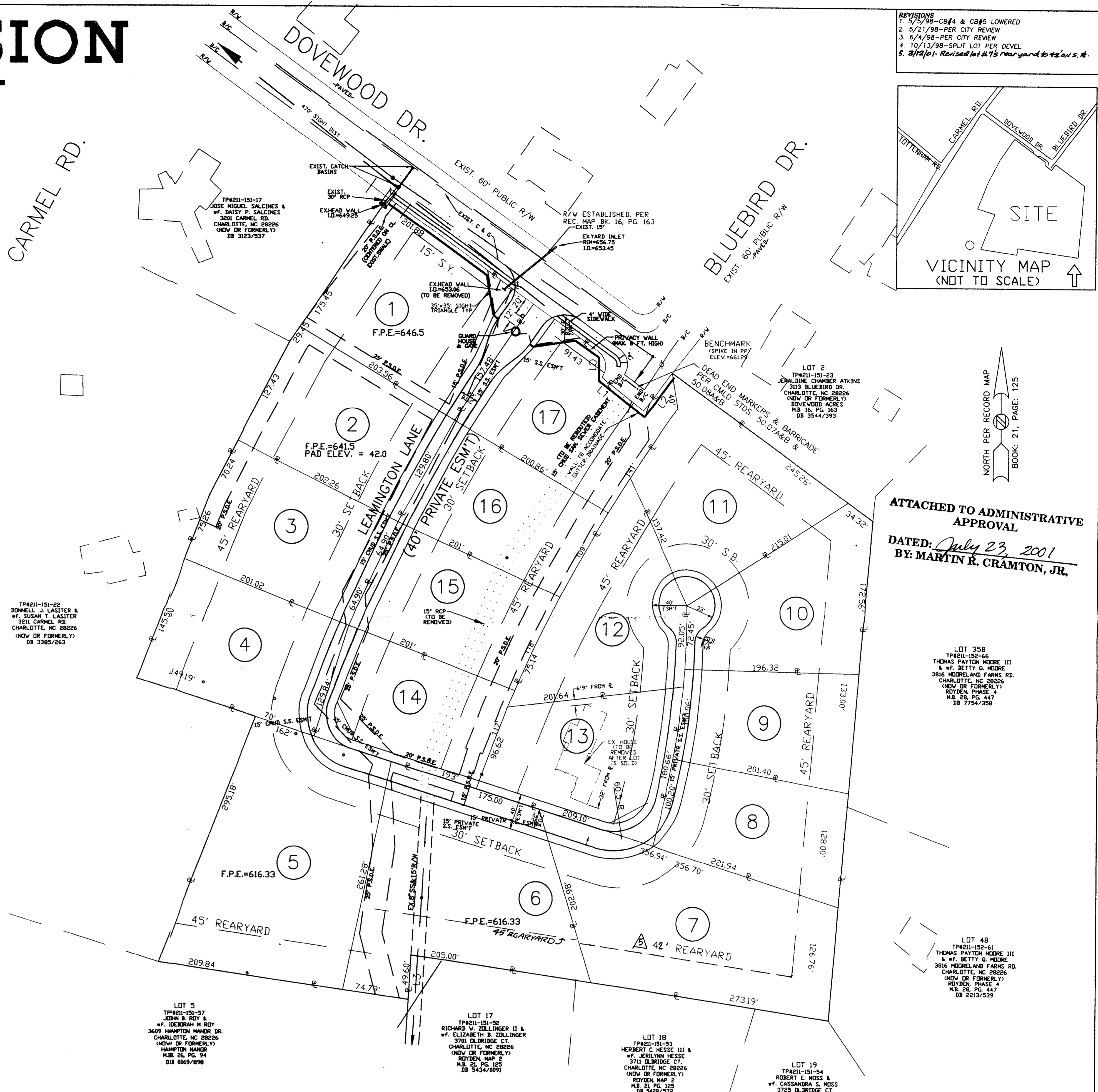
CLIENT
ELROD CONSTRUCTION CO.
 PROJECT
DOVEWOOD SUBDIVISION
 CHARLOTTE, NC

DESCRIPTION
SUBDIVISION PLAN

DRAWN BY: TANEY O. BROWDER, P.E.
 SCALE: 1" = 60'
 JOB No.: 200 PER. 0001/ELROD/DOVEWOOD SUBDIVISION/0001/0001/0001



DATE: 7/22/98
 SHEET NO. C1 OF 6



ATTACHED TO ADMINISTRATIVE APPROVAL
 DATED: July 23, 2001
 BY: MARTIN K. CRAMTON, JR.

CHARLOTTE - MECKLENBURG
 PLANNING COMMISSION
 INTER - OFFICE COMMUNICATION

DATE: July 24, 2001
 TO: Robert Brandon, Zoning Administrator
 FROM: Martin K. Cramton, Jr., Planning Director
 SUBJECT: Innovative site plan approval for Petition 98-22 by Elrod Construction Company.

Attached is a revised site plan for the afore-mentioned conditional rezoning indicating a rear yard reduction, per innovative standards. The plan has been revised to reflect a 42 foot required rear yard on Lot #7. The Zoning Committee of the Planning Commission approved this plan on July 23, 2001. Please use this plan when evaluating requests for building permits and certificates of occupancy.