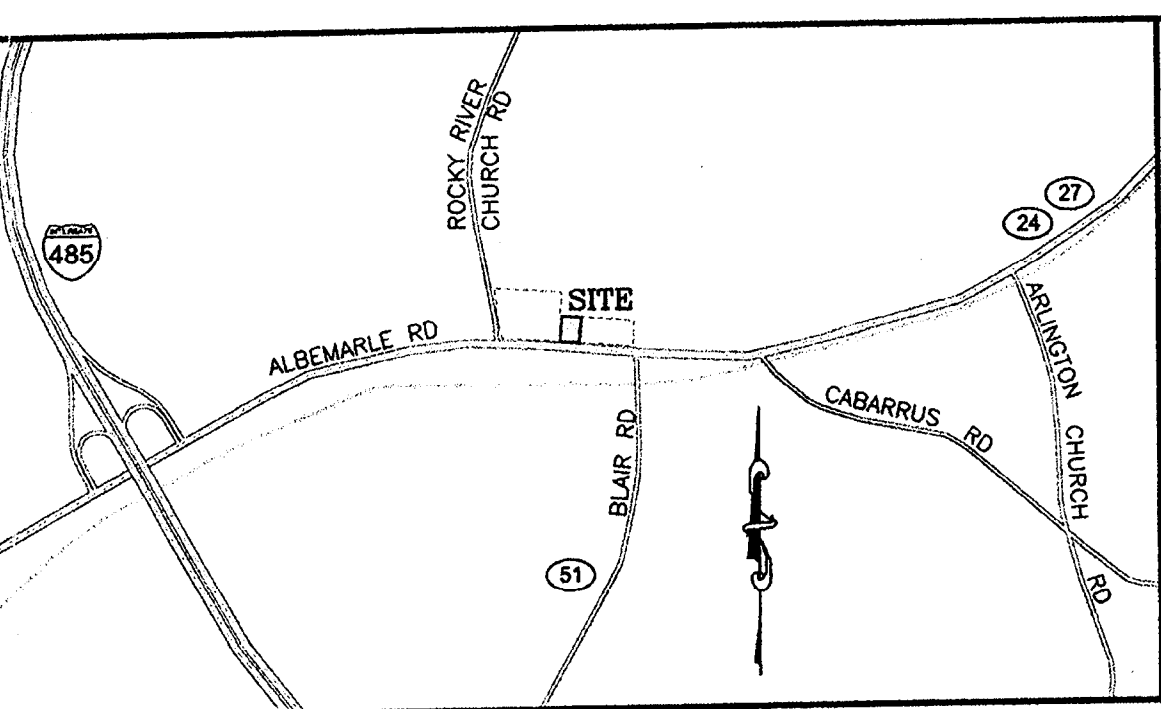


VISTA PARK, LLC
DB 26605, PG 186
MB 51, PG 486
PID 11123331



RECOMMENDED PAVING SPECIFICATIONS

- *VERIFY WITH GEOTECHNICAL REPORT*
- LIGHT DUTY PAVEMENT (LDP):**
6" COMPACTED AGGREGATE BASE COURSE (CABC)
2" BINDER COURSE, 119.0B
1" SURFACE COURSE, 59.5B
- HEAVY DUTY PAVEMENT (HDP):**
6" COMPACTED AGGREGATE BASE COURSE (CABC)
2" BINDER COURSE, 119.0B
1" SURFACE COURSE, 59.5B
- CONCRETE DUMPSTER AND HEAVY DUTY PAVEMENT**
5" COMPACTED AGGREGATE BASE COURSE (CABC)
7" 4,000 PSI CONCRETE WITH 6" X 6" WIRE MESH REINFORCEMENT (10 GAUGE WWF)
- CONCRETE SIDEWALK PAVEMENT**
4" 3,800 PSI CONCRETE
SUBGRADE SHALL BE COMPACTED TO 98% MIN. OF THE STANDARD MAXIMUM DRY DENSITY (ASTM D698).

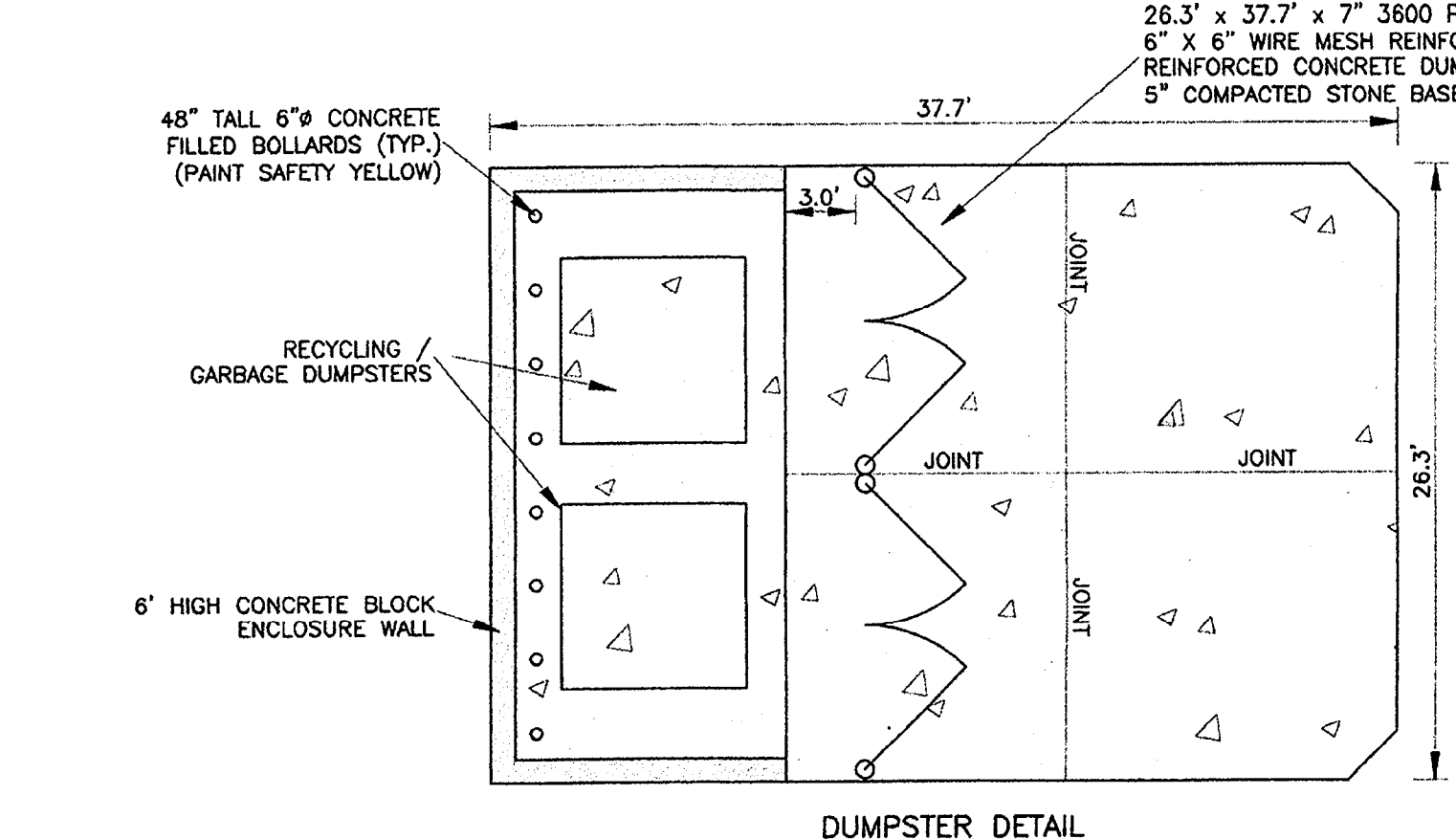
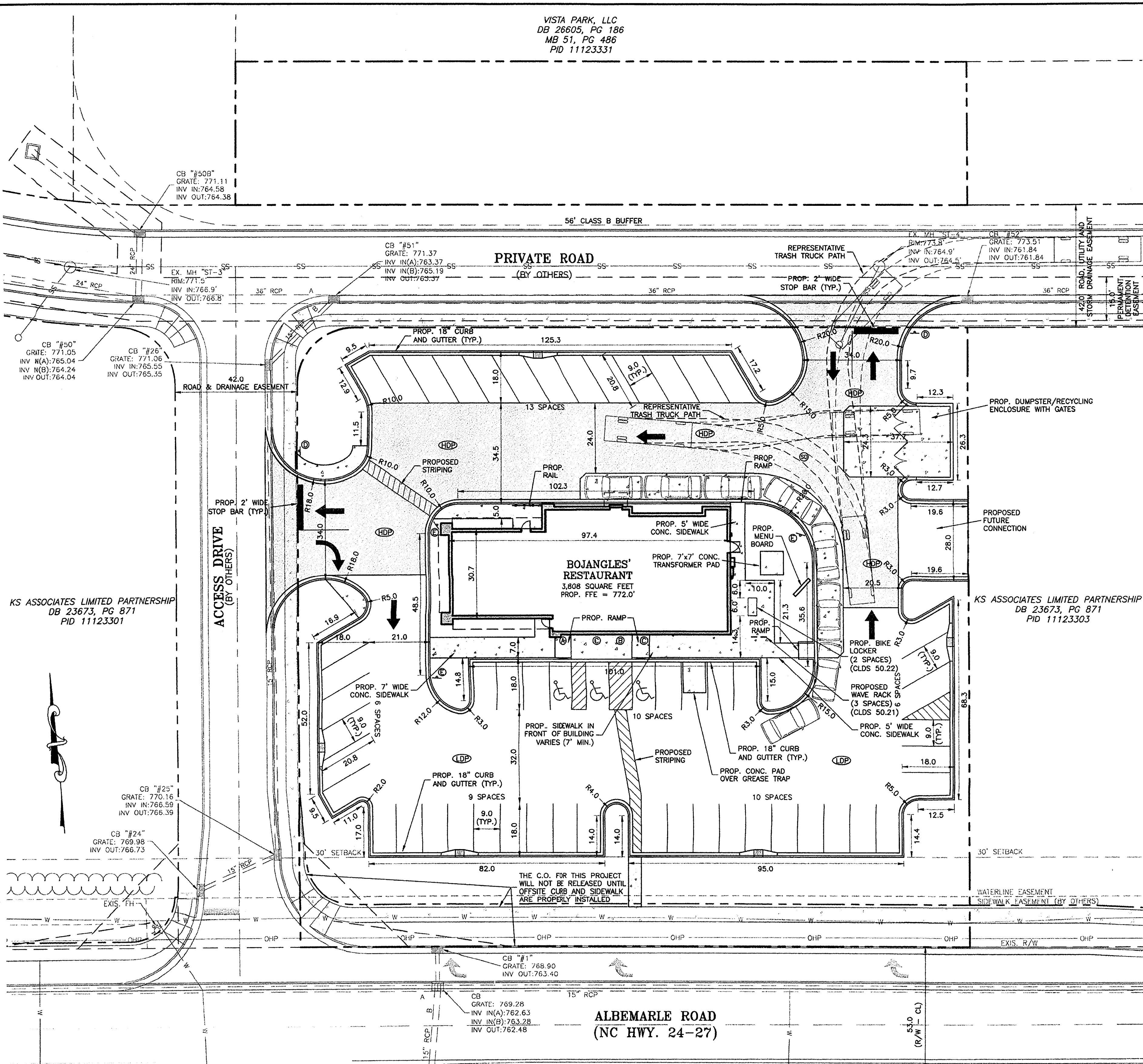
- NOTES:**
- ALL FILL USED FOR RAISING SITE GRADES OR FOR REPLACEMENT OF MATERIAL THAT IS UNDERCUT SHOULD BE UNIFORMLY COMPACTED IN THIN LIFTS TO AT LEAST 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698). IN ADDITION, AT LEAST THE UPPER 18 INCHES OF SUBGRADE FILL BENEATH PAVEMENTS AND FLOOR SLABS AND 24 INCHES BELOW PAVEMENTS SUBJECT TO TRUCK TRAFFIC SHOULD BE COMPACTED TO 100 PERCENT OF THE SAME SPECIFICATION. THE ABOVE COMPACTED SPECIFICATION IS A RECOMMENDATION ONLY. SPECIFIC PAVEMENT OR FLOOR SLAB ABOVE COMPACTED SPECIFICATION IS A RECOMMENDATION ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SITE WORK MEASURES IN STRICT ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS IN THE PROJECT SOILS REPORT AND/OR ON-SITE RECOMMENDATIONS PROVIDED BY A QUALIFIED GEOTECHNICAL ENGINEER DURING CONSTRUCTION.
 - PAVEMENT SPECIFICATIONS LISTED ABOVE ARE RECOMMENDATIONS ONLY AND ARE SUBJECT TO CHANGE BASED UPON PROJECT CONDITIONS OR RECOMMENDATIONS CONTAINED WITHIN THE SOILS REPORT. PRIOR TO COMMENCEMENT OF PAVING, THE OWNER OR CONTRACTOR SHOULD HIRE A GEOTECHNICAL ENGINEER TO PROVIDE A PAVEMENT DESIGN BASED UPON ANTICIPATED VEHICULAR TRAFFIC AND PROJECT SOIL CONDITIONS. THE ISAACS GROUP ASSUMES NO RESPONSIBILITY FOR THE ADEQUACY OF THE PAVEMENT SPECIFICATION PROVIDED ABOVE.
 - UNLESS SPECIFIED/DETAILED WITHIN THE CONTRACT DRAWINGS, CONTRACTOR SHALL PREPARE A CONCRETE JOINT LAYOUT PLAN IN ACCORDANCE WITH ACI 224.3R-95 OR ACI 330.1-03 FOR CONCRETE SURFACES AND PROVIDE TO ENGINEER, OWNER AND ARCHITECT FOR SHOP DRAWING APPROVAL PRIOR TO CONCRETE INSTALLATION.

LANDSCAPING NOTES:

- ALL TREES ON PUBLIC PROPERTY ARE PROTECTED BY ORDINANCE AND REMOVAL MUST BE APPROVED BY THE CITY ARBORIST (704)-336-4262.
- NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE SAVE AREAS.
- TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, GRADING, OR CONSTRUCTION BEGINS, AND NOT REMOVED UNTIL FINAL INSPECTIONS.
- TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORDINANCE STANDARDS IN DEVELOPMENT STANDARDS MANUAL 40.02.
- BEFORE GRADING/CLEARING/CONSTRUCTION BEGINS, CALL 704-336-4330 FOR INSPECTION OF TREE PROTECTION BARRICADES BY URBAN FORESTRY STAFF.
- NO GRUBBING WITHIN TREE SAVE AREAS. LEAVE SOIL AND LEAF LITTER UNDISTURBED. SUPPLEMENT WITH 1-2 INCHES OF MULCH.
- EXPOSED TREE ROOTS MUST BE CLEANLY CUT WITH A SHARP PRUNING TOOL; BACKFILL ASAP TO MINIMIZE EXPOSURE TO THE AIR.
- TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/GRADING/CONSTRUCTION, AND NOT REMOVED UNTIL AFTER FINAL INSPECTIONS BY URBAN FORESTRY STAFF.
- PLEASE SUBMIT UTILITY PLANS TO THAT THEY CAN BE REVIEWED FOR UTILITY CONFLICTS WITH EXISTING AND PROPOSED TREES, ELECTRICAL, TELEPHONE, GAS, SEWER, WATER, AND SITE LIGHTING.
- TREE PROTECTION FENCE IS TO BE LOCATED 5 FEET BEYOND DRIP LINE OF TREE SAVE AREAS, OR 1 FOOT PER TREE DIAMETER INCH AWAY FROM TREE, WHICHEVER IS GREATER.

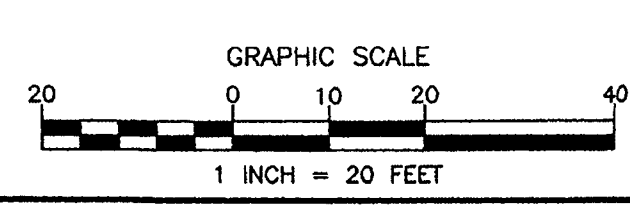
NOTES:

- THIS MAP IS NOT A CERTIFIED SURVEY. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY THE ISAACS GROUP, P.C.
- THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN; THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- PROVIDE MINIMUM OF 48 HOUR NOTICE TO OWNER OR REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY EXISTING UTILITY, IF BEING UTILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION AND PROTECTION OF EXISTING ABOVE AND BELOW GROUND UTILITIES AND STRUCTURES. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY IN SERVICE WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE UTILITY OWNER. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY NOT IN SERVICE AND WHICH ARE TO BE REPLACED DURING THE COURSE OF CONSTRUCTION MAY BE REMOVED AND LEGALLY DISPOSED OF IF DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES.
- HANDICAP SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH A.D.A. STANDARDS AT H/C PARKING SPACES SHOWN.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, DEMOLITION, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION, SPECIAL USE, SEWER AND WATER.
- CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
- ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
- TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704)-336-4262 PRIOR TO THE REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704)-336-6892 FOR REQUIRED PERMITS.
- BEFORE YOU DIG STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. "IT'S THE LAW."
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.



- LEGEND**
- SS - EXISTING SANITARY SEWER LINE
 - W - EXISTING WATER LINE
 - C - EXISTING CATCH BASIN
 - OHP - EXISTING OVERHEAD POWER
 - SDP - EXISTING STORM DRAINAGE PIPE
 - HDP - PROP. HEAVY DUTY PAVEMENT
 - LDP - PROP. LIGHT DUTY PAVEMENT
 - CONC - PROPOSED CONCRETE

- SIGN SCHEDULE**
- RESERVED PARKING - MAX PENALTY \$250 (MUTCD R7-8 & R7-8D)
 - NO PARKING; DISABLED PASSENGER LOADING SIGN (MUTCD R7-1)(STD. NO. 50.10A)
 - VAN ACCESSIBLE HANDICAPPED PARKING SIGN (MUTCD R7-8, R7-8A, & R7-8D)
 - STOP SIGN (30" X 30") (MUTCD R1-1-30)
 - DO NOT ENTER SIGN (MUTCD R5-1)
- SIGNAGE NOTE:**
CONTRACTOR TO COORDINATE FINAL SIGN LOCATIONS WITH OWNER PRIOR TO INSTALLATION



PCCO SUMMARY

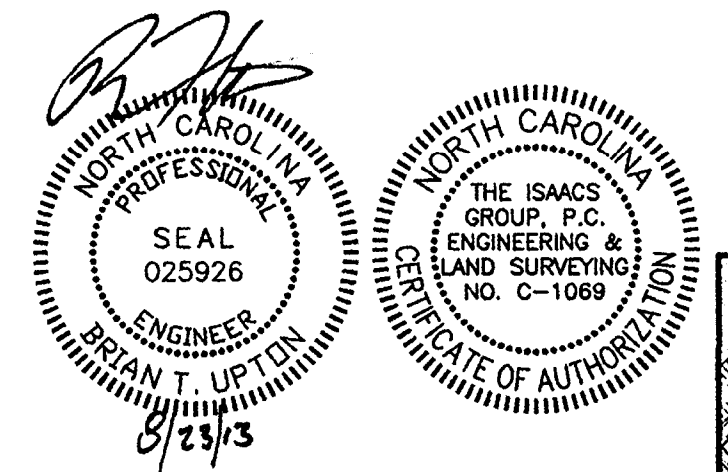
Original Parcel ID Number(s):	1111-233-03
Development Type:	Commercial
Subject to PCCO? Y/N	N
If NO, why?	Rezoning
Watershed:	Yadkin
Disturbed Area (ac):	1.07 (Total); 1.03 (property); 0.04 (ROW)
Site Area (ac):	1.12
	DAW1
Total on-site Drainage Area (ac):	1.12
Existing Built-upon area (SF):	0
Existing BUA to be removed (SF):	0
Existing BUA to remain (SF):	0
Proposed New BUA (SF):	37,086
Proposed % BUA:	76.0
Density (High / Low):	High
Total Post-Project BUA for site:	37,086 SF; 76.0%
Development or Redevelopment?	Development
Natural Area Required (ac):	N/A
Natural Area provided, total (ac):	N/A
Undisturbed Treated Natural Area Preserved (ac):	N/A
Total stream buffer protected on-site (ac):	N/A
Transit Station Area? Y/N	N
Distressed Business District? Y/N	N
Mitigation Type (if applicable):	N/A
Natural Area mitigation? Y/N	N
Buffer Mitigation? Y/N	N
Total Phosphorous Mitigation? Y/N	N

PCCO COMPLIANCE:
THIS SITE IS NOT SUBJECT TO PCCO DUE TO REZONING.

DETENTION COMPLIANCE:
DETENTION FOR THIS PROJECT IS PROVIDED IN AN OFFSITE REGIONAL BASIN THAT SERVES THE BEAVER FARMS DEVELOPMENT.

ZONING CODE SUMMARY

PROJECT NAME: BOJANGLES'
PLANS PREPARED BY: THE ISAACS GROUP, P.C.
PHONE #: 704-327-3440
ZONING: R-1 (CO) REZONING PETITION: 1998-42(C) ATTACHED TO ADMINISTRATIVE APPROVAL
JURISDICTION: CITY OF CHARLOTTE
TAX PARCEL #: 111-233-03 ATTACHED TO ADMINISTRATIVE APPROVAL
PROPOSED USE: RESTAURANT
LOT SIZE: 48,784/1.12 SQ. FEET/ACRES
GROSS FLOOR AREA: 3,808 SQ. FEET
EXISTING IMPERVIOUS AREA AND GRAVEL AREA: 0 / 0 SQ. FT./ACRES
PROPOSED IMPERVIOUS AREA AND GRAVEL AREA: 37,424/0.88 SQ. FT./ACRES
YARD REQUIREMENTS:
SETBACK (FRONT): 30' REAR YARD: 0'
SIDE YARD (WEST): 0' SIDE YARD (EAST): 0'
BUFFER REQUIREMENTS:
56' (CLASS B), ALONG REAR OF PROPERTY
PARKING DATA:
PARKING REQUIRED: 1 SPACE/250 S.F. = 3,808 S.F./250 = 15 SPACES
PARKING PROVIDED: 56 SPACES (INCLUDES 3 HANDICAP SPACES)
BIKE PARKING DATA:
REQUIRED: LONG TERM = 2 SPACES
SHORT TERM = 5% OF PARKING = 57.05 = 3 SPACES
PROVIDED: 5 TOTAL (2 LONG TERM + 3 SHORT TERM)
ALL SIGNAGE WILL BE PERMITTED SEPARATELY. AN ASSIGNED BUILDING PERMIT NUMBER AND ADDRESS MUST BE POSTED ON BUILDING



BOJANGLES'
11420 BEAVER FARMS ROAD
CHARLOTTE, NORTH CAROLINA

SITE PLAN

File #: 17216.dwg Date: 5/31/13 Project Egr: B/W
Design By: B/W
Drawn By: C/W
Scale: 1" = 20'

ISAACS GROUP, P.C.
CIVIL ENGINEERING DESIGN AND SURVEYING
NO. C-1069

8720 RED OAK BOULEVARD, SUITE 420
CHARLOTTE, N.C. 28217
PHONE (704) 527-3440 FAX (704) 527-8335

C1.0



Charlotte-Mecklenburg Planning Department

DATE: November 1, 2013

TO: Mark Fowler
Zoning Supervisor

FROM: Debra Campbell
Planning Director

SUBJECT: Administrative Approval for Petition No. 1998-042C Erwin Capital and The Crosland Group

Attached is the site plan and building elevations for the proposed Bojangles restaurant. Since these changes do not alter the intent of the development and meet the requirements of the conditional site plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

Note: All other Zoning, Subdivision, Tree Ordinance and conditional requirements still apply. Signage was noted reviewed as part of this request.

VISTA PARK, LLC
DB 26605, PG 186
MB 51, PG 486
PID 11123331

LANDSCAPING NOTES:

- NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED IN ACCORDANCE WITH THE PLAN BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS (IF APPLICABLE).
- FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE, CONSTRUCTION DEBRIS AND COMPACTED SOIL PRIOR TO PLANTING.
- REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL/PLANTING MIX OR UNCOMPACT AND AMEND TOP 24" OF EXISTING SOIL TO MEET TOP SOIL STANDARDS FOR PLANTING TREES.
- PLEASE CALL 336-4330 FOR INSPECTION OF TREES AND/OR TREE PLANTING AREAS, 7 TO 10 DAYS BEFORE THE TEMPORARY OR FINAL CERTIFICATE OF OCCUPANCY IS NEEDED.
- ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
- ADJUST TREE PLANTING TO AVOID UNDERGROUND UTILITIES. 15.0' OFF WATER, ELECT, AND GAS - 15.0' OFF SANITARY SEWER AND STORM DRAINAGE.
- REFERENCE CMLD STANDARDS 40.01, 40.02, 40.03, 40.04, AND 40.09 FOR TREE PLANTING AND PROTECTION DETAILS.
- GEORGRID FOR RETAINING WALLS IS TO BE LEFT 24" MIN. BELOW GRADE IN TREE PLANTING AREAS.
- ATTENTION LANDSCAPER NOTIFY URBAN FORESTER OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES. CALL 336-4330.
- ORDINANCE REQUIRED TREES MUST BE MAINTAINED IN TREE FORM & ALLOWED TO GROW TO THEIR NATURAL HEIGHT/FORM, WITH A MAXIMUM OF THREE STEMS OR TRUNKS (NO TOPPING OR ROUNDING OVER).
- ALL AUTOMOBILE PARKING SPACES MUST BE WITHIN FORTY (40) FEET OF A TREE.
- LARGE MATURING TREES MUST BE A MINIMUM OF 25 FEET FROM OVERHEAD DISTRIBUTION POWER LINES. IF TREES CONFLICT WITH POWER LINES, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
- TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/GRADING/CONSTRUCTION, AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTER.
- VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
- SHRUBS SHALL BE 2' HIGH, 2' WIDE, 5-GAL., AT TIME OF PLANTING AND SHALL BE LOCATED AT 5' O.C.
- A MINIMUM OF FIFTY (50) PERCENT OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN TWENTY (20) TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.
- 75% LARGE MATURING TREES ARE REQUIRED UNLESS THERE IS OVERHEAD POWER.
- SITE LIGHTING MUST BE A MINIMUM OF THIRTY (30) FEET AWAY FROM A TREE. IF PEDESTRIAN SCALE LIGHTING IS BEING USED, THE LIGHTING MUST BE A MINIMUM OF FIFTEEN (15) FEET AWAY FROM A TREE, UNLESS APPROVED OTHERWISE BY THE CITY. NO LIGHT POLES ALLOWED IN TREE ISLANDS.
- UNLESS APPROVED BY URBAN FORESTRY STAFF ALL REQUIRED TREES MUST HAVE SINGLE STEM TRUNKS WITH NO CO-DOMINANT TRUNKS OR BRANCHES. TREE TRUNKS SHALL BE STRAIGHT IN FORM AND FREE OF DAMAGE OR CRACKS. PRUNING SHALL BE CALLED OVER. BRANCH LENGTH SHALL BE TYPICAL FOR THE TREE AGE AND NOT BE BROKEN, DISEASED, OR INJURED. ROOT FLARE SHALL BE LOCATED AT GRADE AND BE FREE OF ADNEITIOUS ROOT GROWTH.

LANDSCAPING REQUIREMENTS

INTERIOR:
BUILDINGS, PARKING LOTS, AND WALKWAYS: 37,424/0.88 SQ. FEET/ACRES
LANDSCAPED AREA:
INTERNAL TREE REQUIREMENT: 1 TREE/10,000 S.F. IMPERVIOUS= 37,424/10,000 S.F. IMPERVIOUS= 4 TREES
PROVIDED= 4 PROPOSED

STREET TREES:
ALBEMARLE ROAD
231 L.F. OF STREET FRONTAGE
REQUIRED: 1 SMT PER 30 L.F. OF FRONTAGE (DUE TO OHP)
231 L.F. * (1 TREE/30 L.F.) = 8 TREES
PROVIDED: 8 SMT'S (BY OTHERS)

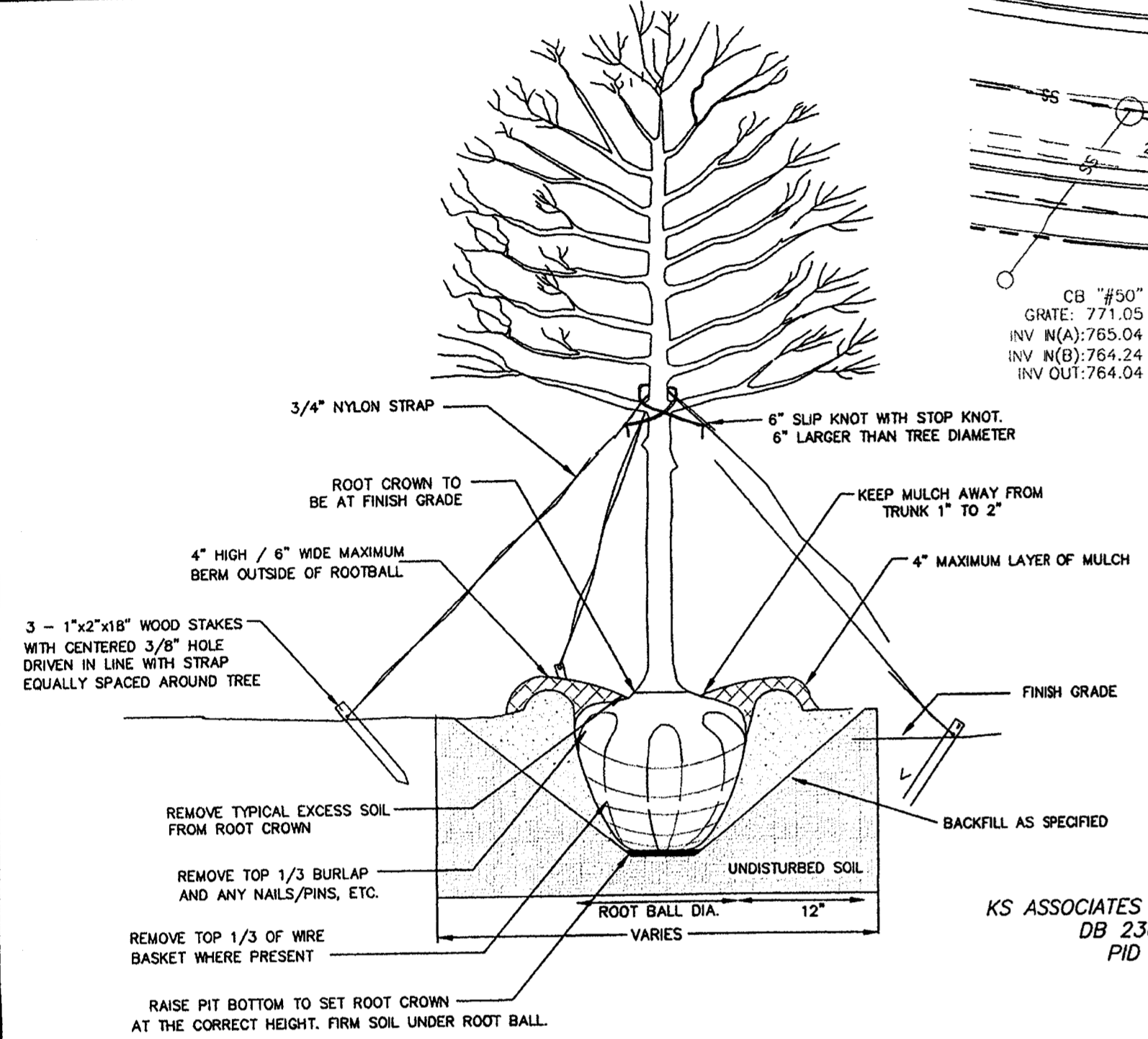
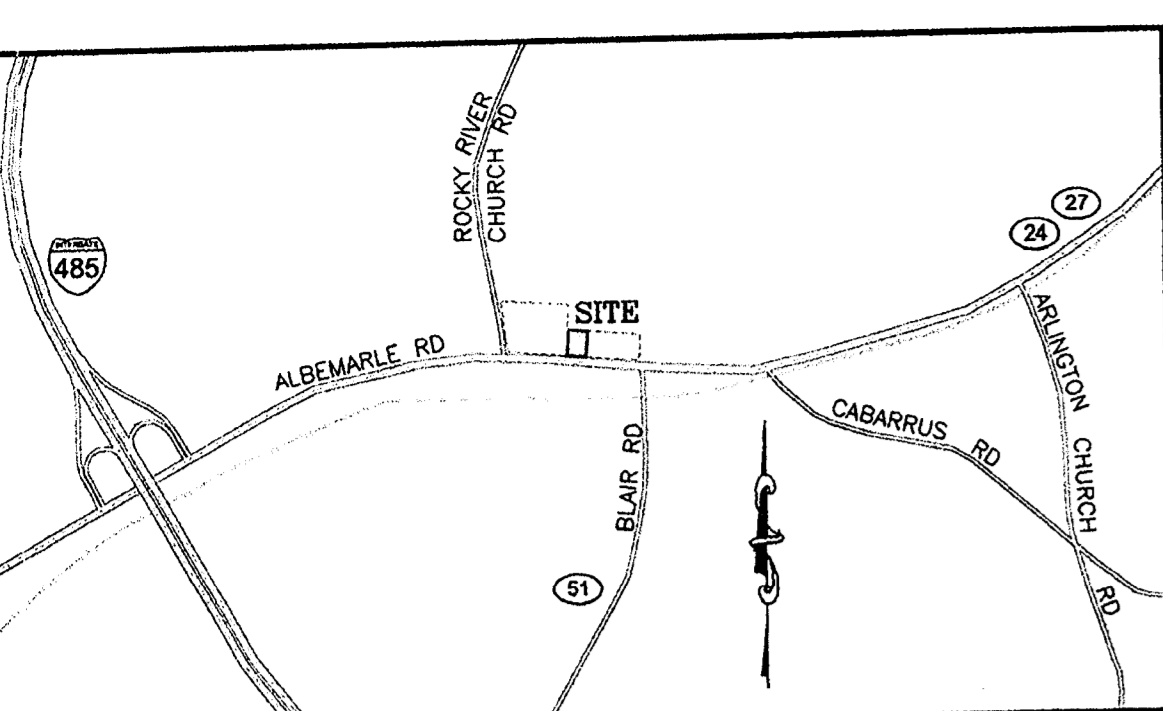
ACCESS DRIVE
200 L.F. OF STREET FRONTAGE
REQUIRED: 1 LMT PER 40 L.F. OF FRONTAGE
200 L.F. * (1 TREE/40 L.F.) = 5 TREES
PROVIDED: 5 LMT'S

PRIVATE ROAD
231 L.F. OF STREET FRONTAGE
REQUIRED: 1 LMT PER 40 L.F. OF FRONTAGE
231 L.F. * (1 TREE/40 L.F.) = 6 TREES
PROVIDED: 6 LMT'S

BUFFER PLANTINGS:
CLASS B BUFFER: 252 L.F.
8 TREES REQUIRED PER 100 L.F. = 32 REQUIRED
23 LMT'S AND 9 SMT'S PROVIDED (BY OTHERS)

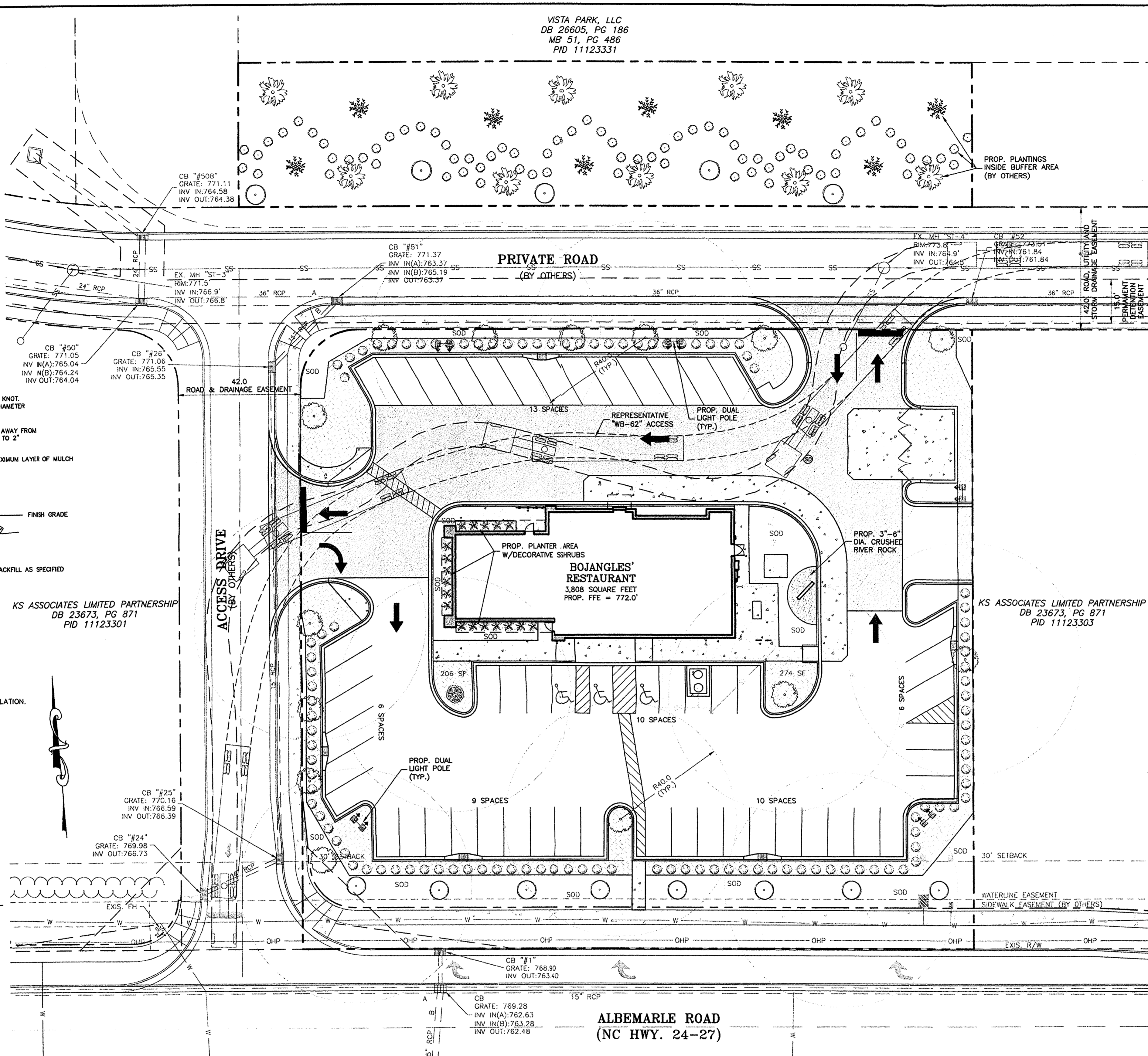
NOTES:

- DRIP IRRIGATION IN PLANTERS NEAR BUILDING
- ALL GRASS AREAS TO BE SOD.
- SPRINKLER HEADS IN RADIUS AREAS TO BE NO CLOSER THAN 36" FROM BACK OF CURB.



- NOTES:**
- REMOVE WIRE AND NYLON TWINE FROM BALL AND CANOPY.
 - SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
 - STAKING IS REQUIRED FOR ALL TREES IN R.O.W. OR UPON REQUEST OF ARBORIST.
 - REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
 - RESEED UNMULCHED, DISTURBED AREAS.
- TREE PLANTING**
CLDS 40.01

- NOTES:**
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 - HANDICAP SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH A.D.A STANDARDS AT H/C PARKING SPACES SHOWN.
 - ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
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 - TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704)-336-4262 PRIOR TO THE REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704)-336-6692 FOR REQUIRED PERMITS.
 - BEFORE YOU DIG STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. "IT'S THE LAW."
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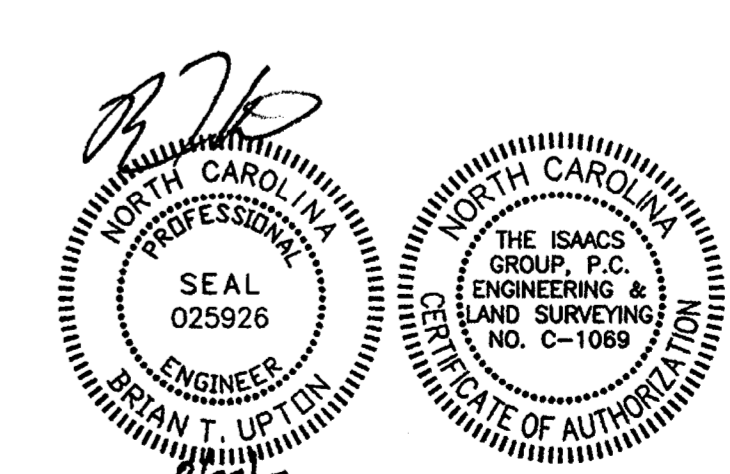
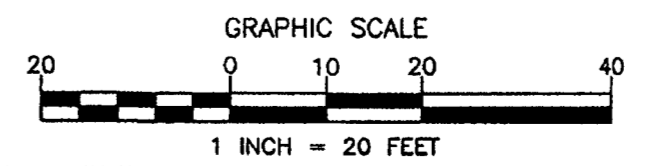
LANDSCAPE PLANT LIST AND QUANTITIES

PLANT	QUANTITY
PROPOSED LACEBARK ELM LMT (2 IN. CAL. MAX. HEIGHT 8')	14
SHUMARD OAK TREE (BY OTHERS)	10
EASTERN REDBUD (BY OTHERS)	13
PROPOSED YOSHINO CHERRY SMT (2 IN. CAL. MAX. HEIGHT 8')	1
JAPANESE CRYPTOMERIA (BY OTHERS)	8
PROPOSED DWARF BURFORD HOLLY (2' HIGH, 2' WIDE, 5 GAL.)	109
DWARF BURFORD HOLLY (BY OTHERS)	74

NOTE:
PLANT QUANTITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL PLANT QUANTITIES WITH CHARLOTTE URBAN FORESTRY PRIOR TO INSTALLATION.

LEGEND

- SS - EXISTING SANITARY SEWER LINE
- W - EXISTING WATER LINE
- C - EXISTING CATCH BASIN
- OHP - EXISTING OVERHEAD POWER
- SD - EXISTING STORM DRAINAGE PIPE
- PROP. MULCH AREA
- PROP. HEAVY DUTY PAVEMENT
- PROP. LIGHT DUTY PAVEMENT
- PROP. CONCRETE



Bojangles'

Project: **BOJANGLES'**
11420 BEAVER FARMS ROAD
CHARLOTTE, NORTH CAROLINA

Title: **LANDSCAPE PLAN**

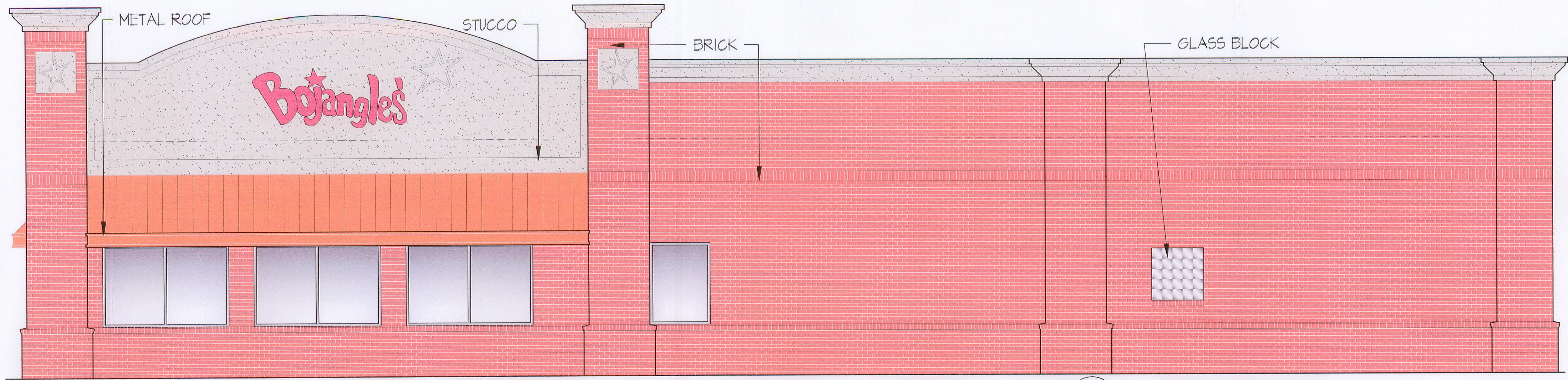
File #: 12718.dwg Date: 5/31/13 Project Egr: B/U
Design By: B/U
Drawn By: D/C
Scale: 1"=50'

ISAACS GROUP
CIVIL ENGINEERING DESIGN AND SURVEYING

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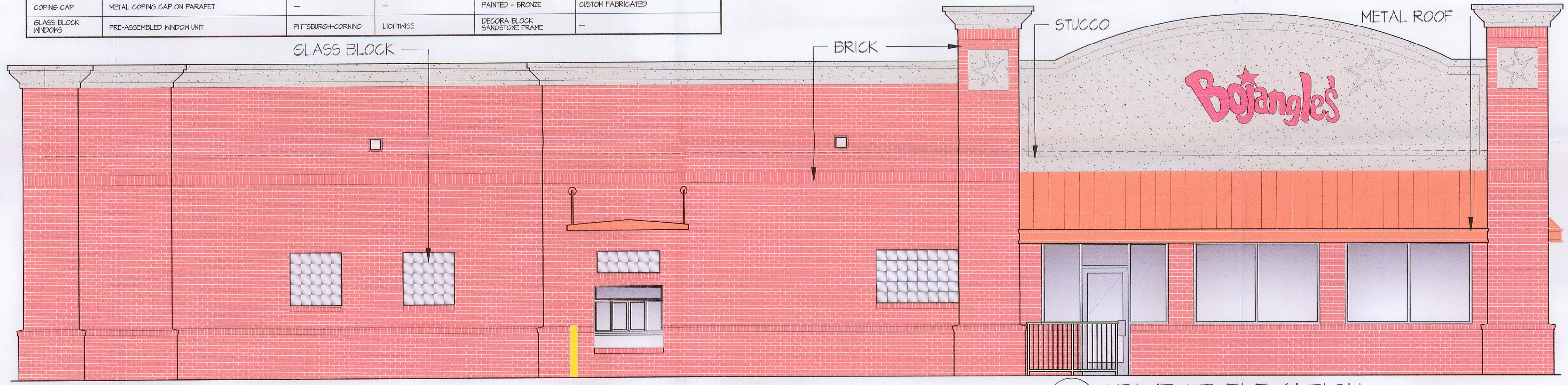
ATTACHED TO ADMINISTRATIVE APPROVAL
NOV 1 2013
BY: DEBRA CAMPBELL



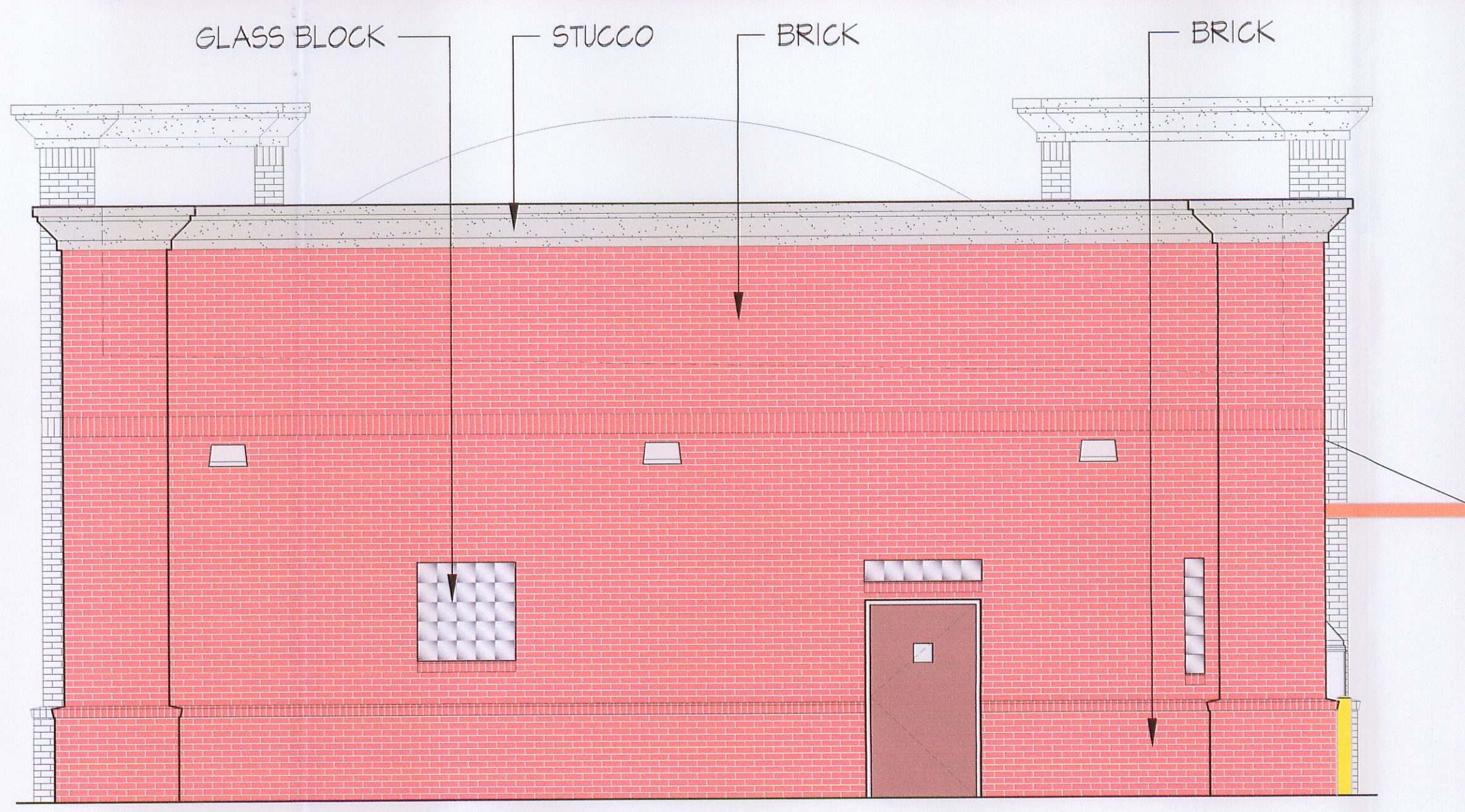
1 SIDE ELEVATION
SCALE: 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE					
MATERIAL	DESCRIPTION	MANUFACTURER	STYLE / MODEL	COLOR / FINISH	REMARKS
EIFS	EXTERIOR INSULATING FINISH SYSTEM WITH DRAINAGE	STO CORP	CLASSIC NEX-T INSULATED WALL CLADDING SYSTEM	NA12-0023 IN StoPowerwall FINE (80246) FINISH	INSTALL OVER STOGUARD LIQUID APPLIED WEATHER RESISTIVE BARRIER
BRICK	MODULAR MASONRY UNITS	TRIANGLE BRICK CO.	OLD SOUTH HANDFORM	--	--
MORTAR	MORTAR CEMENT	ESSEROC CEMENT CORP.	BRUNNEN-IN-COLOR	TO MATCH EIFS FINISH	--
ALUM. STOREFRONT	ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS	KANNEER	45-T CENTER SET	CLEAR ANODIZED	--
METAL ROOF	STANDING SEAM METAL ROOF	CONSTRUCTION METAL PRODUCTS 888-750-8221	16" - NO RIBS	CUSTOM COLOR - MATCH PANTONE COLOR: ITS C	CUSTOM FACIA SHAPED BY ROOF MANUF.
COPING CAP	METAL COPING CAP ON PARAPET	--	--	PAINTED - BRONZE	CUSTOM FABRICATED
GLASS BLOCK WINDOWS	PRE-ASSEMBLED WINDOW UNIT	PITTSBURGH-CORNING	LIGHTWISE	DECORA BLOCK SANDSTONE FRAME	--

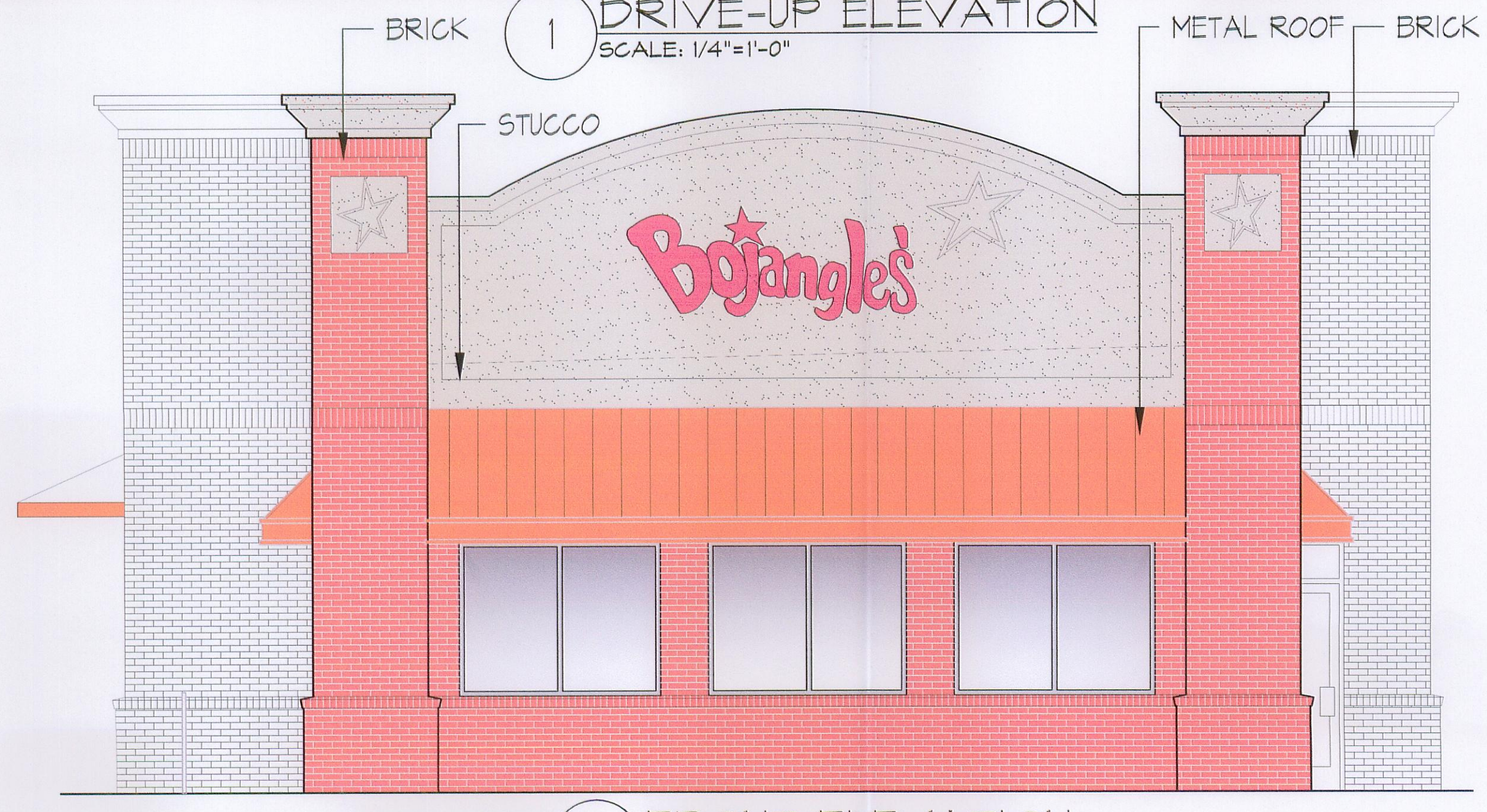
NOTE: THE BUILDING MATERIALS AND COLORS WILL COMPLY WITH THE APPROVED COLOR PALETTE OF THE SHOPPING CENTER THAT WAS APPROVED ON OCTOBER 11, 2013



1 DRIVE-UP ELEVATION
SCALE: 1/4"=1'-0"



2 REAR ELEVATION
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION
SCALE: 1/4"=1'-0"

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BOJANGLES' 8 RESTAURANT
ALBEMARLE ROAD NEAR
ROCKY RIVER CHURCH RD.
CHARLOTTE, NORTH CAROLINA

ATTACHED TO ADMINISTRATIVE
APPROVAL
NOV 1 2013
BY: NERRA CAMPBELL

ISSUE DATE: 10-31-13
REVISION 1: _____
REVISION 2: _____
REVISION 3: _____
REVISION 4: _____
PROJECT #: 13-226-000
CONTENT: EXTERIOR ELEVATIONS

PROJECT ARCHITECT: JDP
DRAWN BY: WCH

CADD FILE NAME:
P113-226CD\A03-2 EXT ELEVATIONS
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