




Charlotte-Mecklenburg Planning Department

DATE: May 21, 2015

TO: Mark Fowler
Zoning Supervisor

FROM: Ed McKinney
Interim, Planning
Director

\$F 

SUBJECT: Administrative Approval for Petition No. 1998-042C Erwin Capital and The Crosland Group.

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

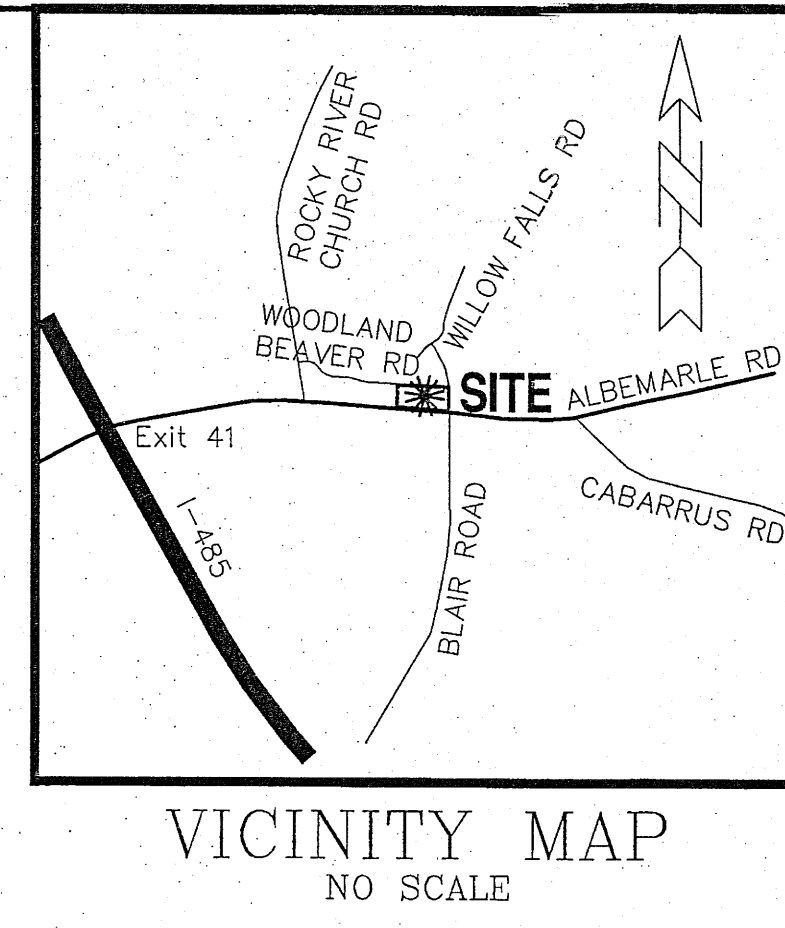
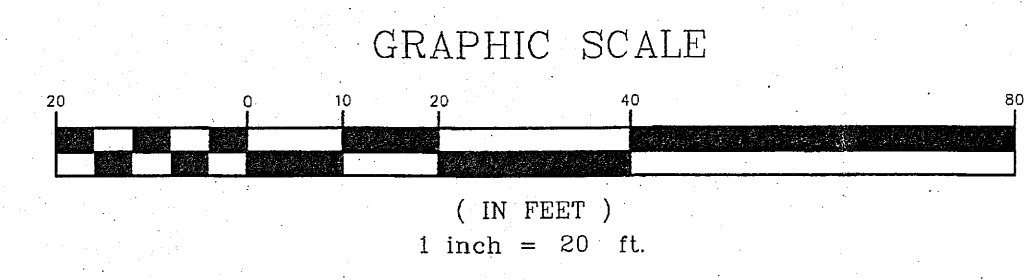
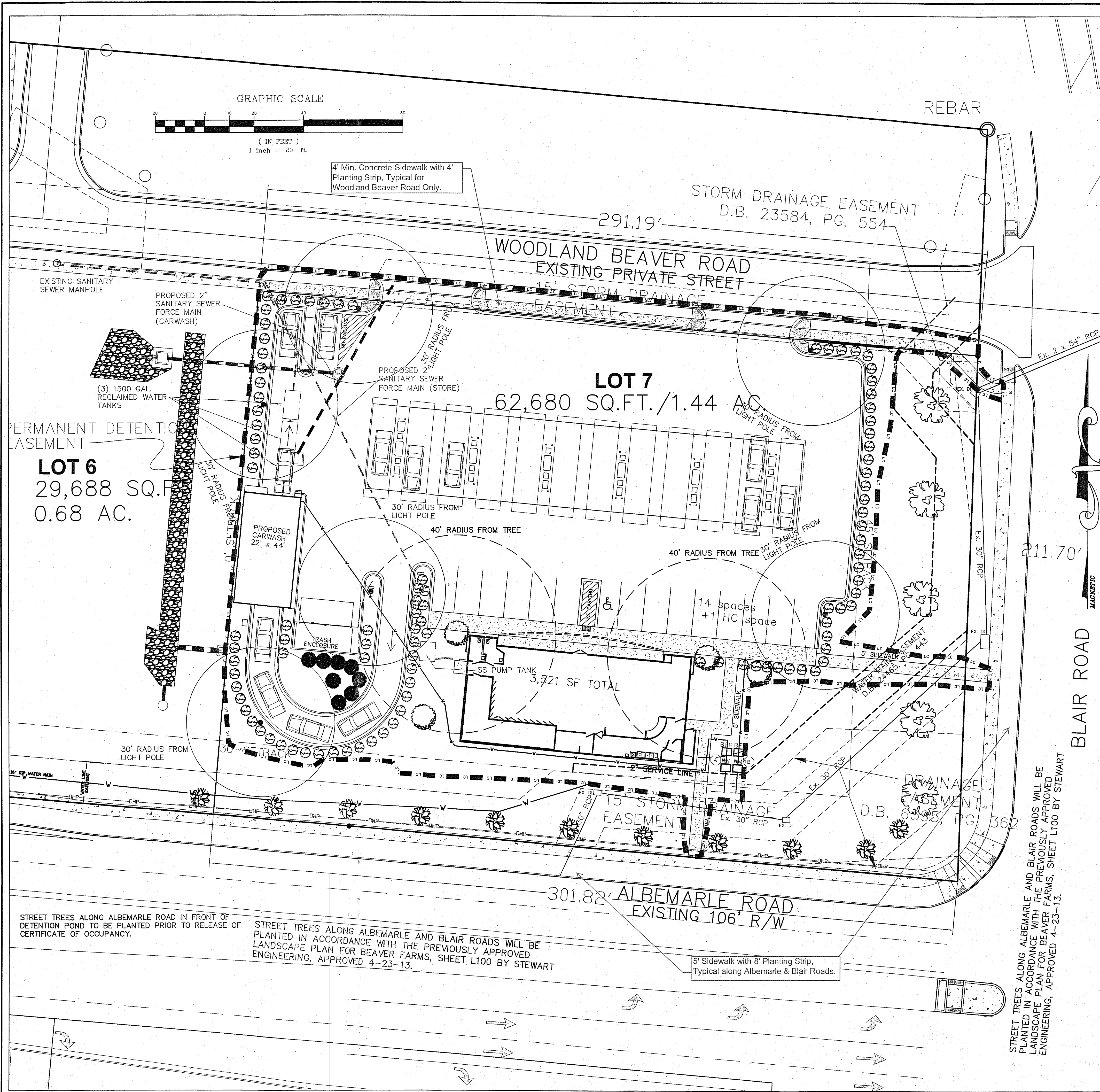
- Proposed building elevations for the proposed convenience store with accessory pumps.

Reasons for Staff's support of the request:

- The site plan complies with the conditional notes and still meets the intent of the approved site plan by the County Commissioners.

Note: All other Zoning, Subdivision, Tree Ordinances, conditional requirements, and Building Codes still apply.

Signage was note reviewed as part of this request.



- PROPOSED LARGE MATURING SHADE TREE, PER OMLD/URBAN FORESTRY APPROVED LIST. 2" MIN. CALIPER. 4 TOTAL.
 - PROPOSED EVERGREEN TREES, PER OMLD/URBAN FORESTRY APPROVED LIST. 2" MIN. CALIPER. 8 TOTAL.
 - PROPOSED LARGE MATURING PERIMETER TREE, PER OMLD/URBAN FORESTRY APPROVED LIST. 3" MIN. CALIPER 8 TOTAL.
 - PROPOSED SMALL MATURING PERIMETER TREE PER OMLD/URBAN FORESTRY APPROVED LIST. 2" MIN. CALIPER 6 TOTAL.
 - PROPOSED SHRUB, PER OMLD/URBAN FORESTRY APPROVED LIST. 2.5' TALL WITH 2' MIN. SPREAD (99) INSTALL ON 5 FT CENTERS MINIMUM.
- NOTE: SHRUBS USED IN LANDSCAPING MUST BE EVERGREEN, AT LEAST 2 TO 2 1/2 FT TALL WITH A MINIMUM SPREAD OF 2 FT WHEN PLANTED & NO FURTHER APART THAN 5 FT. THEY MUST BE OF A VARIETY AND ADEQUATELY MAINTAINED SO THAT AN AVERAGE HEIGHT OF 5 TO 6 FT COULD BE EXPECTED AS NORMAL GROWTH WITHIN 4 YEARS OF PLANTING.

TREE CALCULATIONS:
NO OF EXISTING TREES: 0

PERIMETER TREE REQUIREMENTS:
ALBEMARLE ROAD / BLAIR ROAD PERIMETER TREES REQ'D:

TREE SAVE CALCULATIONS AND PERIMETER TREE REQUIREMENTS:
THERE IS NO NEED FOR TREE SAVE FOR THIS SITE. THE TREE SAVE REQUIREMENTS HAVE BEEN MET FOR THIS PARCEL ON A SEPARATE LANDSCAPE PLAN. ALBEMARLE AND BLAIR ROAD PERIMETER TREES PER APPROVED LANDSCAPE PLAN FOR BEAVER FARMS SHEET L100 PREPARED BY STEWART ENGINEERING, LDCR-2014-00020.

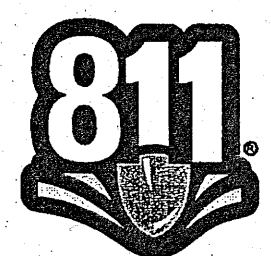
INTERNAL TREE PLANTING REQUIREMENTS:
IMPERVIOUS AREA: 37,509 SF
10% OF TOTAL IMPERVIOUS AREA PROVIDED FOR LANDSCAPE PURPOSES: 3,751 SF
INTERIOR TREES REQ'D: 4 LARGE MATURING SHADE TREES PER 10,000 SF
LARGE MATURING INTERIOR TREES PROVIDED: 4
NOTE: 75% OF TREES PLANTED SHALL BE LARGE MATURING

CONTINUOUS PERIMETER PLANTING STRIP, LOCATED ON PRIVATE PROPERTY ABUTTING THE PUBLIC RIGHT-OF-WAY, WITH A MINIMUM WIDTH OF EIGHT (8) FEET, SHALL BE REQUIRED. IF LARGE MATURING TREES ARE PLANTED, EACH TREE SHALL HAVE A MINIMUM TWO (2) INCH CALIPER. ONE SUCH TREE SHALL BE PLANTED FOR EVERY FORTY (40) FEET OF FRONTAGE OR FRACTION THEREOF. IF SMALL MATURING TREES ARE PLANTED, THE SAME CONDITIONS APPLY, BUT THE INCREMENT DROPS TO THIRTY (30) FEET.

- LANDSCAPE NOTES:**
1. MINIMUM TREE SIZE AT PLANTING IS 2-INCH CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 8 FEET TALL.
 2. UNLESS APPROVED BY URBAN FORESTRY STAFF ALL REQUIRED TREES MUST HAVE SINGLE STEM TRUNKS WITH NO CO-DOMINANT TRUNKS OR BRANCHES. TREE TRUNKS SHALL BE STRAIGHT IN FORM AND FREE OF DAMAGE OR CRACKS. PRUNING SHALL BE CALLED OVER. BRANCH LENGTH SHALL BE TYPICAL FOR THE TREES AGE AND NOT BE BROKEN, DISEASED, OR INJURED. ROOT FLARE SHALL BE LOCATED AT GRADE AND BE FREE OF ADVENTITIOUS ROOT GROWTH.
 3. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
 4. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 18" NEW TOPSOIL, OR TILL AND AMEND THE TOP 18" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET PER TREE).
 5. LARGE MATURING TREES MAY NOT BE PLANTED WHERE THERE ARE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
 6. A MINIMUM OF FIFTY (50) PERCENT OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN TWENTY (20) TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.
 7. ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES (SEWER AND STORM DRAINAGE, GAS, WATER, PHONE, AND ELECTRICAL LINES).
 8. SITE LIGHTING MUST BE A MINIMUM THIRTY (30) FEET AWAY FROM A TREE. IF PEDESTRIAN SCALE LIGHTING IS BEING USED, THEN LIGHTING MUST BE A MINIMUM OF FIFTEEN (15) FEET AWAY FROM A TREE, UNLESS APPROVED OTHERWISE BY THE CITY. SHOW SITE LIGHTING PLAN. NO LIGHT POLES IN TREE ISLANDS.
 9. ATTENTION LANDSCAPER: NOTIFY URBAN FORESTER OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES.
 10. PLEASE CALL 704-336-4330 FOR AN INSPECTION OF TREE PROTECTION AND/OR TREE PLANTING AREAS, 1 TO 2 DAYS BEFORE THE TEMPORARY OR FINAL CERTIFICATE OF OCCUPANCY IS NEEDED.
 11. COMMERCIAL TREE SAVE AREAS MUST BE RECORDED IN ACCORDANCE WITH THE APPROVED PLAN ON A FINAL PLAT AT THE REGISTER OF DEEDS OFFICE BEFORE URBAN FORESTRY HOLDS CAN BE RELEASED.
 12. LANDSCAPER TO MEET ON SITE WITH URBAN FORESTER PRIOR TO ANY PLANTING TO REVIEW CITY OF CHARLOTTE TREE PLANTING REQUIREMENTS. CALL 704-336-4330.
 13. PLANTING WITHIN NCDOT RIGHT-OF-WAY IS SUBJECT TO THE PROVISIONS OF THE NCDOT PLANTING PERMIT TO BE REQUESTED BY THE CONTRACTOR FROM THE ROADSIDE ENVIRONMENTAL ENGINEER, TIM SIMPSON, 704-982-1028.

ATTACHED TO ADMINISTRATIVE APPROVAL

MAY 21 2015



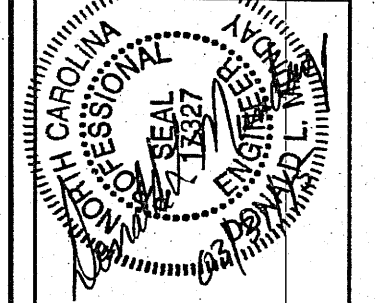
Know what's below. Call before you dig.

PIEDMONT DESIGN
ENGINEERING/SURVEYING/PLANNING
Associates, P.A.

101 Woodfield Center, 125 East Plaza Drive
Mooresville, North Carolina 28115
Phone: (704) 664-7888 Fax: (704) 664-1778 www.pdapa.com
NCBES License #: C-1007

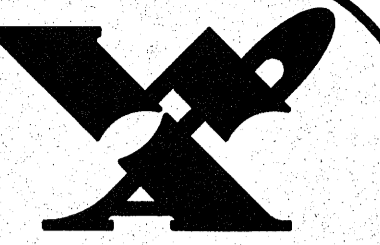
PREPARED FOR:
MARK OIL CO.
P.O. BOX 32064
CHARLOTTE, NC 28232
704-375-4249

LANDSCAPE PLAN
BP STATION BEAVER FARMS LOT 7
10950 WOODLAND BEAVER RD
CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA



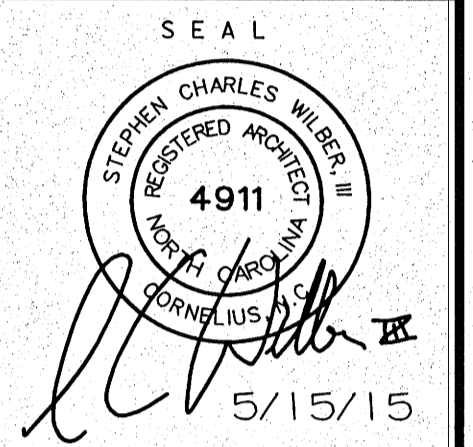
REVISIONS	BY
REV. PER COMMENTS BY CITY OF CHARLOTTE (2/25/15)	JHH
REV. PER COMMENTS BY CITY OF CHARLOTTE (2/25/15)	JHH

Date: 1/12/15
Scale: 1"=20 FT
1" CONTOURS
Drawn: JHH
Checked: DLM
Project: 2014-08-04
Job:
Sheet
LSCP-1
3/25/15



Wilber Associates
Architecture / Planning
 P.O. Box 428 - 20044 N. Zina St.
 Cornelius, N.C. 28031
 704-892-3633

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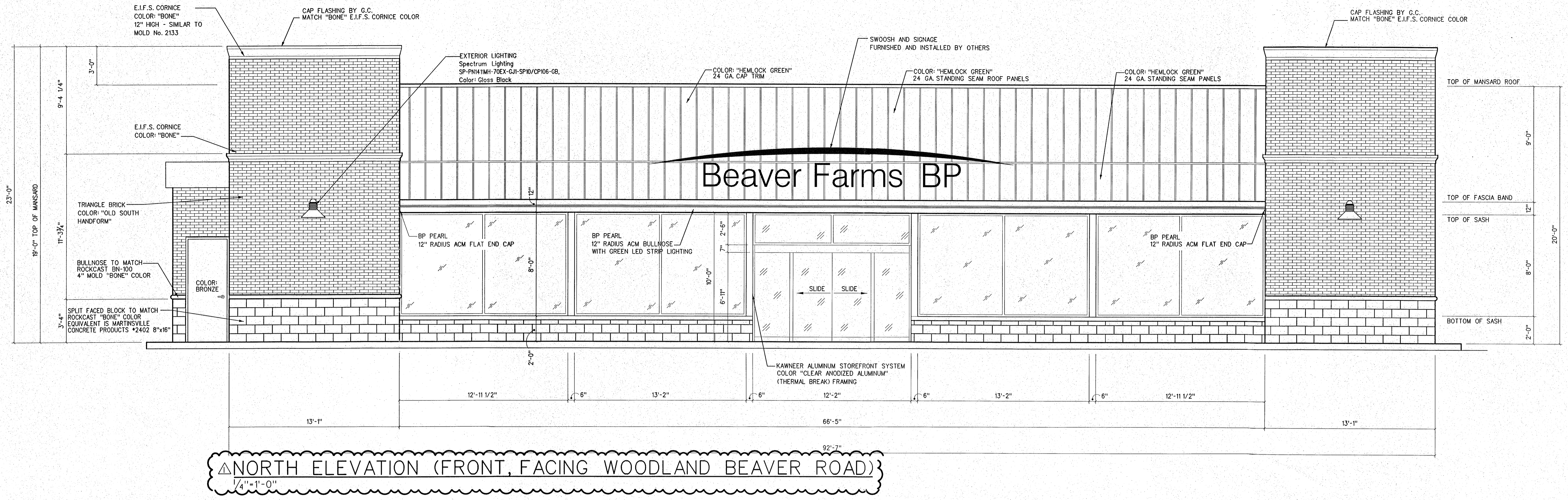
TITLE

NEW CONVENIENCE STORE AND CARWASH FOR
MARK OIL: BEAVER FARMS BP
 10950 WOODLAND BEAVER ROAD
 CHARLOTTE, NC

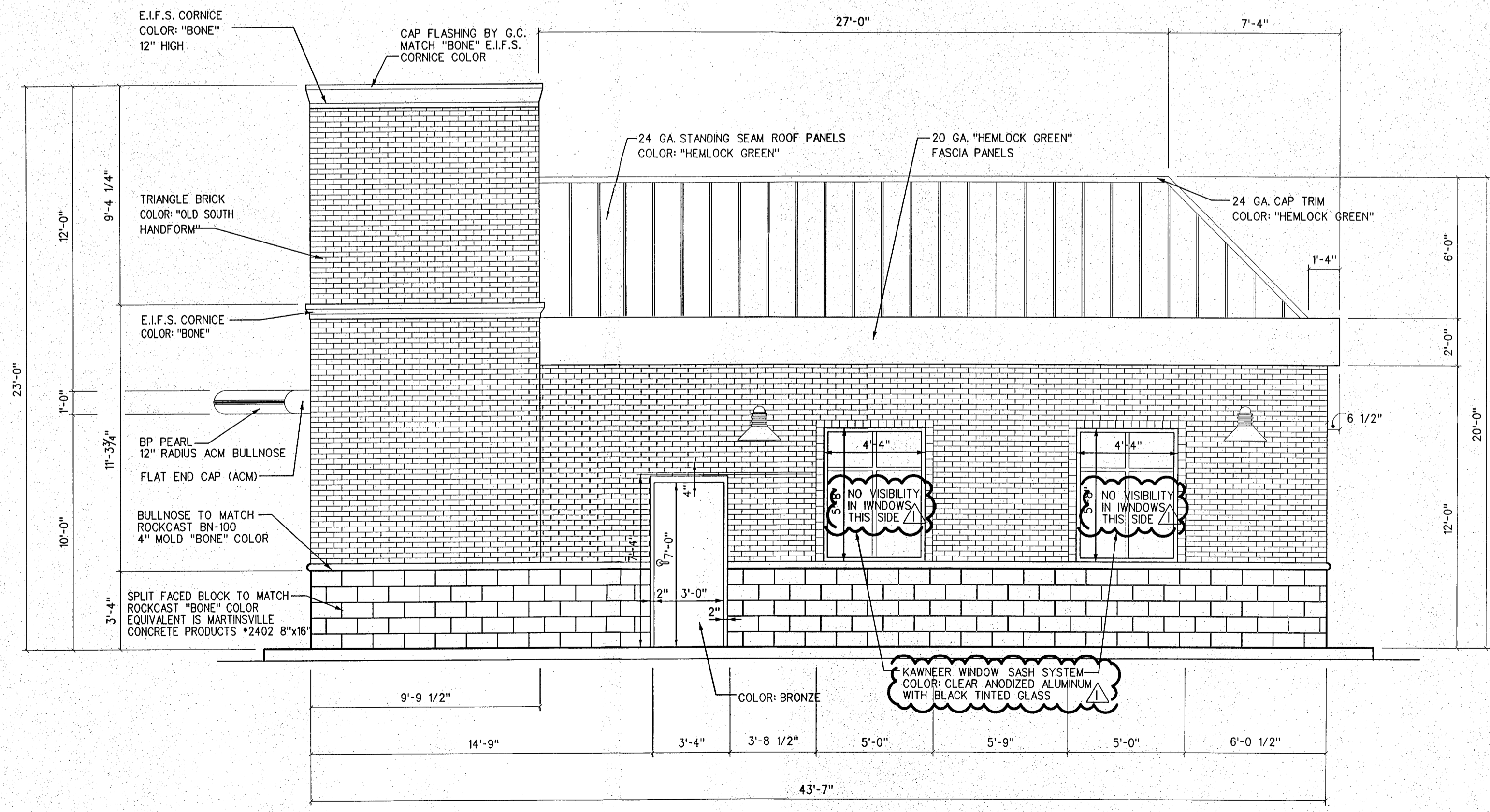
ELEVATIONS

COMM. NO. 1483
 DATE 2/20/15
 REVISIONS
 5/15/15

SHEET
A-3
 OF
 13



△ NORTH ELEVATION (FRONT, FACING WOODLAND BEAVER ROAD)
 1/4" = 1'-0"

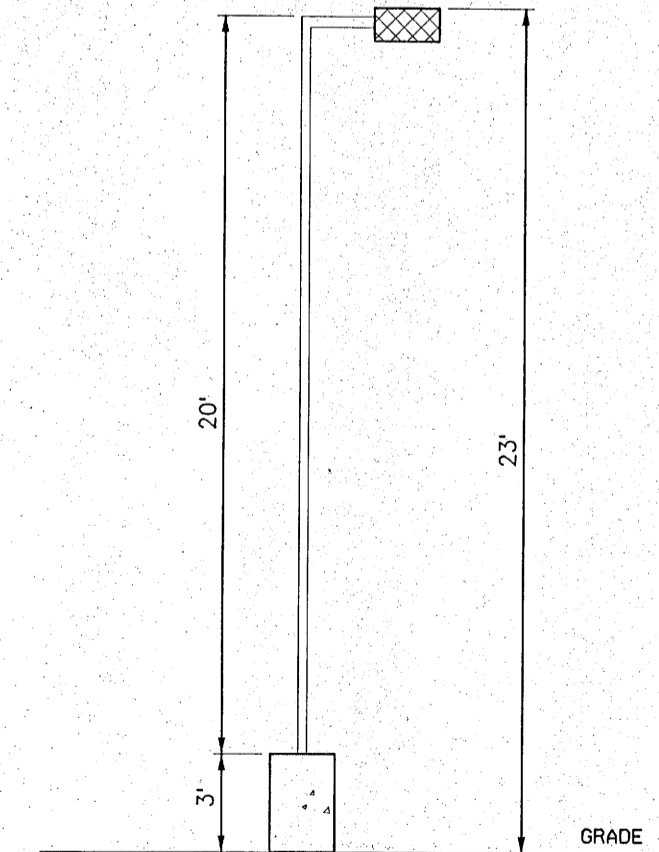


△ WEST ELEVATION (FACING DETENTION POND)
 1/4" = 1'-0"

Bill of Materials Beaver Farms

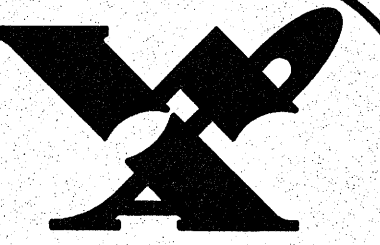
Bricks	Triangle Brick, Color: Old South Handform
Blocks	Split Faced, Rockcast Color: 'Bone', Equivalent is Martinsville Concrete Products #2402 8"x16"
Cornices	E.I.F.S. Cornice, Color: Bone (to match block), 12" High
Bullnoses	Bullnose, Rockcast Color: 'Bone', No. BN-100 4" mold
Mortar	ESSROL Cement Corp. Briment-in-color to match Bojangles mortar @ Beaver Farms (brick mortar only)
Mortar	Split-face and bullnose mortar to match color of block (Rockcast "bone")
Standing Seams	Berridge 24 GA. Standing Seam Roof Panels, Color: Hemlock Green
Bldg. Fascia	Berridge 20 GA. Pre-finished, Color: Hemlock Green Sheet Metal
Bldg. Fascia	Pre-finished ACM 12" Radius, Color: BP Pearl slotted for LED Green Strip
Window Sashes	Kawneer Aluminum, Color: Clear Anodized Aluminum
Decorative Light Fixtures	Spectrum Lighting SP-PNH1MH-70EX-GJ1-SP10/CP106-GB, Color: Gloss Black
Canopy Fascia	Pre-finished ACM 42", Color: BP Pearl with BP Green Bullnose 3D Decal and Green LED STRIP
Canopy columns	Materials to match Building Brick, Block and E.I.F.S. Cornice
Area Lightings	28' Tapered Area light pole (total height of pole with base not to exceed 25') LSI XGBM GreenBriar Series, COLOR: BRONZE LED area light fixtures. (see detail this sheet)

NOTE 1: COLOR OF AREA LIGHTS TO BE DARK BRONZE IN COLOR
 NOTE 2: AREA LIGHTING MAXIMUM HEIGHT IS 25'
 NOTE 3: ALL SIGNS REQUIRE SEPARATE REVIEW AND PERMITS



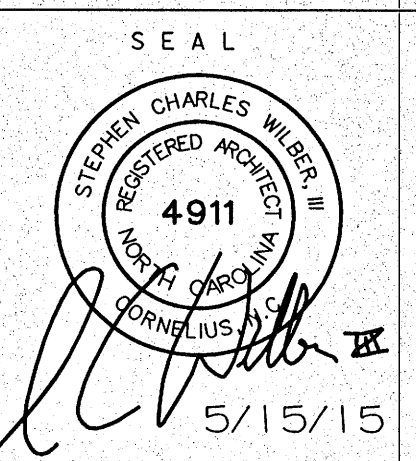
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MAY 21 2015



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 Architecture / Planning
 P.O. Box 428 - 20044 N. Zion St.
 Carolina, N.C. 28051
 704-892-2653

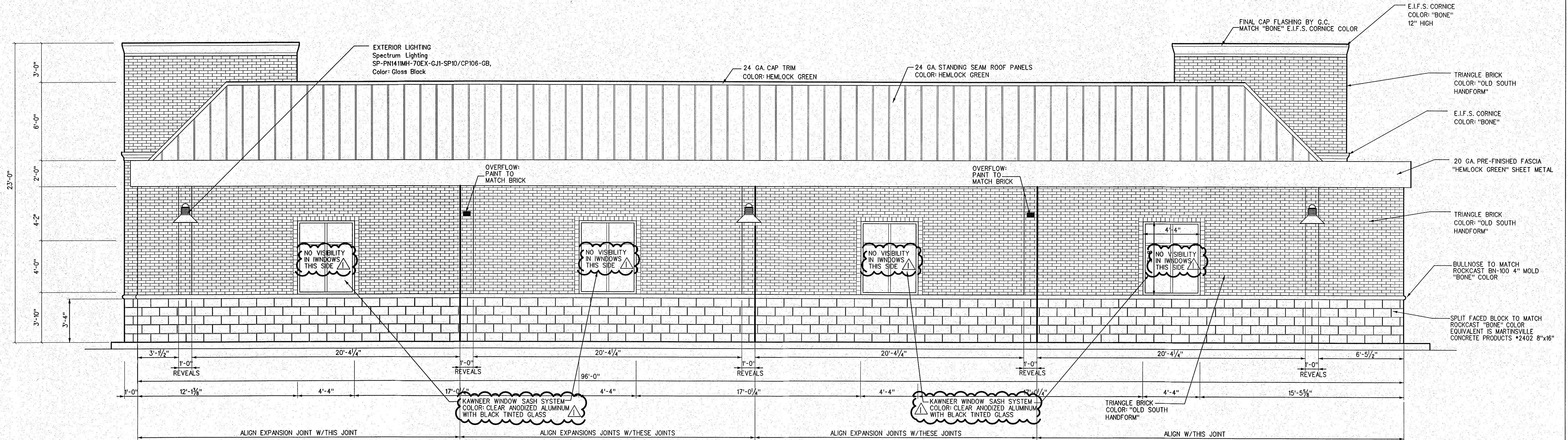
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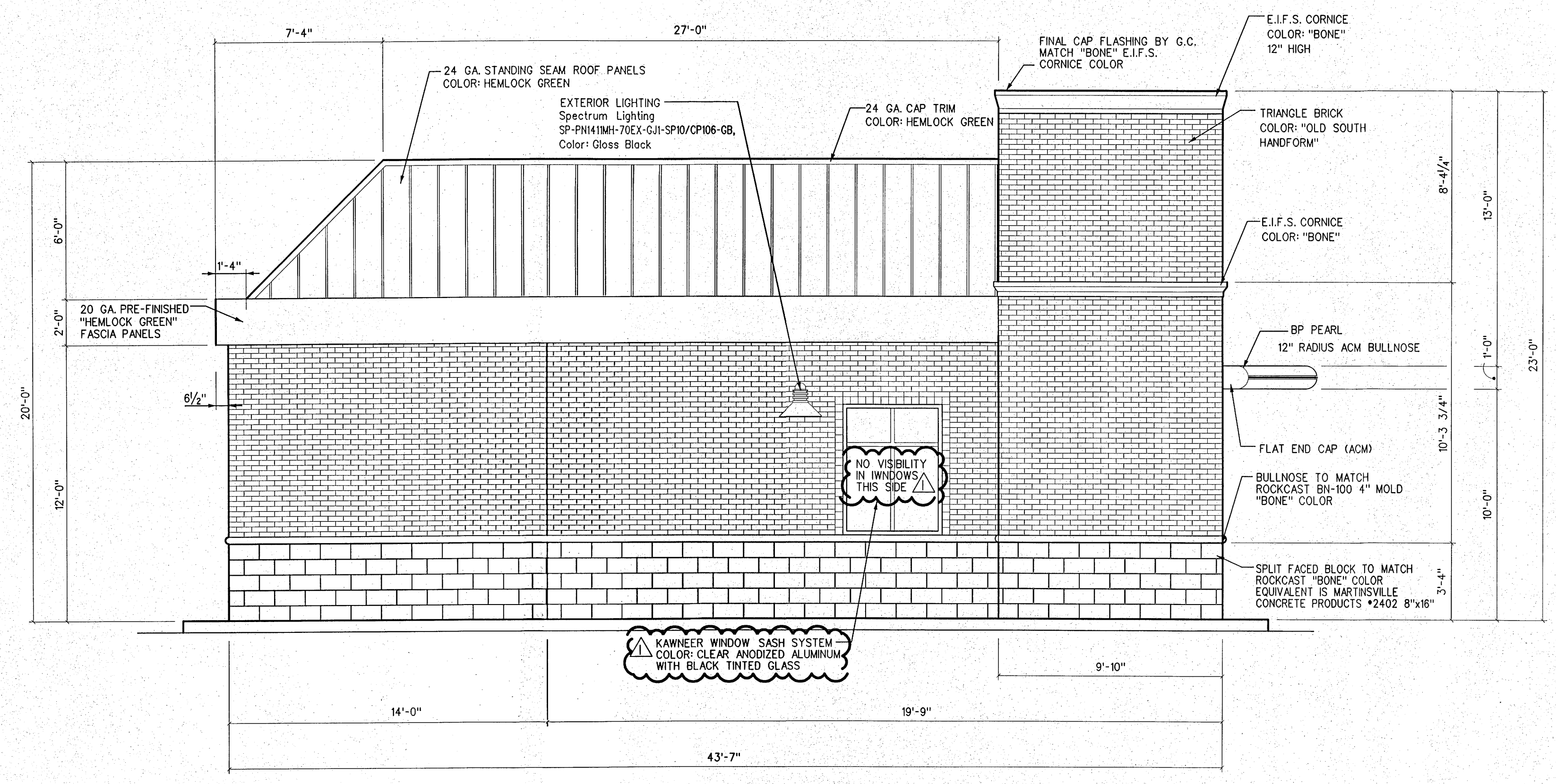
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 CHARLOTTE, NC

ELEVATIONS
 COMM. NO. 1483
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 REVISIONS
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SHEET
A-4
 OF
 13

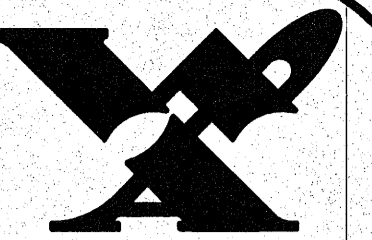


△ SOUTH ELEVATION (REAR, FACING ALBERMARLE ROAD)
 1/4" = 1'-0"



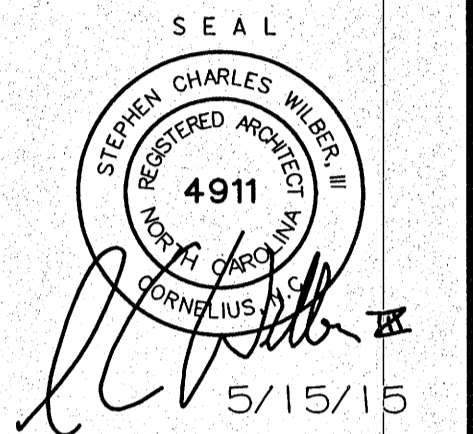
△ EAST ELEVATION (FACING BLAIR ROAD)
 1/4" = 1'-0"

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 Cornelius, N.C. 28031
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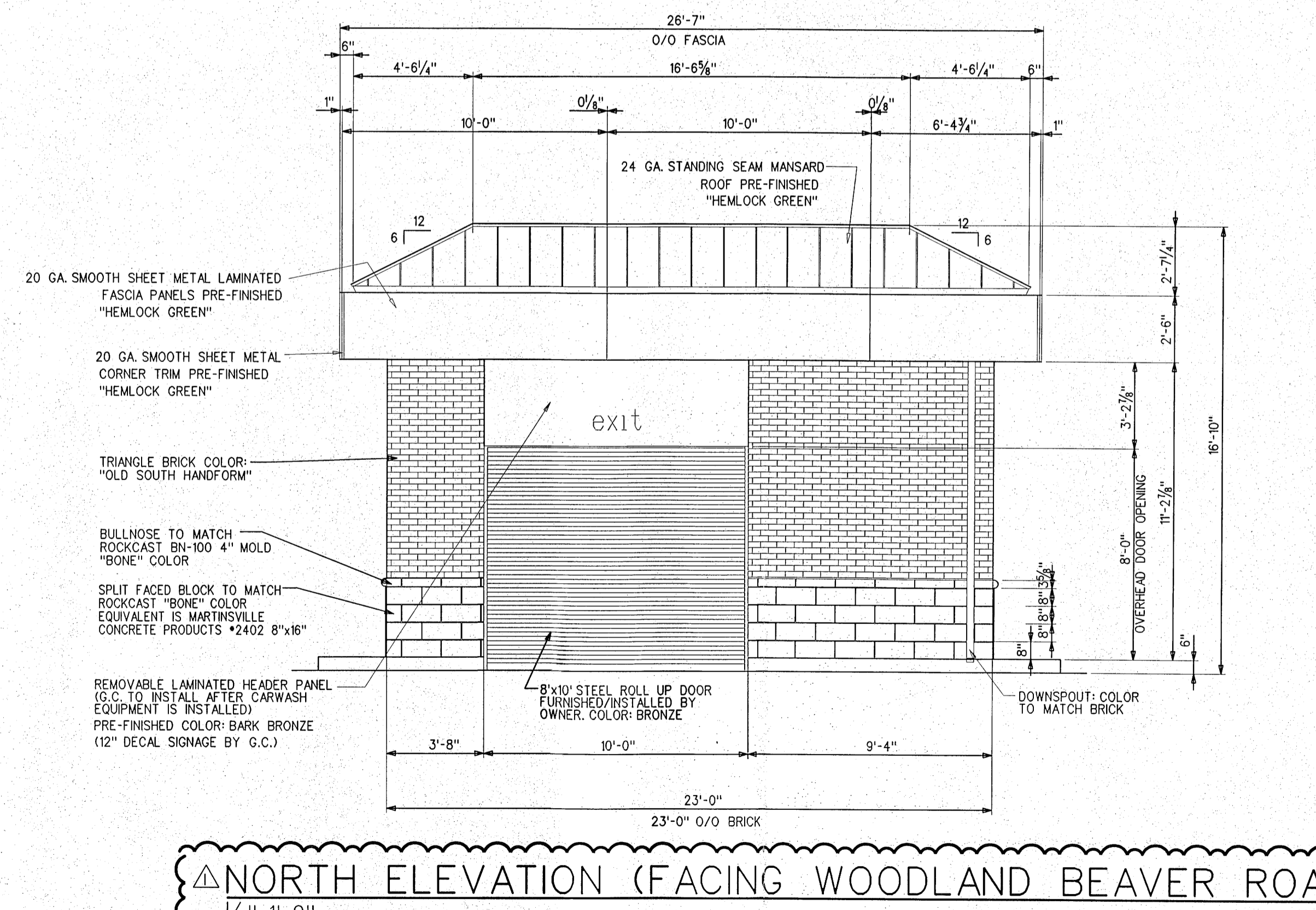
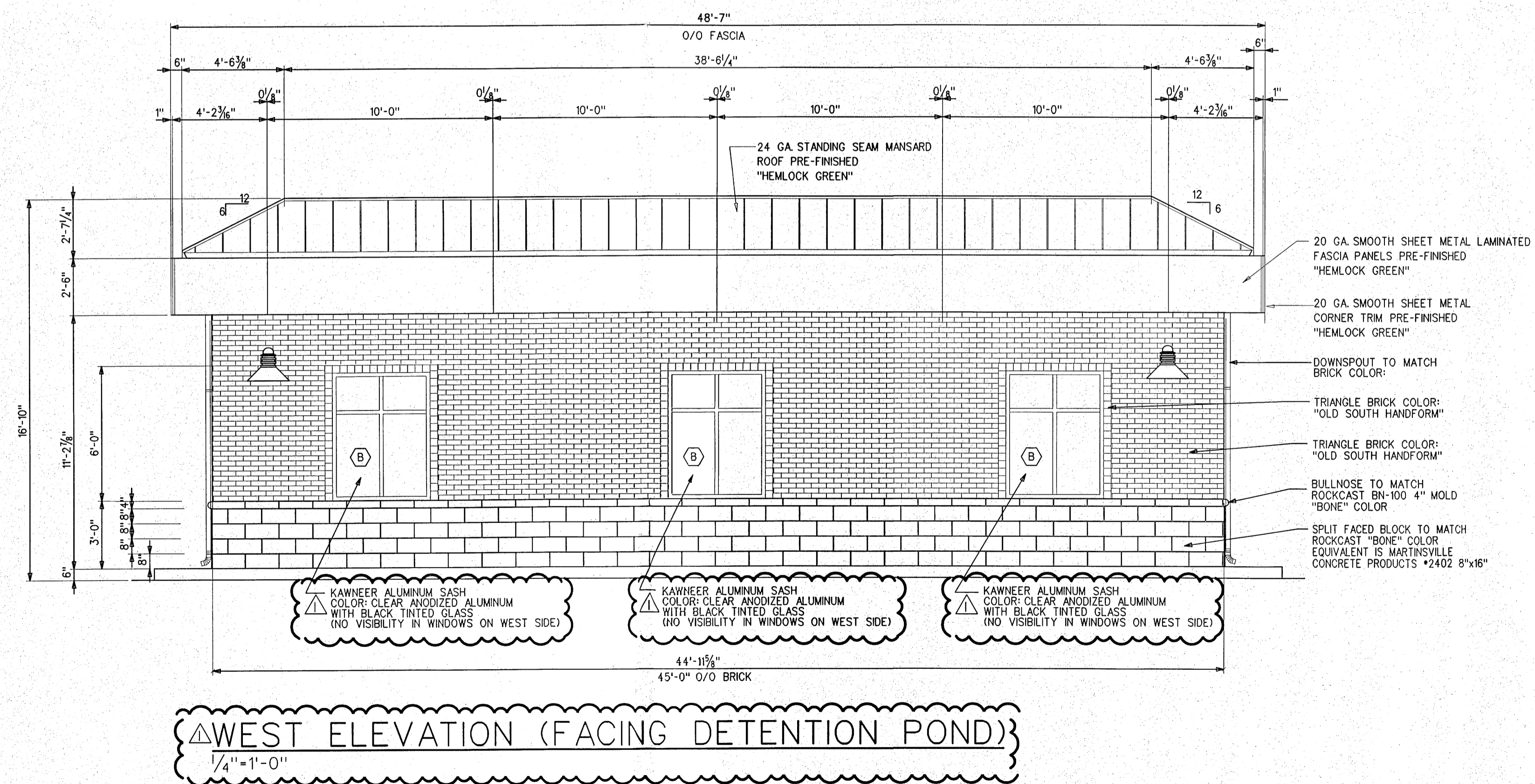
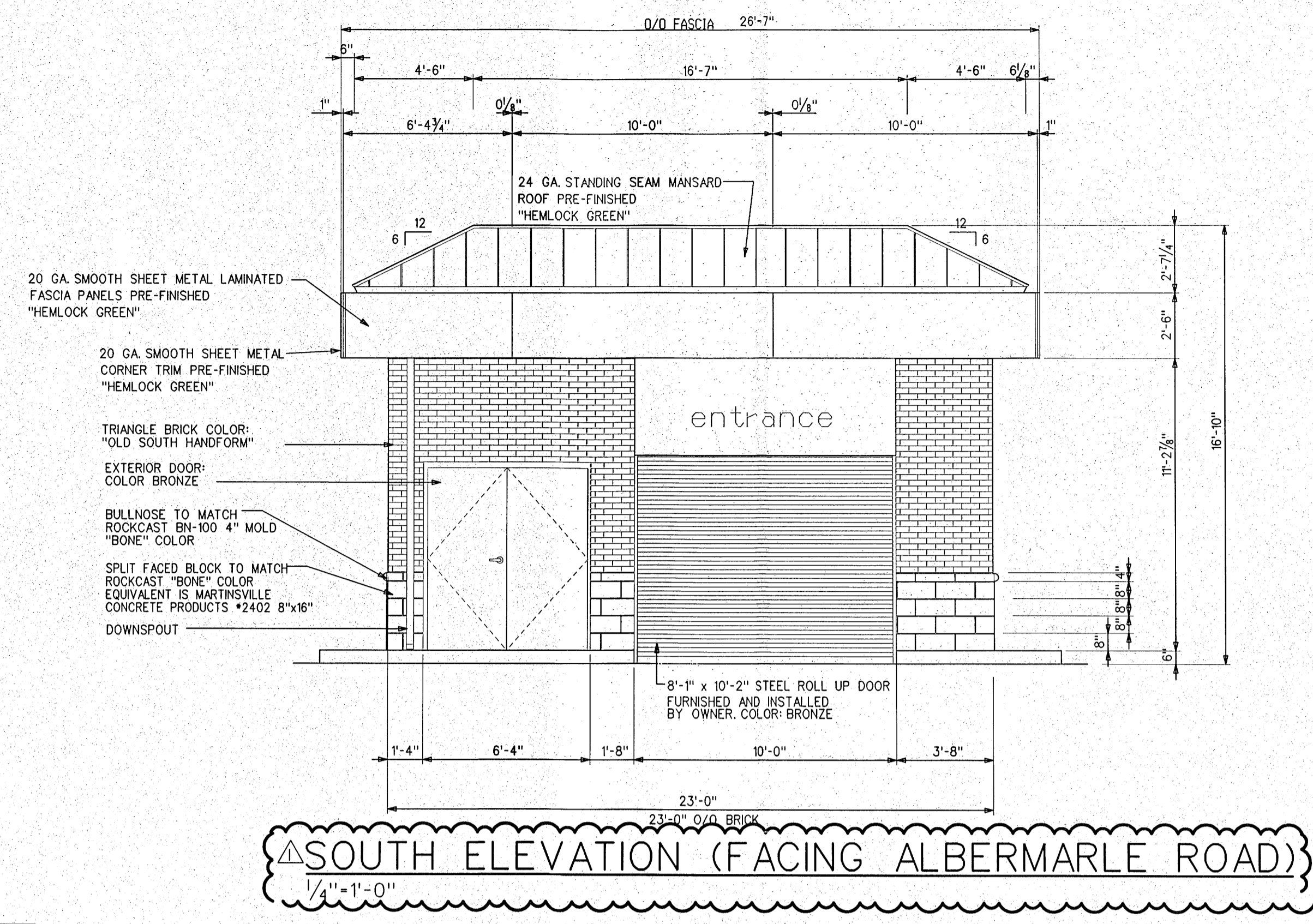
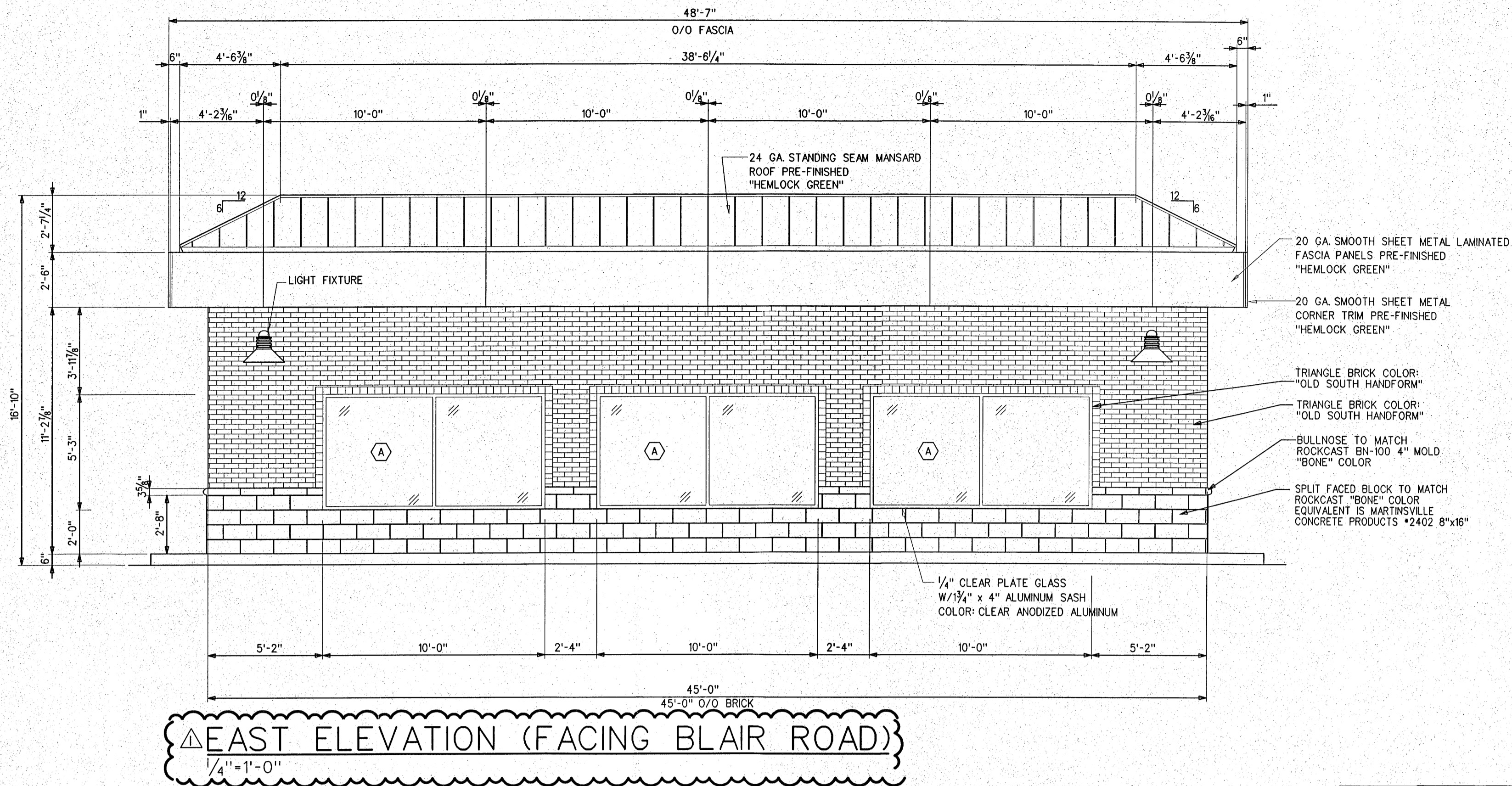
TITLE

NEW CONVENIENCE STORE AND CAR WASH FOR
MARK OIL: BEAVER FARMS BP
 10950 WOODLAND BEAVER ROAD
 CHARLOTTE, NC

CARWASH ELEVATIONS

COMM. NO. 1483
 DATE 2/20/15
 REVISIONS
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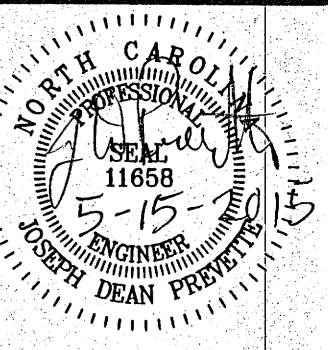
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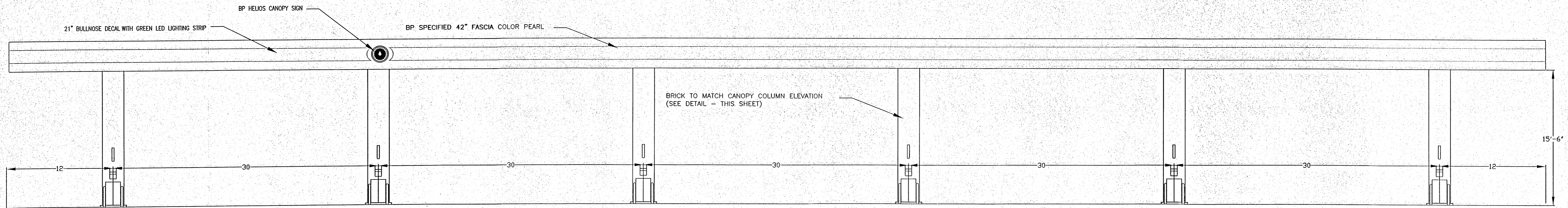
MORTAR/ SAND SPECIFICATION
 SEE NOTES FOR MORTAR COLOR SHEET A-3

ATTACHED TO ADMINISTRATIVE
 APPROVAL

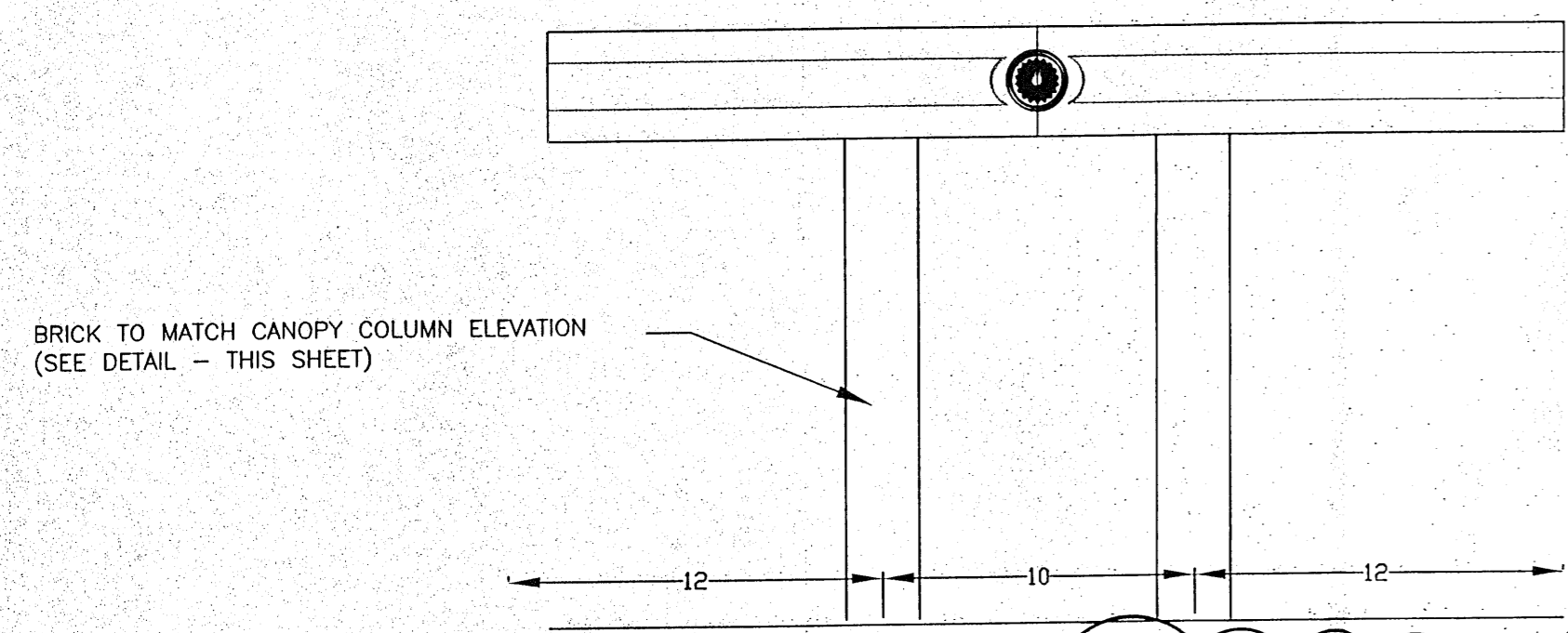
MAY 21 2015



J. Dean Prevet
 Professional Engineer
 2923 SOUTH TRYON ST, SUITE 120
 CHARLOTTE, N.C. 28203 - 704 622 1713

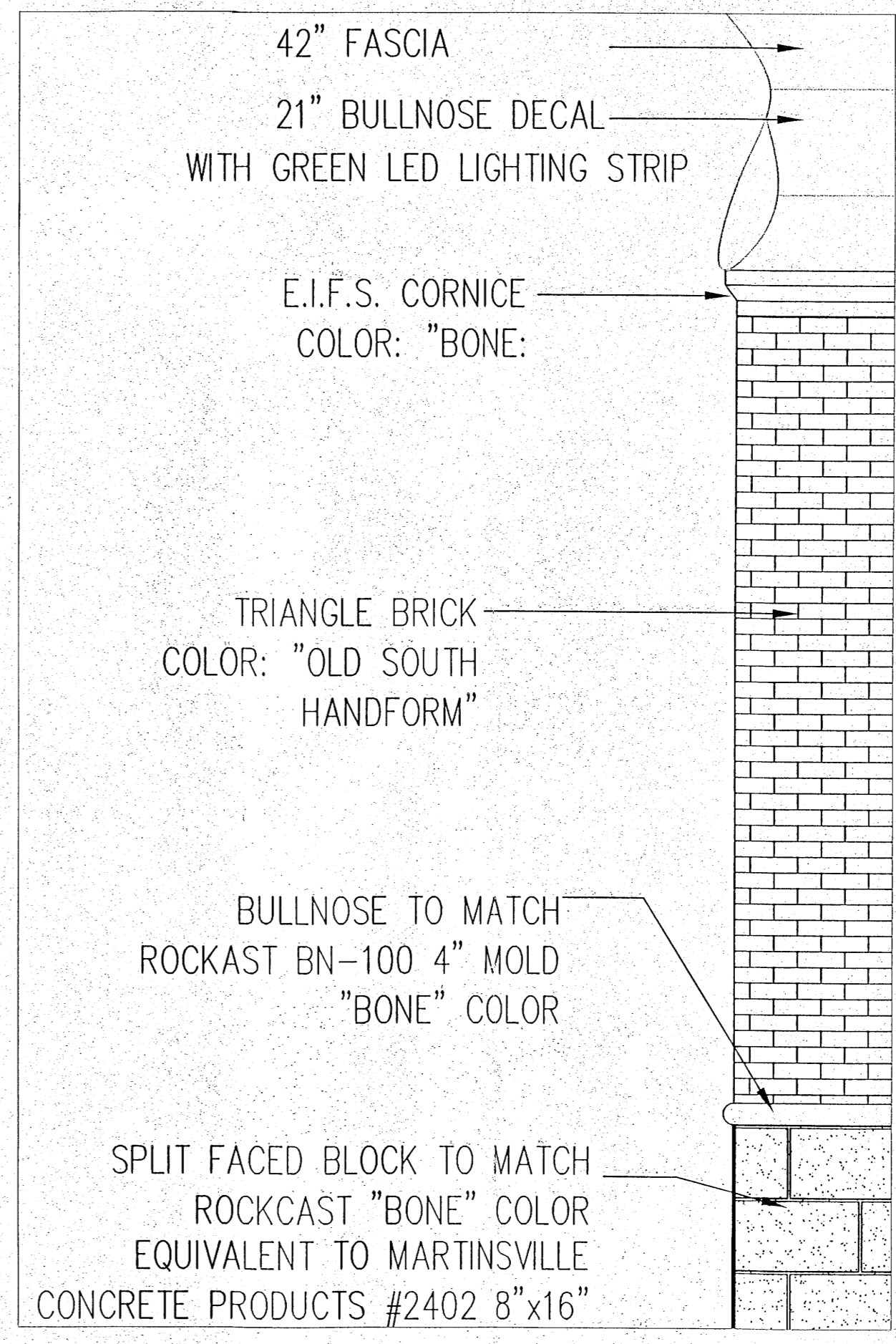


1 **Rear Elevation: Facing North / Woodland Beaver Road**
 SCALE: NTS



2 **Side Elevation: Facing East / Blair Road**
 SCALE: NTS

"Note: Front Elevation facing South and Side elevation facing West are exact duplicates of opposite sides"



3 **CANOPY COLUMN ENLARGED DETAIL**
 NOT TO SCALE

ATTACHED TO ADMINISTRATIVE APPROVAL
 MAY 21 2015

PROJECT TITLE
BEAVER FARMS BP
 10950 WOODLAND BEAVER ROAD
 CHARLOTTE, NC

SHEET TITLE
CANOPY ELEVATIONS

DATE: 3/19/2015
 REVISION: FINAL
 REVISIONS: 5/15/2015
 DRAWING NUMBER: JDP
 DRAWN BY: JDP
 CHECKED BY:

SHEET
A-C1
 TOTAL # OF SHEETS
 OF 1

F:\Active Files\Dropbox\MARK OLL\Beaver Farms\pre for submit\Mark Oll\A-C1 CANOPY ELEVATIONS.dwg, 5/15/2015 8:24:35 AM, jdpeter\RW-240WP