



# Charlotte-Mecklenburg Planning Department

**DATE:** September 23, 2020

**TO:** Sonja Sanders  
Zoning Supervisor

**FROM:** Taiwo Jaiyeoba  
Planning Director

**SUBJECT:** Administrative Approval for Petition No. 1998-042C Erwin Capital & Crosland Group

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- To modify entitlements for a portion of the site rezoned under petition 2020-007.

Staff supports of the request because:

- The site plan complies with the conditional notes and still meets the intent of the original approval by the County Commissioners.

**Note:**

**All other Zoning, PCSO, Subdivision, Tree Ordinances and conditional requirements still apply.**

**Signage was not reviewed as part of this request.**

# ERWIN CAPITAL/BEAVER FARMS

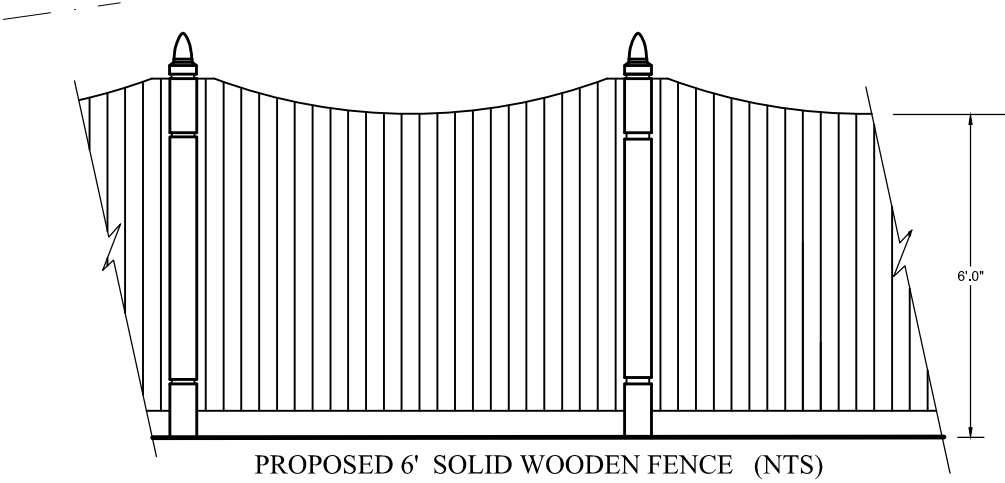
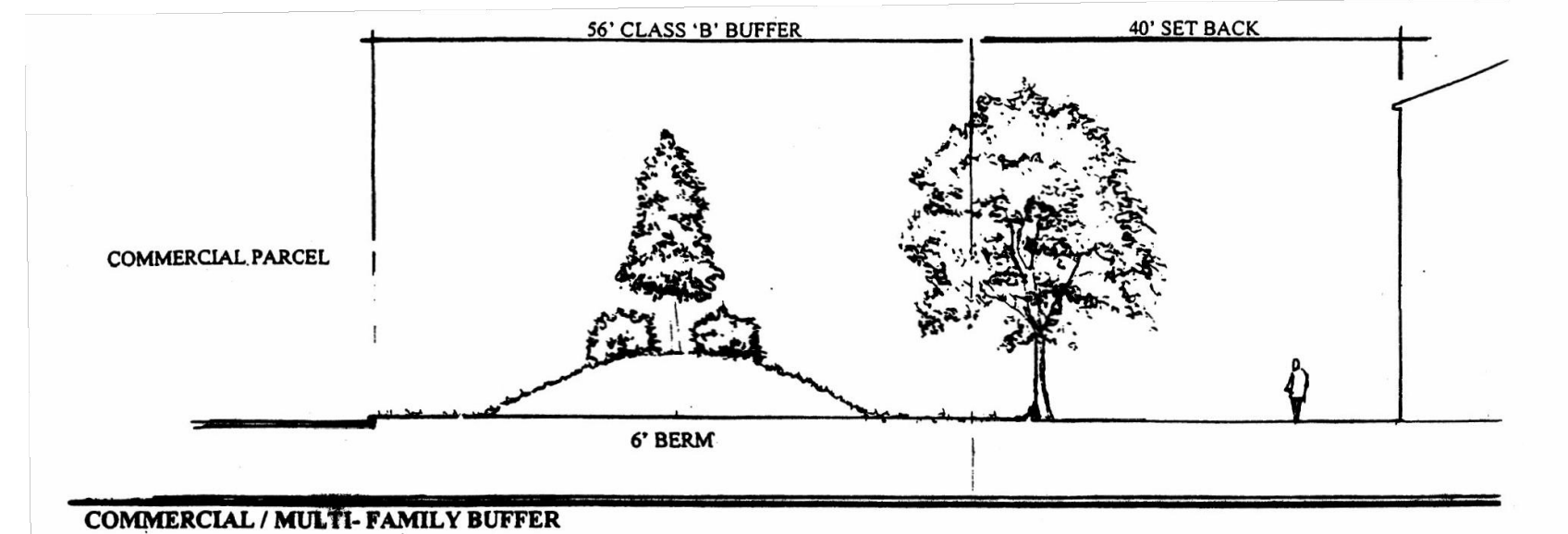
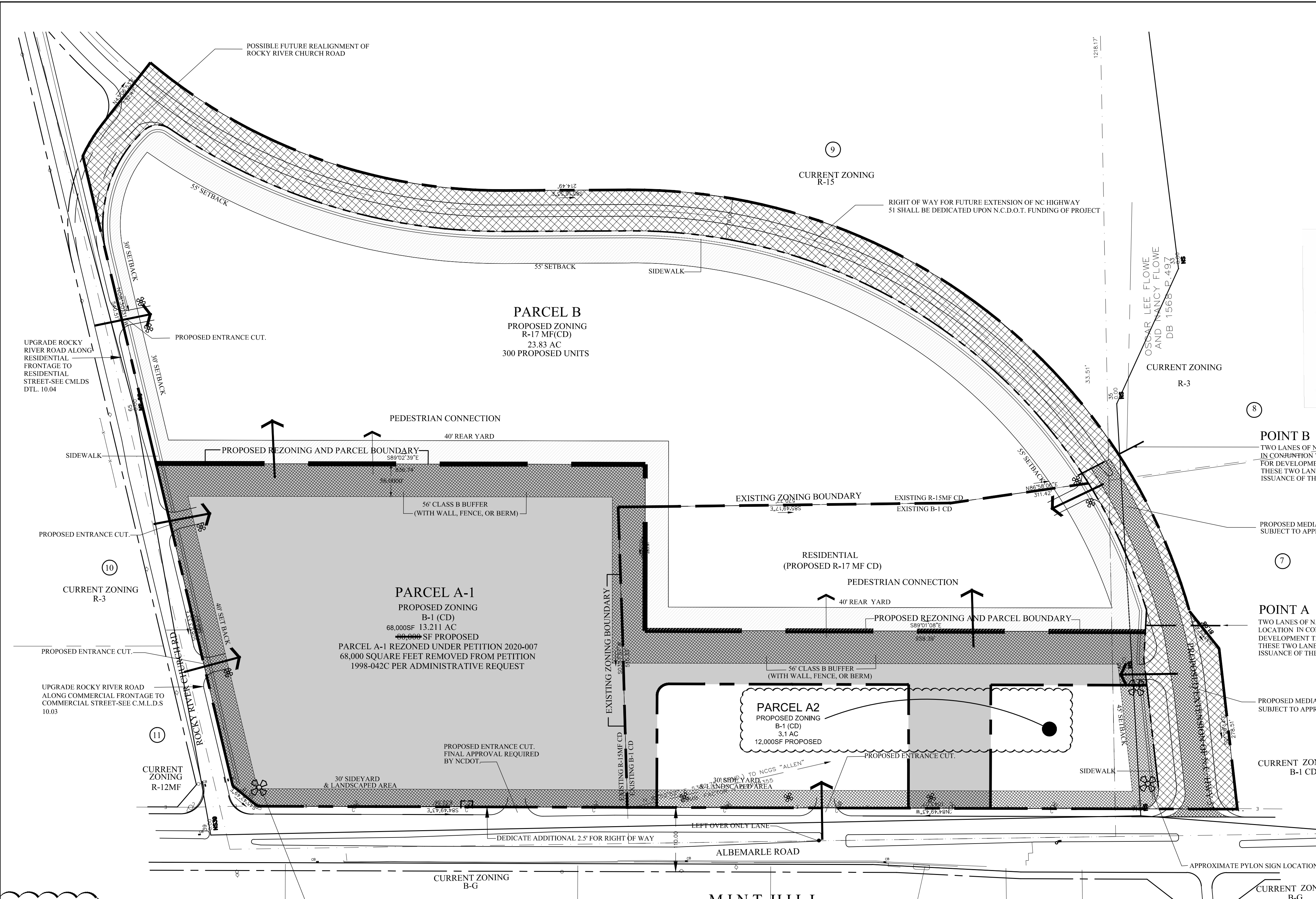
## TECHNICAL DATA SHEET

### SHEET

ERWIN CAPITAL INC., PETITIONER  
CROSLAND GROUP INC., PETITIONER

## SITE PLAN AMENDMENT

REZONING PETITION NO. 98-42 (C)  
FOR PUBLIC HEARING



### SITE DATA

TOTAL SITE AREA: 40.1 ACRES  
RIGHT OF WAY: +/- 4.6 ACRES  
NET OF RIGHT OF WAY: +/- 35.5 ACRES  
CURRENT ZONING: B-1 CD (+/- 10.5 AC) - 100,000 SF OF BLDG. AREA PERMITTED  
R-15 MF (+/- 24.8 AC) - 305 DU PERMITTED

**PARCEL A-1 & A-2**  
TOTAL SITE AREA: +/- 6.3 AC  
CURRENT ZONING:  
R-15MF(CD) : +/- 9.8 AC  
B-1(CD) : +/- 6.5 AC

**PARCEL B**  
TOTAL SITE AREA: +/- 23.8 AC  
CURRENT ZONING:  
R-15MF(CD) : +/- 19.6 AC  
B-1(CD) : +/- 4.2 AC

**PARCEL A-1**  
PROPOSED ZONING:  
B-1(CD) ADMIN AMENDMENT : +/- 13.2 AC

**PARCEL A-2**  
PROPOSED ZONING:  
B-1(CD) : +/- 3.1 AC  
RETAIL AND OFFICE USES : UP TO 12,000 SF

### LEGEND

- SIGNAGE
- 70' RIGHT OF WAY TO BE DEDICATED
- TWO LANE ROAD DEDICATED

Rezoning Petition No. 98-42(c)  
Development Standards  
Woodland/Beaver Farms Site  
Revised - July 23, 2020

#### General Provisions

Unless more stringent standards are established by the Technical Data Sheet or these Development Standards, all development standards established under the Mecklenburg County Zoning Ordinance (the "Ordinance") for the B-1 zoning district classification shall be followed in connection with development taking place on Parcel A-2 of the Site and for the R-17MF zoning district classification shall be followed in connection with development taking place on Parcel B of the Site.

The configurations, placements and sizes of the buildings outlined on the Schematic Site Plan accompanying this Rezoning Petition are schematic in nature and subject only to the provisions set forth below under Architectural Controls, may be altered or modified during design development and construction document phases within the maximum building envelope lines established on this Technical Data Sheet. Parking layouts may also be modified to accommodate final building locations.

Parcel A-1 has been removed from and is not subject to the approved rezoning plan for Rezoning Petition No. 1996-42 (c) pursuant to Rezoning Petition No. 2020-007 and this administrative amendment.

#### Permitted Uses

**Parcel A-2**  
Parcel A-2 may be devoted to general retail uses and general office uses except that only one fast food/deli-type restaurant and only one convenience/grocery station may be developed on this parcel. The gross floor area of all buildings constructed within Parcel A-2 may not exceed in the aggregate, 12,000 square feet. As noted above, Parcel A-1 has been removed from and is not subject to the approved rezoning plan for Rezoning Petition No. 1996-42 (c) pursuant to Rezoning Petition No. 2020-007 and this administrative amendment, and the maximum gross floor area allowed on Parcel A-1 is 68,000 square feet.

**Parcel B**  
Up to 300 attached or detached dwelling units may be constructed on Parcel B, together with any incidental or accessory structures permitted under the Ordinance in the R-17MF District.

#### Buffers

1. Buffer areas established on this Technical Data Sheet shall conform to the standards of Section 12.302 of the Ordinance, subject, however, to the provisions of Section 12.304 thereof.
2. Buffer areas shall remain as open space and, subject to the provisions of Paragraphs (3) and (4) below, will be left undisturbed.
3. Petitioner reserves the right to install utilities within buffer areas. However, utility installations may only cross buffer areas at interior angles measured at property lines which are not less than 75 degrees.
4. No buildings, parking spaces, maneuvering areas or storm water detention facilities may be located within buffer areas.
5. Where existing trees and natural vegetation have been cleared to accommodate pedestrian sidewalks or pathways or the installation of utilities, the cleared, unimproved areas will be landscaped with trees and shrubs.

#### Setbacks, Side Yards and Rear Yards

1. All buildings constructed within Parcel A-2 shall satisfy or exceed the setback, rear yard and side yard requirements established under the Ordinance for the B-1 Zoning District.
2. All buildings constructed within Parcel B shall satisfy or exceed the setback, rear yard and side yard requirements established under the Ordinance for the R-17MF Zoning District.
3. Building setbacks off of N.C. Highway No. 51, Albemarle Road and Rocky River Church Road will be established in the manner depicted on this Technical Data Sheet.
4. No storm water detention facilities may be located within any setback areas.

#### Screening and Landscaped Areas

1. Screening shall conform with the standards and treatments specified in Section 12.303 of the Ordinance.
2. All roof mounted mechanical equipment will be screened from view.
3. Any dumpsters visible from a public street or from adjoining property will be screened with a solid-enclosure with gates.

#### Architectural Controls

1. All buildings constructed on Parcel A-2 will be architecturally compatible in appearance and quality through the use of similar building materials, accent features and colors.
2. If the Developer is able to attract a major branded service station establishment to the Site, the canopy of its facility may incorporate the companies standard design, materials and colors. While the building for this facility must satisfy the standards established under Paragraph 1 above, the elevations of the building may nevertheless incorporate accent features which include the company's logo and colors.
3. No building on Parcel A-2 may contain over two stories (above ground), or may be more than 35' in height (above ground).
4. No building on Parcel B may contain over three stories (above ground), or may be more than 45' in height (above ground).
5. The front elevation of the main shopping center will be designed such that it is substantially similar in quality and appearance to the character sketch depicted on Exhibit "A" accompanying the Technical Data Sheet. At least 80% of all exterior opaque vertical surfaces of the front elevation and the northern elevation of the main shopping center and 80% of all building elevations constructed on outparcels will be constructed of brick.
6. The southern and rear elevation of the main shopping center will be constructed of concrete block and painted to match the color of the front and northern elevations.

#### Parking

Off street parking spaces will satisfy the minimum standards established under the Ordinance.

#### Lighting

1. All freestanding lighting fixtures installed within each Parcel will be uniform in design.
2. The maximum height of any freestanding lighting fixtures, including its base, shall not exceed 30 feet in height within Parcel A-2 or 20 feet in height within Parcel B.
3. All free standing light fixtures and wall pack light fixtures installed within Parcel A-2 or Parcel B except street lights which may be erected along N.C. Highway No. 51, Albemarle Road or Rocky River Church Road shall be designed such that direct illumination does not extend past any property line. Consideration will be given to the impact of lighting both within and without the perimeter of the Site. Items for consideration will include intensity, cutoff angles, color, energy efficiency and shielding of sources of light, the intent being to eliminate glare towards N.C. Highway No. 51, Albemarle Road and Rocky River Church Road and adjacent properties.
4. All wall packs will be shielded.

#### Signs

1. All signs placed on the Site will be erected in accordance with the requirements of the Ordinance.

#### Access Points (Driveways)

1. The number of vehicular access points to the Site shall be limited to the number depicted on this Technical Data Sheet.
2. The placement and configuration of each access point are subject to any minor modifications required to accommodate final site and architectural construction plans and designs and to any adjustments required for approval by the County Engineering Department and the North Carolina Department of Transportation.
3. The parking lots for each of the establishments placed on the Site must be configured in such fashion as to allow internal vehicular traffic to move from one Parcel to the other Parcel.

#### Fire Protection

Adequate fire protection in the form of fire hydrants will be provided to the Mecklenburg County Fire Marshal's specifications. Plans for each building will be submitted to the Fire Marshal's office for approval before the construction of that building commences.

#### Storm Water Management/Sewer

Storm water runoff from the Site will be managed through proven techniques which satisfy the standards imposed by the Mecklenburg County Engineering Department.

The Petitioner agrees to install gravity sewer lines to serve this project of a size that will meet the sewer collection needs of future upstream development, to the end that the sewer collection lines will not have to be paralleled if and when CMUD provides sewer service to this basin. In determining the appropriate size of the gravity sewer lines the engineers and CMUD shall take into consideration the size and capacity of the existing gravity sewer lines downstream which this project shall flow into.

The Petitioner agrees to have the dept of water and sediment measurements taken in the downstream pond prior to any grading. This work will be performed by a registered land surveyor and is intended to generate an accurate datum in the event of future claims that the grading of future claims that the grading of this Site has caused sedimentation in the pond. These measurements will be made available to the County Engineering Staff. Similar measurements may be required by the County Engineering Staff after construction is complete.

#### Amendments to Rezoning Plan

Future amendments to the Technical Data Sheet and these Development Standards may be applied for by the then Owner or Owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance.

#### Binding Effect of the Rezoning Application

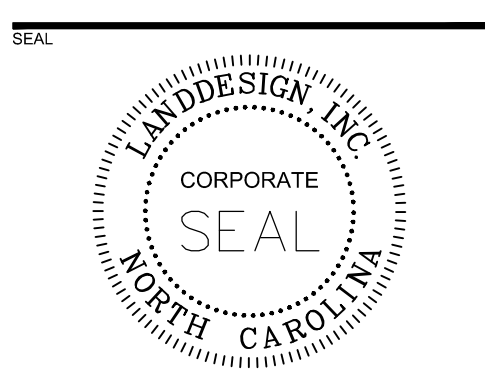
If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under these Development Standards and the Technical Data Sheet will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.

Attached to Administrative

Approval

*Solomon A. Fortune*  
**Solomon A. Fortune**

KEY MAP



NOT FOR CONSTRUCTION

BEAVER FARMS

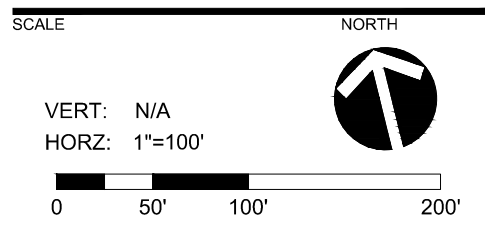
ERWIN CAPITAL, INC  
1521 PROVIDENCE ROAD  
CHARLOTTE, NC 28211

LANDDESIGN PROJ# 1019529

#### REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	INITIAL SUBMITTAL	08/19/98
2	REVISED PER STAFF COMMENTS	09/17/98
3	REVISED PER STAFF COMMENTS	09/24/98
4	REVISED PER STAFF COMMENTS	10/21/98
5	APPROVED BY COUNTY	11/17/98
6	ADMIN AMENDMENT	07/23/2020
7	ADMIN AMENDMENT	08/12/2020

DESIGNED BY: MEK  
DRAWN BY: MEK  
CHECKED BY: LDI



SHEET TITLE  
SITE PLAN AMENDMENT  
TECHNICAL DATA SHEET


SHEET NUMBER

**CHARLOTTE - MECKLENBURG**  
**PLANNING COMMISSION**

**INTER - OFFICE COMMUNICATION**

**DATE:** July 6, 2004

**TO:** Robert Brandon  
Zoning Administrator

**FROM:**   
Debra Campbell  
Planning Director

**SUBJECT:** Administrative Approval for Petition No. 98-42(c) by Erwin Capital, Inc. and The Crosland Group, Inc.

Attached is a revised sketch plan sheet 2 and elevations for the drug store. Since this plan reflects minor changes to the site layout and does not alter the intent of the original site plan, I am administratively approving this revised plan and elevations. Please use this revised plan and elevations when evaluating requests for building permits and certificates of occupancy.

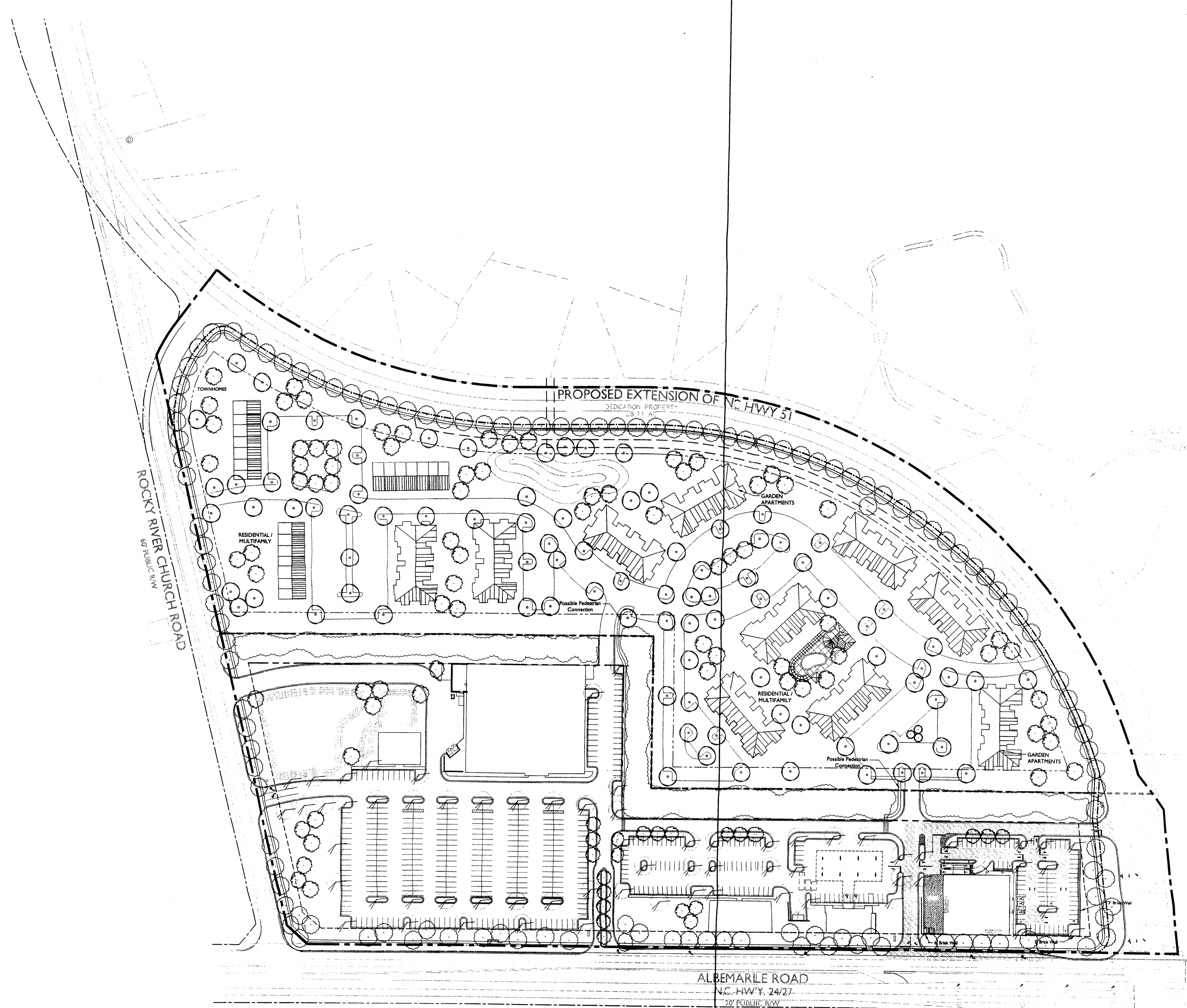
**Note that sheet 1 and elevations for the grocery store from the original approval still apply.**  
**All other ordinance requirements still apply.**

# ERWIN CAPITAL/BEAVER FARMS SKETCH PLAN

ERWIN CAPITAL INC., PETITIONER  
CROSLAND GROUP INC., PETITIONER

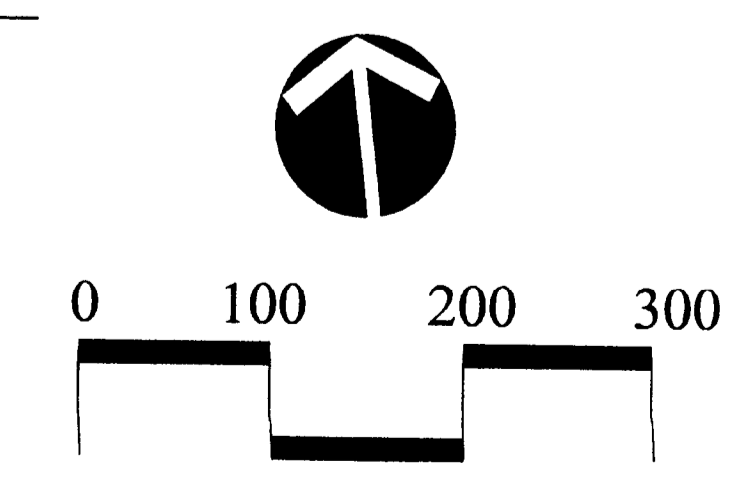
SITE PLAN AMENDMENT

REZONING PETITION NO. 98-42 (C)  
FOR PUBLIC HEARING



ATTACHED TO ADMINISTRATIVE  
APPROVAL  
DATED: *July 6, 2004*  
BY: DEBRA D. CAMPBELL  
*98-42(C)*  
*Ford Design*

DATE: JUNE 3, 1998  
PROJECT NO. 18021  
REVISIONS:  
August 19, 1998: Combined outparcels and revised multi-family layout.  
04-16-04 UPDATED SITE PLAN  
05-03-04 SITE PLAN AMENDMENT



SCALE: 1"=100"

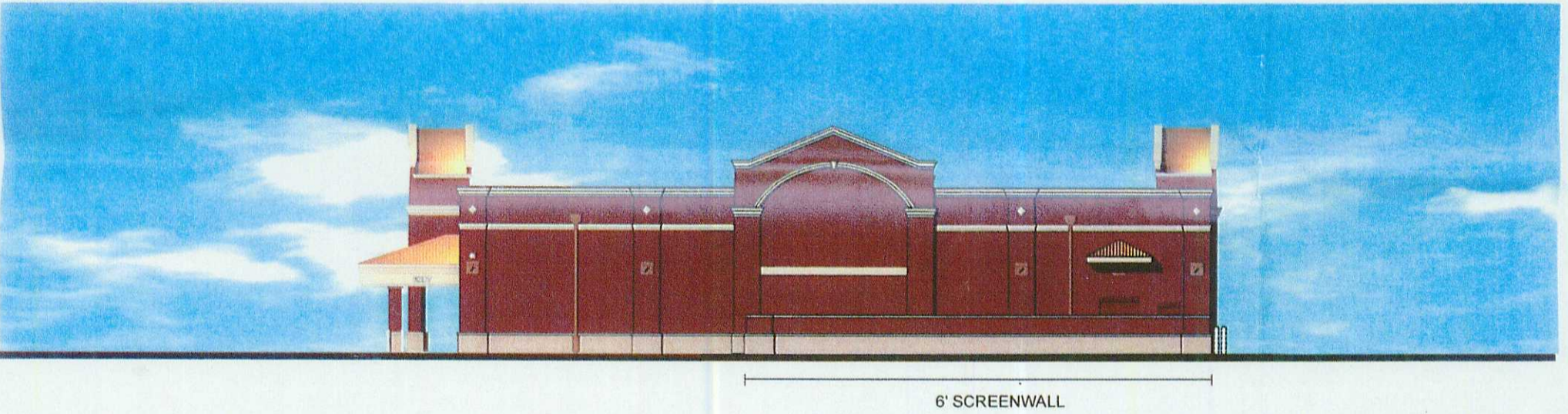
© 1701 East Boulevard, Charlotte, NC 28203 704/333-0325  
© 1414 Prince Street, Alexandria, VA 22314 703/549-7784  
**Land Design Inc.**  
Landscape Architecture Land Planning  
Urban Design

SHEET NO. 2 OF 2  
FILE NAME: 18021/18021B06.DWG

RIGHT SIDE ELEVATION



REAR ELEVATION



FRONT ELEVATION (FROM HIGHWAY 51)



LEFT SIDE ELEVATION (FROM ALBEMARLE ROAD)



**ATTACHED TO ADMINISTRATIVE APPROVAL**

98-42(c) *DATE* July 6, 2004

**BY: DEBRA D. CAMPBELL**

Eckerd #8128  
Charlotte, NC @ Albemarle and Highway 51

**JDH**  
CAPITAL

**RBA**  
group  
ARCHITECTURE

June 28, 2004



## Charlotte-Mecklenburg Planning Department

**DATE:** October 11, 2013

**TO:** Mark Fowler  
Zoning Supervisor

**FROM:** Debra Campbell  
Planning Director

**SUBJECT:** Administrative Approval for Petition No. 1998-042C Erwin Capital and The  
Crosland Group

SF

Attached is the proposed color palette for any new building construction for petition 1998-042C. Since these changes do not alter the intent of the development and meet the requirements of the conditional site plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

**Note: All other Zoning, Subdivision, Tree Ordinance and conditional requirements still apply.**



September 25, 2013

Solomon Fortune  
Charlotte-Mecklenburg Planning Department  
Development Services  
600 East 4th Street  
8th Floor  
Charlotte, NC 28202

DELIVER VIA EMAIL  
sfortune@ci.charlotte.nc.us

Re: Beaver Farms  
Albemarle Road, Rocky River Church Road and Blair Road  
Charlotte, North Carolina

Dear Solomon:

As requested, attached is the Exterior Finish Schedule and color pallet that will be used for the entire Beaver Farms project. Included you'll find details about the brick, mortar, EIFS and roof materials.

If you have any questions or require additional information, please let me know.

Thanks you,  
CAMBRIDGE PROPERTIES, INC.

A handwritten signature in blue ink, appearing to be 'B Moran', is written over the typed name. The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Brianne L. Moran

**BEAVER FARMS DEVELOPMENT  
CHARLOTTE, NORTH CAROLINA**

**PROJECT EXTERIOR FINISH SCHEDULE**

MATERIAL	MANUFACTURER	STYLE/MODEL	COLOR/FINISH
EIFS	Sto Corp.	Classic NEX-T Insulated Wall Cladding System	NA12-0023 in StoPowerwall Fine (80296) Finish
Brick	Triangle Brick Co.	Old South Handform	--
Mortar	Esroc Cement Corp.	Brixment-in-Color	To Match EIFS Finish
Aluminum Storefront	--	451-T Center Set	Clear Anodized
Roof	--	Rubber Membrane	Not visible
Roof (Metal Standing Seam)	--	--	Dark Bronze
Copins Cap	--	--	Dark Bronze

WOODLAND BEAVER FARMS, LLC

By: \_\_\_\_\_

*Mark W. Erwin*  
Mark W. Erwin, Manager

Date: \_\_\_\_\_

*Sept. 25, 2013*

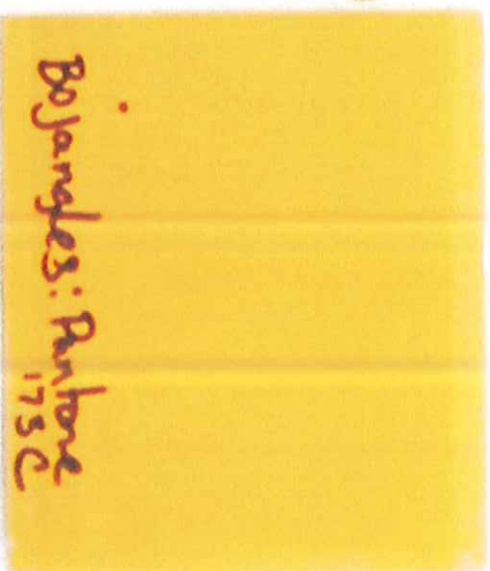




Triangle Brick  
www.trianglebrick.com

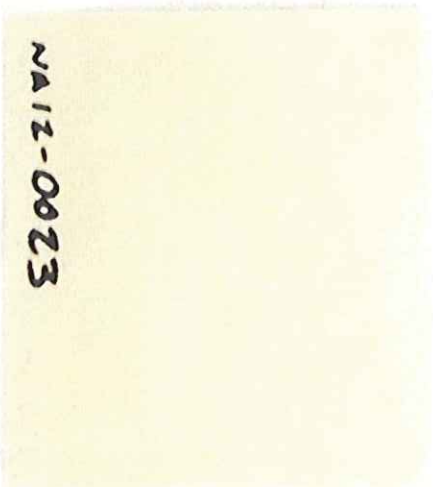


BEAVER FARMS  
Charlotte, NC



Bojangles: Ranthone  
175C

ETES/  
mother  
color

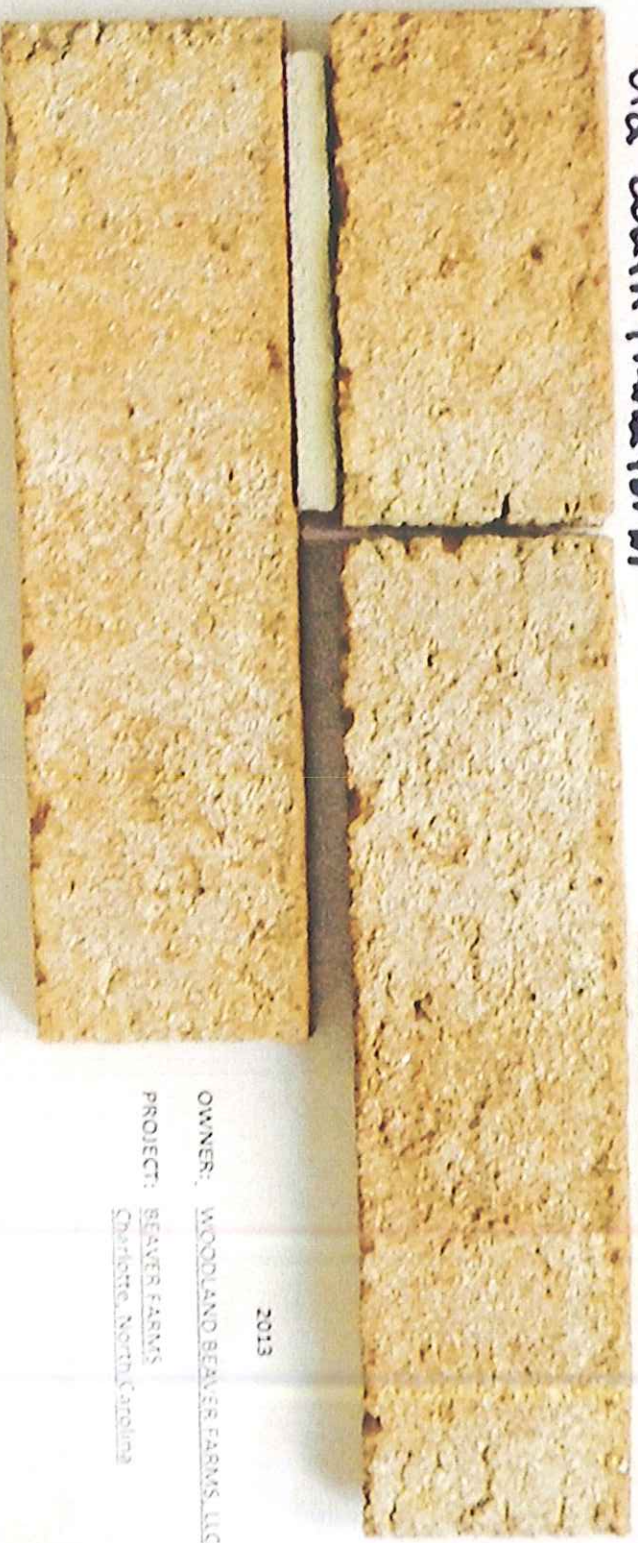


NA12-0023



Dark Bronze

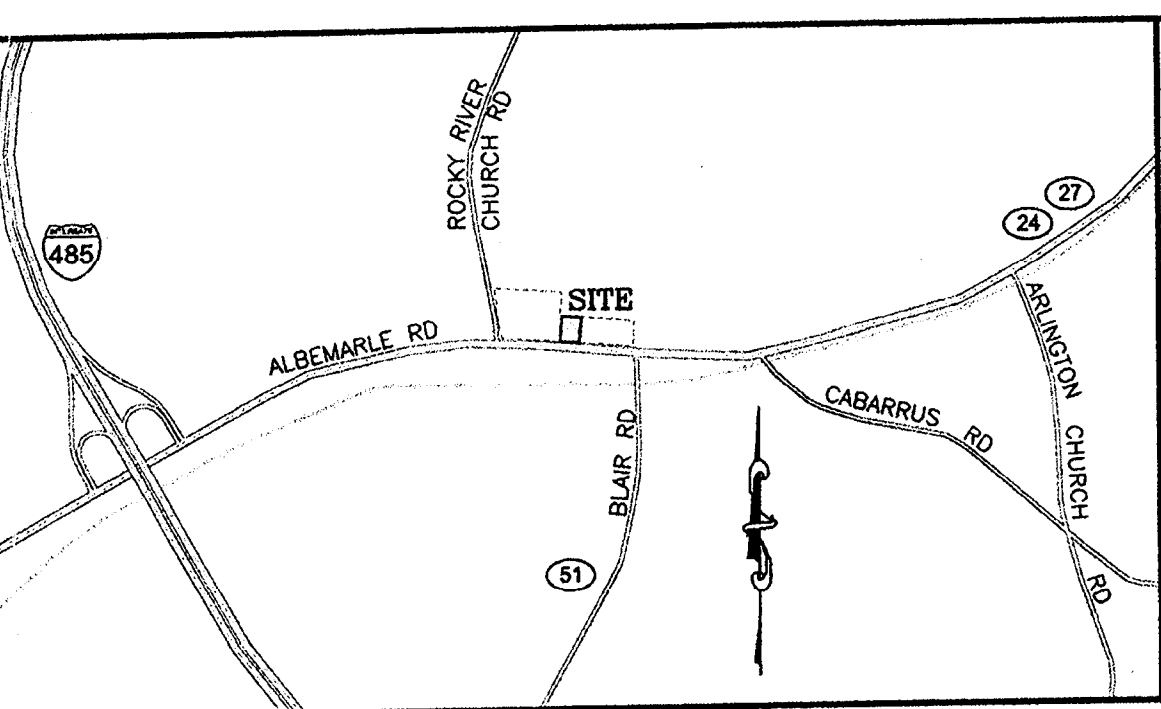
Brick:  
Old South Hand Form



OWNER: WOODLAND BEAVER FARMS, LLC  
PROJECT: BEAVER FARMS  
Charlotte, North Carolina

2013

VISTA PARK, LLC  
DB 26605, PG 186  
MB 51, PG 486  
PID 11123331



**RECOMMENDED PAVING SPECIFICATIONS**

- \*VERIFY WITH GEOTECHNICAL REPORT\*
- LIGHT DUTY PAVEMENT (LDP):**  
6" COMPACTED AGGREGATE BASE COURSE (CABC)  
2" BINDER COURSE, 119.0B  
1" SURFACE COURSE, 59.5B
- HEAVY DUTY PAVEMENT (HDP):**  
6" COMPACTED AGGREGATE BASE COURSE (CABC)  
2" BINDER COURSE, 119.0B  
1" SURFACE COURSE, 59.5B
- CONCRETE DUMPSTER AND HEAVY DUTY PAVEMENT**  
5" COMPACTED AGGREGATE BASE COURSE (CABC)  
7" 4,000 PSI CONCRETE WITH 6" X 6" WIRE MESH REINFORCEMENT (10 GAUGE WWF)
- CONCRETE SIDEWALK PAVEMENT**  
4" 3,800 PSI CONCRETE  
SUBGRADE SHALL BE COMPACTED TO 98% MIN. OF THE STANDARD MAXIMUM DRY DENSITY (ASTM D698).

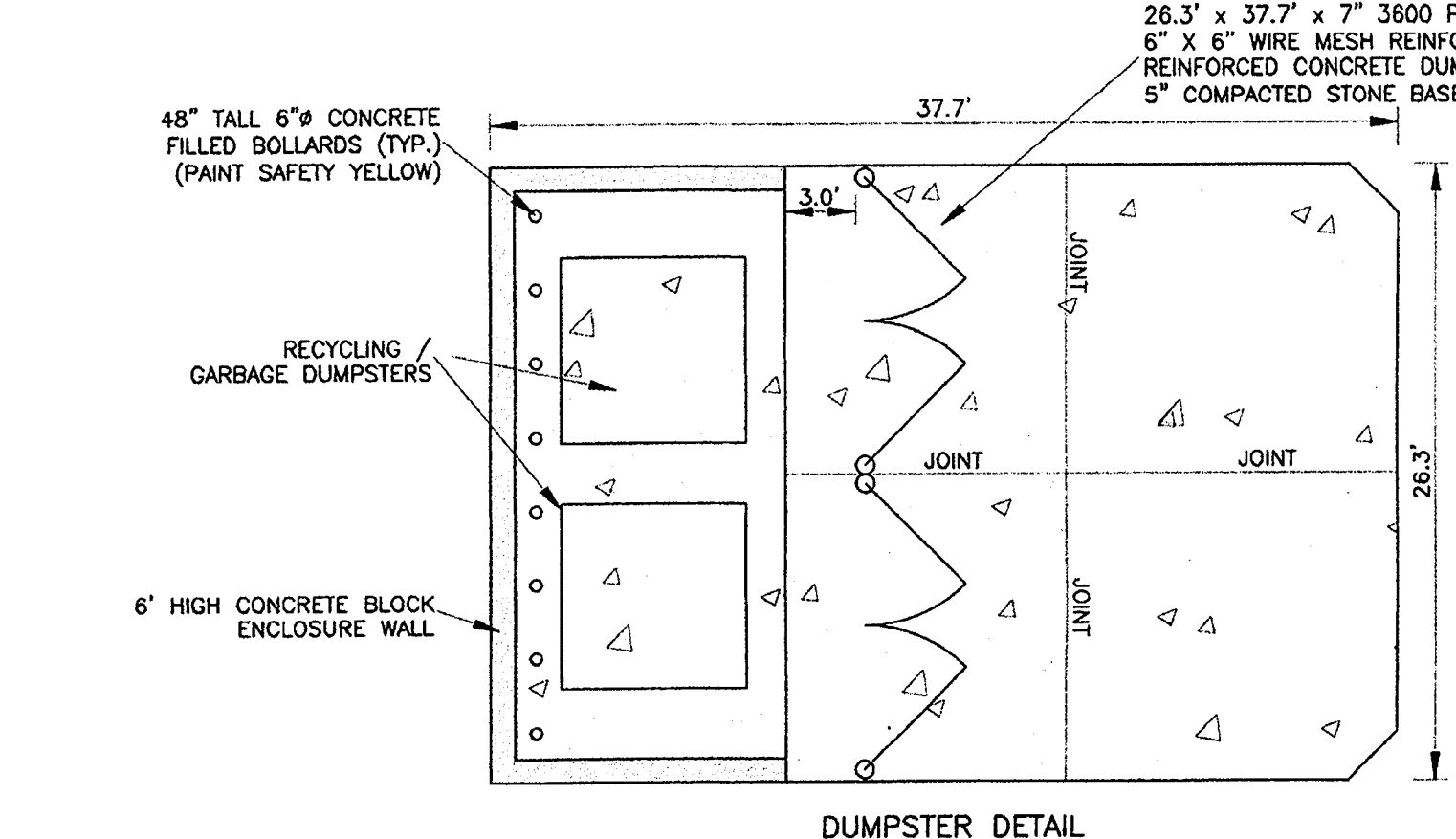
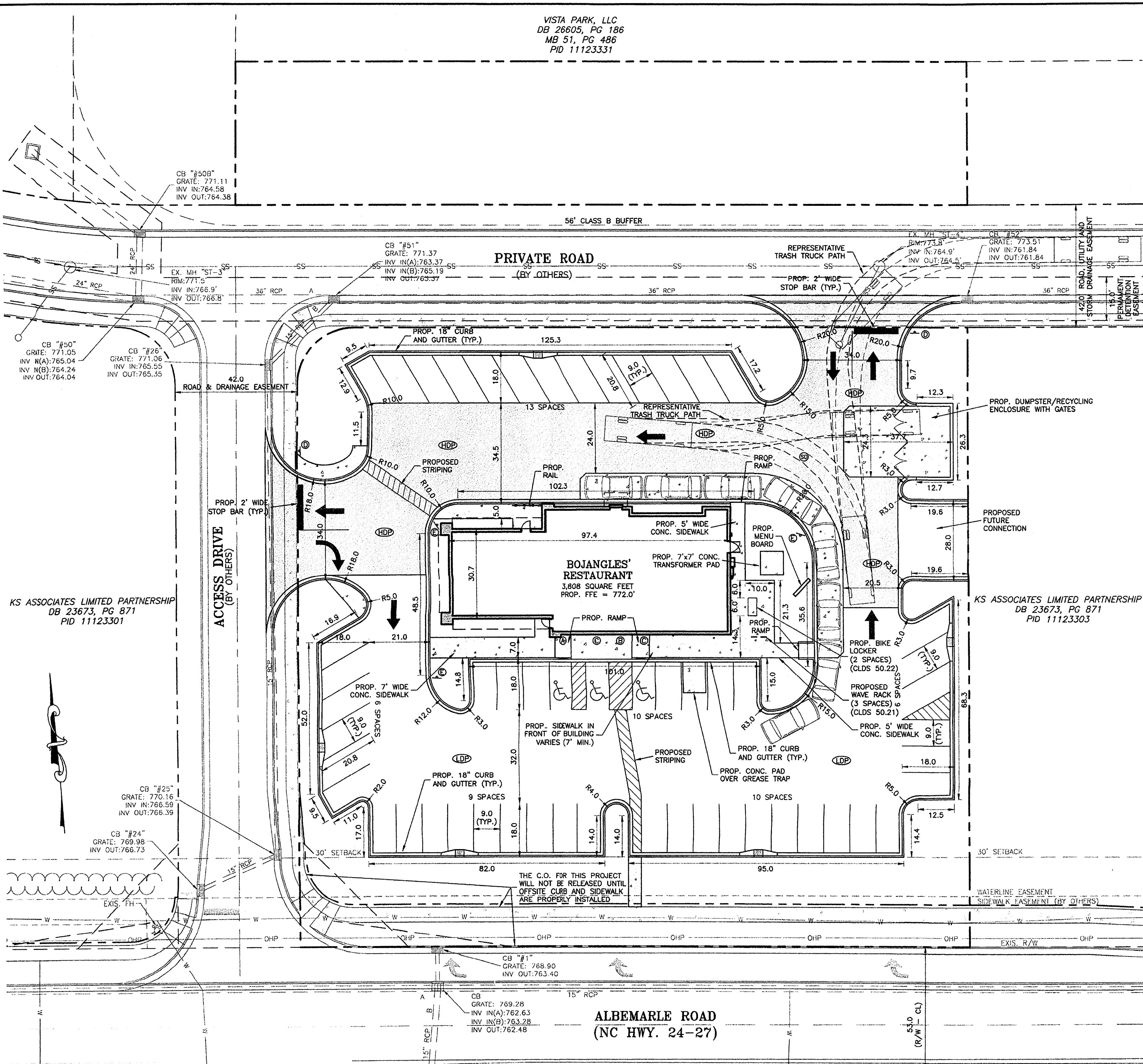
- NOTES:**
- ALL FILL USED FOR RAISING SITE GRADES OR FOR REPLACEMENT OF MATERIAL THAT IS UNDERCUT SHOULD BE UNIFORMLY COMPACTED IN THIN LIFTS TO AT LEAST 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698). IN ADDITION, AT LEAST THE UPPER 18 INCHES OF SUBGRADE FILL BENEATH PAVEMENTS AND FLOOR SLABS AND 24 INCHES BELOW PAVEMENTS SUBJECT TO TRUCK TRAFFIC SHOULD BE COMPACTED TO 100 PERCENT OF THE SAME SPECIFICATION. THE ABOVE COMPACTION SPECIFICATION IS A RECOMMENDATION ONLY. SPECIFIC PAVEMENT OR FLOOR SLAB ABOVE COMPACTION SPECIFICATION IS A RECOMMENDATION ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SITE WORK MEASURES IN STRICT ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS IN THE PROJECT SOILS REPORT AND/OR ON-SITE RECOMMENDATIONS PROVIDED BY A QUALIFIED GEOTECHNICAL ENGINEER DURING CONSTRUCTION.
  - PAVEMENT SPECIFICATIONS LISTED ABOVE ARE RECOMMENDATIONS ONLY AND ARE SUBJECT TO CHANGE BASED UPON PROJECT CONDITIONS OR RECOMMENDATIONS CONTAINED WITHIN THE SOILS REPORT. PRIOR TO COMMENCEMENT OF PAVING, THE OWNER OR CONTRACTOR SHOULD HIRE A GEOTECHNICAL ENGINEER TO PROVIDE A PAVEMENT DESIGN BASED UPON ANTICIPATED VEHICULAR TRAFFIC AND PROJECT SOIL CONDITIONS. THE ISAACS GROUP ASSUMES NO RESPONSIBILITY FOR THE ADEQUACY OF THE PAVEMENT SPECIFICATION PROVIDED ABOVE.
  - UNLESS SPECIFIED/DETAILED WITHIN THE CONTRACT DRAWINGS, CONTRACTOR SHALL PREPARE A CONCRETE JOINT LAYOUT PLAN IN ACCORDANCE WITH ACI 224.3R-95 OR ACI 330.1-03 FOR CONCRETE SURFACES AND PROVIDE TO ENGINEER, OWNER AND ARCHITECT FOR SHOP DRAWING APPROVAL PRIOR TO CONCRETE INSTALLATION.

**LANDSCAPING NOTES:**

- ALL TREES ON PUBLIC PROPERTY ARE PROTECTED BY ORDINANCE AND REMOVAL MUST BE APPROVED BY THE CITY ARBORIST (704)-336-4262.
- NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE SAVE AREAS.
- TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, GRADING, OR CONSTRUCTION BEGINS, AND NOT REMOVED UNTIL FINAL INSPECTIONS.
- TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORDINANCE STANDARDS IN DEVELOPMENT STANDARDS MANUAL 40.02.
- BEFORE GRADING/CLEARING/CONSTRUCTION BEGINS, CALL 704-336-4330 FOR INSPECTION OF TREE PROTECTION BARRICADES BY URBAN FORESTRY STAFF.
- NO GRUBBING WITHIN TREE SAVE AREAS. LEAVE SOIL AND LEAF LITTER UNDISTURBED. SUPPLEMENT WITH 1-2 INCHES OF MULCH.
- EXPOSED TREE ROOTS MUST BE CLEANLY CUT WITH A SHARP PRUNING TOOL; BACKFILL ASAP TO MINIMIZE EXPOSURE TO THE AIR.
- TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/GRADING/CONSTRUCTION, AND NOT REMOVED UNTIL AFTER FINAL INSPECTIONS BY URBAN FORESTRY STAFF.
- PLEASE SUBMIT UTILITY PLANS TO THAT THEY CAN BE REVIEWED FOR UTILITY CONFLICTS WITH EXISTING AND PROPOSED TREES, ELECTRICAL, TELEPHONE, GAS, SEWER, WATER, AND SITE LIGHTING.
- TREE PROTECTION FENCE IS TO BE LOCATED 5 FEET BEYOND DRIP LINE OF TREE SAVE AREAS, OR 1 FOOT PER TREE DIAMETER INCH AWAY FROM TREE, WHICHEVER IS GREATER.

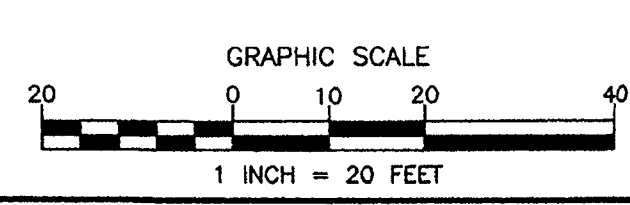
**NOTES:**

- THIS MAP IS NOT A CERTIFIED SURVEY. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY THE ISAACS GROUP, P.C.
- THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN; THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- PROVIDE MINIMUM OF 48 HOUR NOTICE TO OWNER OR REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY EXISTING UTILITY, IF BEING UTILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION AND PROTECTION OF EXISTING ABOVE AND BELOW GROUND UTILITIES AND STRUCTURES. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY IN SERVICE WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE UTILITY OWNER. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY NOT IN SERVICE AND WHICH ARE TO BE REPLACED DURING THE COURSE OF CONSTRUCTION MAY BE REMOVED AND LEGALLY DISPOSED OF IF DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES.
- HANDICAP SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH A.D.A. STANDARDS AT H/C PARKING SPACES SHOWN.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, DEMOLITION, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION, SPECIAL USE, SEWER AND WATER.
- CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
- ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
- TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704)-336-4262 PRIOR TO THE REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704)-336-6892 FOR REQUIRED PERMITS.
- BEFORE YOU DIG STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. "IT'S THE LAW."
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.



- LEGEND**
- SS - EXISTING SANITARY SEWER LINE
  - W - EXISTING WATER LINE
  - C - EXISTING CATCH BASIN
  - OHP - EXISTING OVERHEAD POWER
  - SDP - EXISTING STORM DRAINAGE PIPE
  - HDP - PROP. HEAVY DUTY PAVEMENT
  - LDP - PROP. LIGHT DUTY PAVEMENT
  - CONC - PROPOSED CONCRETE

- SIGN SCHEDULE**
- RESERVED PARKING - MAX PENALTY \$250 (MUTCD R7-8 & R7-8D)
  - NO PARKING; DISABLED PASSENGER LOADING SIGN (MUTCD R7-1)(STD. NO. 50.10A)
  - VAN ACCESSIBLE HANDICAPPED PARKING SIGN (MUTCD R7-8, R7-8A, & R7-8D)
  - STOP SIGN (30" x 30") (MUTCD R1-1-30)
  - DO NOT ENTER SIGN (MUTCD R5-1)
- SIGNAGE NOTE:**  
CONTRACTOR TO COORDINATE FINAL SIGN LOCATIONS WITH OWNER PRIOR TO INSTALLATION



**PCCO SUMMARY**

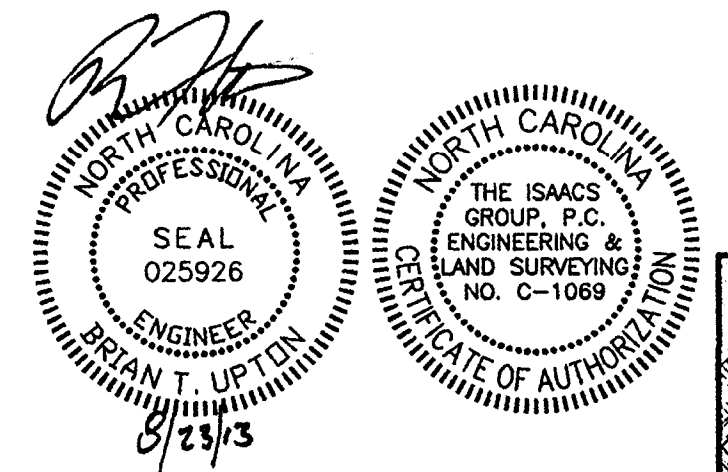
Original Parcel ID Number(s):	1111-233-03
Development Type:	Commercial
Subject to PCCO? Y/N	N
If NO, why?	Rezoning
Watershed:	Yadkin
Disturbed Area (ac):	1.07 (Total); 1.03 (property); 0.04 (ROW)
Site Area (ac):	1.12
	DAW1
Total on-site Drainage Area (ac):	1.12
Existing Built-upon area (SF):	0
Existing BUA to be removed (SF):	0
Existing BUA to remain (SF):	0
Proposed New BUA (SF):	37,086
Proposed % BUA:	76.0
Density (High / Low):	High
Total Post-Project BUA for site:	37,086 SF; 76.0%
Development or Redevelopment?	Development
Natural Area Required (ac):	N/A
Natural Area provided, total (ac):	N/A
Undisturbed Treated Natural Area Preserved (ac):	N/A
Total stream buffer protected on-site (ac):	N/A
Transit Station Area? Y/N	N
Distressed Business District? Y/N	N
Mitigation Type (if applicable):	N/A
Natural Area mitigation? Y/N	N
Buffer Mitigation? Y/N	N
Total Phosphorous Mitigation? Y/N	N

**PCCO COMPLIANCE:**  
THIS SITE IS NOT SUBJECT TO PCCO DUE TO REZONING.

**DETENTION COMPLIANCE:**  
DETENTION FOR THIS PROJECT IS PROVIDED IN AN OFFSITE REGIONAL BASIN THAT SERVES THE BEAVER FARMS DEVELOPMENT.

**ZONING CODE SUMMARY**

PROJECT NAME: BOJANGLES'  
PLANS PREPARED BY: THE ISAACS GROUP, P.C.  
PHONE #: 704-327-3440  
ZONING: R-1 (CO) REZONING PETITION: 1998-42(C) ATTACHED TO ADMINISTRATIVE APPROVAL  
JURISDICTION: CITY OF CHARLOTTE  
TAX PARCEL #: 111-233-03 ATTACHED TO ADMINISTRATIVE APPROVAL  
PROPOSED USE: RESTAURANT  
LOT SIZE: 48,784/1.12 SQ. FEET/ACRES  
GROSS FLOOR AREA: 3,808 SQ. FEET  
EXISTING IMPERVIOUS AREA AND GRAVEL AREA: 0 / 0 SQ. FT./ACRES  
PROPOSED IMPERVIOUS AREA AND GRAVEL AREA: 37,424/0.88 SQ. FT./ACRES  
YARD REQUIREMENTS:  
SETBACK (FRONT): 30' REAR YARD: 0'  
SIDE YARD (WEST): 0' SIDE YARD (EAST): 0'  
BUFFER REQUIREMENTS:  
56' (CLASS B), ALONG REAR OF PROPERTY  
PARKING DATA:  
PARKING REQUIRED: 1 SPACE/250 S.F. = 3,808 S.F./250 = 15 SPACES  
PARKING PROVIDED: 56 SPACES (INCLUDES 3 HANDICAP SPACES)  
BIKE PARKING DATA:  
REQUIRED: LONG TERM = 2 SPACES  
SHORT TERM = 5% OF PARKING = 57.05 = 3 SPACES  
PROVIDED: 5 TOTAL (2 LONG TERM + 3 SHORT TERM)  
ALL SIGNAGE WILL BE PERMITTED SEPARATELY. AN ASSIGNED BUILDING PERMIT NUMBER AND ADDRESS MUST BE POSTED ON BUILDING



**BOJANGLES'**  
11420 BEAVER FARMS ROAD  
CHARLOTTE, NORTH CAROLINA

**SITE PLAN**

File #: 17216.dwg Date: 5/31/13 Project Egr: B/W  
Design By: B/W  
Drawn By: C/C  
Scale: 1" = 20'

**ISAACS GROUP, P.C.**  
CIVIL ENGINEERING DESIGN AND SURVEYING  
NO. C-1069

8720 RED OAK BOULEVARD, SUITE 420  
CHARLOTTE, N.C. 28217  
PHONE (704) 527-3440 FAX (704) 527-8335

**C1.0**



**Charlotte-Mecklenburg Planning Department**

**DATE:** November 1, 2013

**TO:** Mark Fowler  
Zoning Supervisor

**FROM:** Debra Campbell  
Planning Director

**SUBJECT:** Administrative Approval for Petition No. 1998-042C Erwin Capital and The Crosland Group

Attached is the site plan and building elevations for the proposed Bojangles restaurant. Since these changes do not alter the intent of the development and meet the requirements of the conditional site plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

**Note: All other Zoning, Subdivision, Tree Ordinance and conditional requirements still apply. Signage was noted reviewed as part of this request.**

VISTA PARK, LLC  
DB 26605, PG 186  
MB 51, PG 486  
PID 11123331

LANDSCAPING NOTES:

- NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED IN ACCORDANCE WITH THE PLAN BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS (IF APPLICABLE).
- FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE, CONSTRUCTION DEBRIS AND COMPACTED SOIL PRIOR TO PLANTING.
- REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL/PLANTING MIX OR UNCOMPACT AND AMEND TOP 24" OF EXISTING SOIL TO MEET TOP SOIL STANDARDS FOR PLANTING TREES.
- PLEASE CALL 336-4330 FOR INSPECTION OF TREES AND/OR TREE PLANTING AREAS, 7 TO 10 DAYS BEFORE THE TEMPORARY OR FINAL CERTIFICATE OF OCCUPANCY IS NEEDED.
- ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
- ADJUST TREE PLANTING TO AVOID UNDERGROUND UTILITIES. 15.0' OFF WATER, ELECT, AND GAS - 15.0' OFF SANITARY SEWER AND STORM DRAINAGE.
- REFERENCE CMLD STANDARDS 40.01, 40.02, 40.03, 40.04, AND 40.09 FOR TREE PLANTING AND PROTECTION DETAILS.
- GEORGRID FOR RETAINING WALLS IS TO BE LEFT 24" MIN. BELOW GRADE IN TREE PLANTING AREAS.
- ATTENTION LANDSCAPER NOTIFY URBAN FORESTER OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES. CALL 336-4330.
- ORDINANCE REQUIRED TREES MUST BE MAINTAINED IN TREE FORM & ALLOWED TO GROW TO THEIR NATURAL HEIGHT/FORM, WITH A MAXIMUM OF THREE STEMS OR TRUNKS (NO TOPPING OR ROUNDING OVER).
- ALL AUTOMOBILE PARKING SPACES MUST BE WITHIN FORTY (40) FEET OF A TREE.
- LARGE MATURING TREES MUST BE A MINIMUM OF 25 FEET FROM OVERHEAD DISTRIBUTION POWER LINES. IF TREES CONFLICT WITH POWER LINES, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
- TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/GRADING/CONSTRUCTION, AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTER.
- VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
- SHRUBS SHALL BE 2' HIGH, 2" WIDE, 5-GAL., AT TIME OF PLANTING AND SHALL BE LOCATED AT 5' O.C.
- A MINIMUM OF FIFTY (50) PERCENT OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN TWENTY (20) TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.
- 75% LARGE MATURING TREES ARE REQUIRED UNLESS THERE IS OVERHEAD POWER.
- SITE LIGHTING MUST BE A MINIMUM OF THIRTY (30) FEET AWAY FROM A TREE. IF PEDESTRIAN SCALE LIGHTING IS BEING USED, THE LIGHTING MUST BE A MINIMUM OF FIFTEEN (15) FEET AWAY FROM A TREE, UNLESS APPROVED OTHERWISE BY THE CITY. NO LIGHT POLES ALLOWED IN TREE ISLANDS.
- UNLESS APPROVED BY URBAN FORESTRY STAFF ALL REQUIRED TREES MUST HAVE SINGLE STEM TRUNKS WITH NO CO-DOMINANT TRUNKS OR BRANCHES. TREE TRUNKS SHALL BE STRAIGHT IN FORM AND FREE OF DAMAGE OR CRACKS. PRUNING SHALL BE CALLED OVER. BRANCH LENGTH SHALL BE TYPICAL FOR THE TREE AGE AND NOT BE BROKEN, DISEASED, OR INJURED. ROOT FLARE SHALL BE LOCATED AT GRADE AND BE FREE OF ADNEITIOUS ROOT GROWTH.

LANDSCAPING REQUIREMENTS

INTERIOR:  
BUILDINGS, PARKING LOTS, AND WALKWAYS: 37,424/0.88 SQ. FEET/ACRES  
LANDSCAPED AREA:  
INTERNAL TREE REQUIREMENT: 1 TREE/10,000 S.F. IMPERVIOUS= 37,424/10,000 S.F. IMPERVIOUS= 4 TREES  
PROVIDED= 4 PROPOSED

STREET TREES:  
ALBEMARLE ROAD  
231 L.F. OF STREET FRONTAGE  
REQUIRED: 1 SMT PER 30 L.F. OF FRONTAGE (DUE TO OHP)  
231 L.F. \* (1 TREE/30 L.F.) = 8 TREES  
PROVIDED: 8 SMT'S (BY OTHERS)

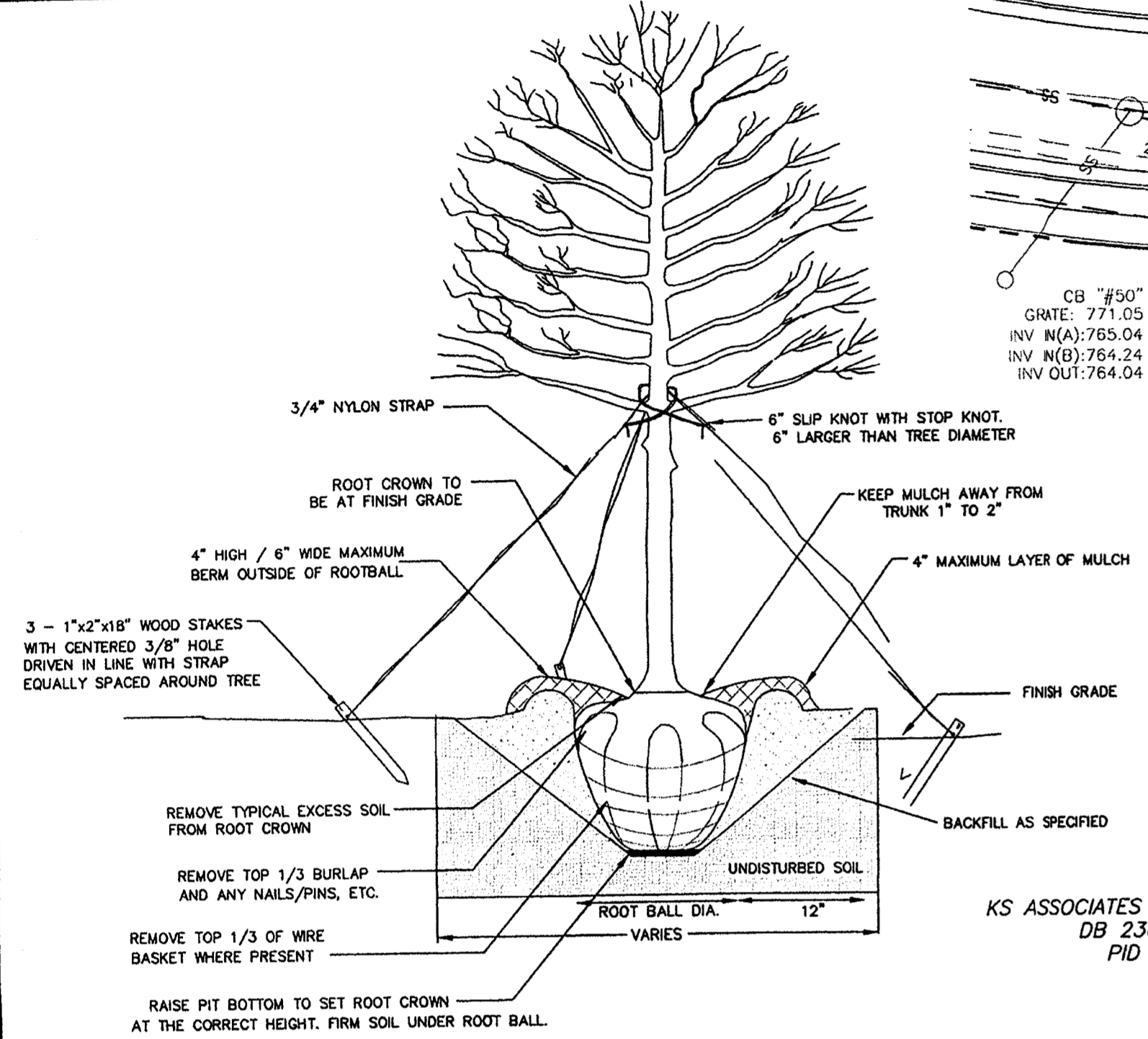
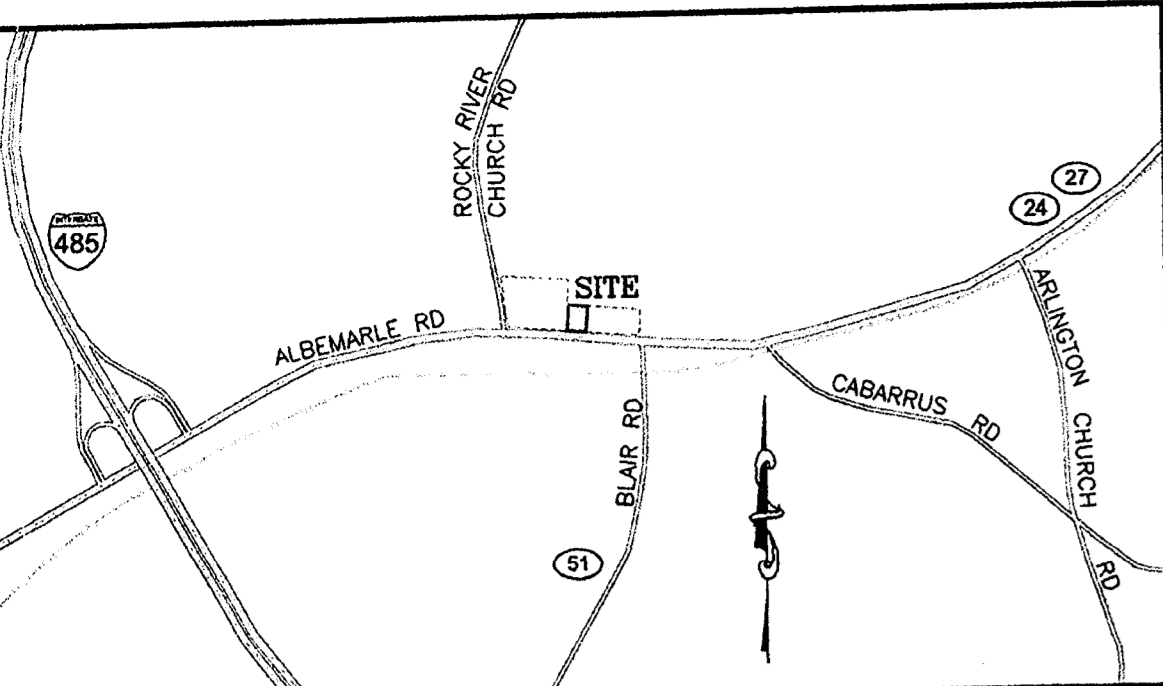
ACCESS DRIVE  
200 L.F. OF STREET FRONTAGE  
REQUIRED: 1 LMT PER 40 L.F. OF FRONTAGE  
200 L.F. \* (1 TREE/40 L.F.) = 5 TREES  
PROVIDED: 5 LMT'S

PRIVATE ROAD  
231 L.F. OF STREET FRONTAGE  
REQUIRED: 1 LMT PER 40 L.F. OF FRONTAGE  
231 L.F. \* (1 TREE/40 L.F.) = 6 TREES  
PROVIDED: 6 LMT'S

BUFFER PLANTINGS:  
CLASS B BUFFER: 252 L.F.  
6 TREES REQUIRED PER 100 L.F. = 32 REQUIRED  
23 LMT'S AND 9 SMT'S PROVIDED (BY OTHERS)

NOTES:

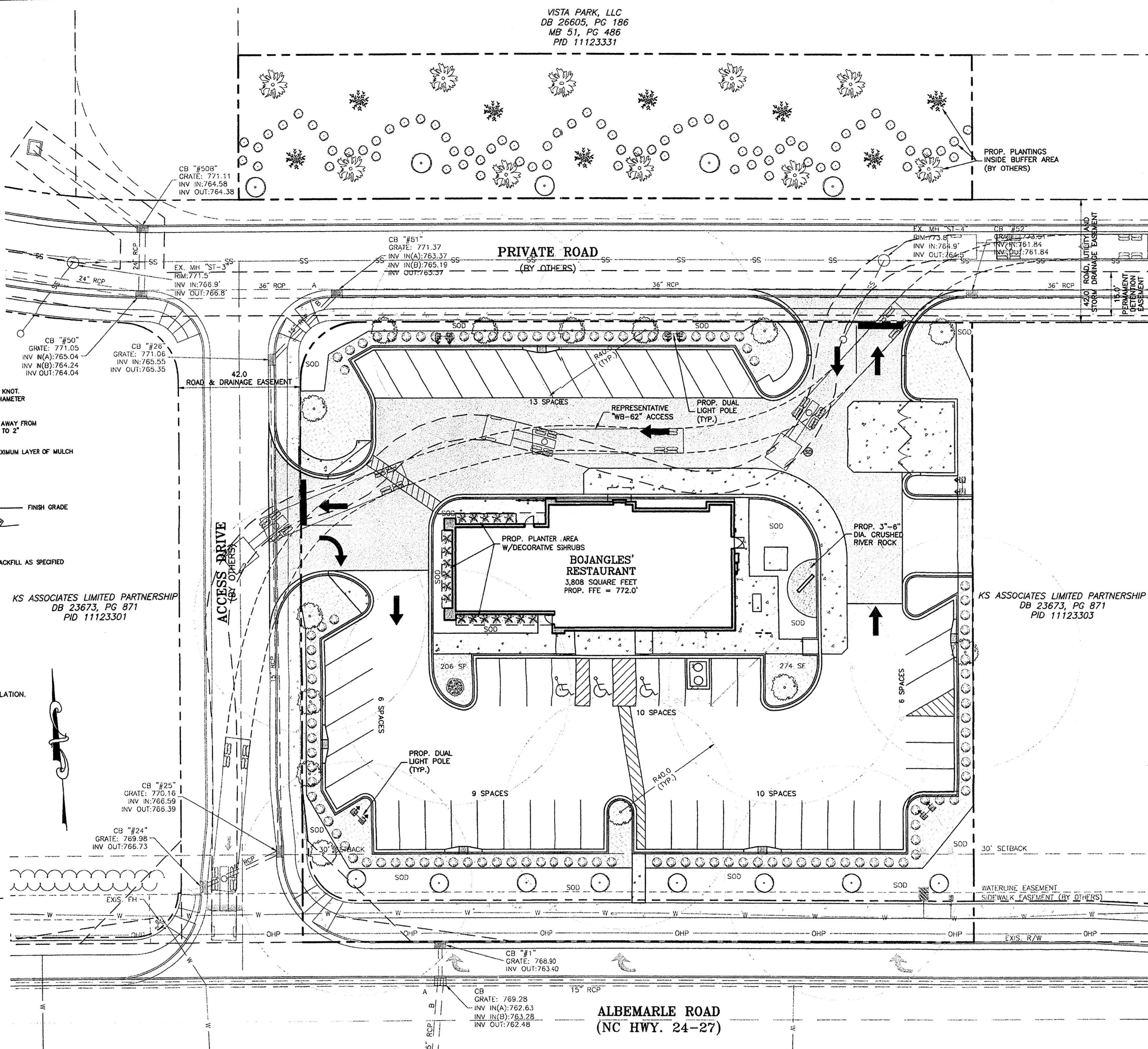
- DRIP IRRIGATION IN PLANTERS NEAR BUILDING
- ALL GRASS AREAS TO BE SOD.
- SPRINKLER HEADS IN RADIUS AREAS TO BE NO CLOSER THAN 36" FROM BACK OF CURB.



- NOTES:
- REMOVE WIRE AND NYLON TWINE FROM BALL AND CANOPY.
  - SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
  - STAKING IS REQUIRED FOR ALL TREES IN R.O.W. OR UPON REQUEST OF ARBORIST.
  - REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
  - RESEED UNMULCHED, DISTURBED AREAS.
- TREE PLANTING  
CLDS 40.01

NOTES:

- THIS MAP IS NOT A CERTIFIED SURVEY. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY THE ISAACS GROUP, P.C.
- THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN; THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- PROVIDE MINIMUM OF 48 HOUR NOTICE TO OWNER OR REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY EXISTING UTILITY, IF BEING UTILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION AND PROTECTION OF EXISTING ABOVE AND BELOW GROUND UTILITIES AND STRUCTURES. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY IN SERVICE WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE UTILITY OWNER. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY NOT IN SERVICE AND WHICH ARE TO BE REPLACED DURING THE COURSE OF CONSTRUCTION MAY BE REMOVED AND LEGALLY DISPOSED OF IF DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES.
- HANDICAP SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH A.D.A. STANDARDS AT H/C PARKING SPACES SHOWN.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, DEMOLITION, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION, SPECIAL USE, SEWER AND WATER.
- CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
- ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
- TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704)-336-4262 PRIOR TO THE REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704)-336-6692 FOR REQUIRED PERMITS.
- BEFORE YOU DIG STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. "IT'S THE LAW."
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (CUS JORDI 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.



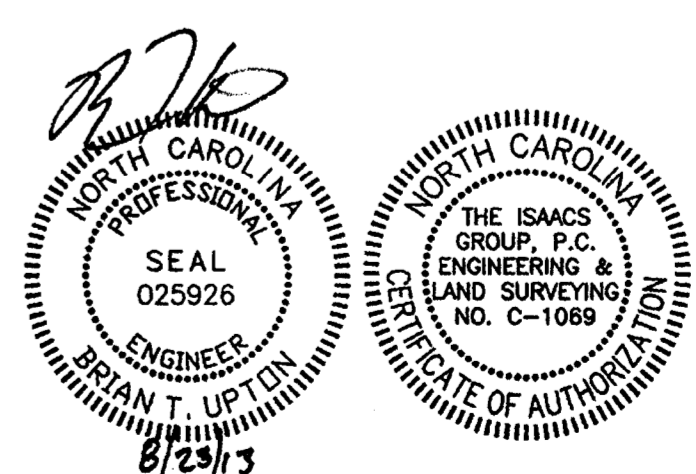
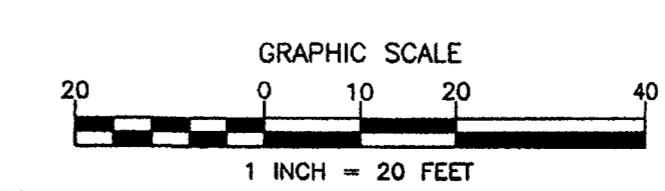
LANDSCAPE PLANT LIST AND QUANTITIES

PLANT	QUANTITY
PROPOSED LACEBARK ELM LMT (2 IN. CAL. MAX. HEIGHT 8')	14
SHUMARD OAK TREE (BY OTHERS)	10
EASTERN REDBUD (BY OTHERS)	13
PROPOSED YOSHINO CHERRY SMT (2 IN. CAL. MAX. HEIGHT 8')	1
JAPANESE CRYPTOMERIA (BY OTHERS)	8
PROPOSED DWARF BURFORD HOLLY (2' HIGH, 2" WIDE, 5 GAL.)	109
DWARF BURFORD HOLLY (BY OTHERS)	74

NOTE:  
PLANT QUANTITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL PLANT QUANTITIES WITH CHARLOTTE URBAN FORESTRY PRIOR TO INSTALLATION.

LEGEND

- SS - EXISTING SANITARY SEWER LINE
- W - EXISTING WATER LINE
- C - EXISTING CATCH BASIN
- OHP - EXISTING OVERHEAD POWER
- SD - EXISTING STORM DRAINAGE PIPE
- PROP. MULCH AREA
- PROP. HEAVY DUTY PAVEMENT
- PROP. LIGHT DUTY PAVEMENT
- PROP. CONCRETE



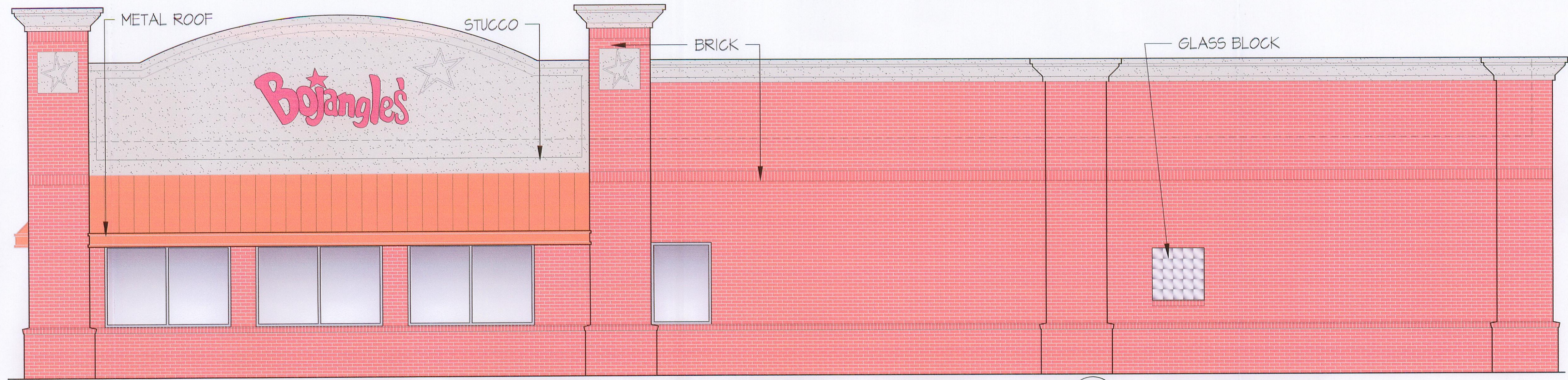
**Bojangles'**  
11420 BEAVER FARMS ROAD  
CHARLOTTE, NORTH CAROLINA

**LANDSCAPE PLAN**

Project: BOJANGLES' 11420 BEAVER FARMS ROAD CHARLOTTE, NORTH CAROLINA  
Date: 5/31/13  
Project Egr: B/U  
Design By: B/U  
Drawn By: D/C  
Scale: 1"=20'

**ISAACS GROUP**  
CIVIL ENGINEERING DESIGN AND SURVEYING  
8720 RED OAK BOULEVARD, SUITE 420  
CHARLOTTE, N.C. 28217  
PHONE (704) 527-3440 FAX (704) 527-8335

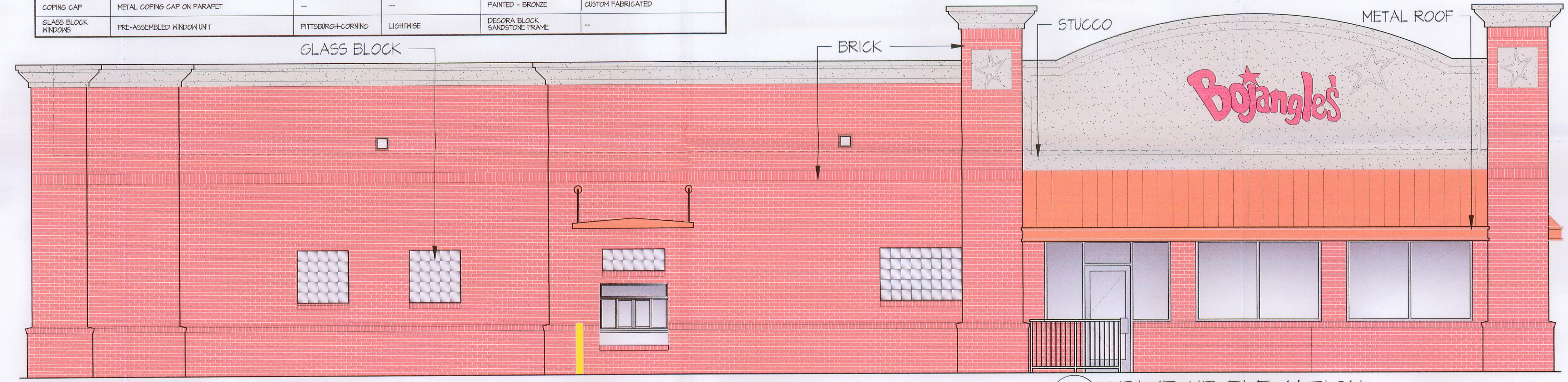
**C1.1**



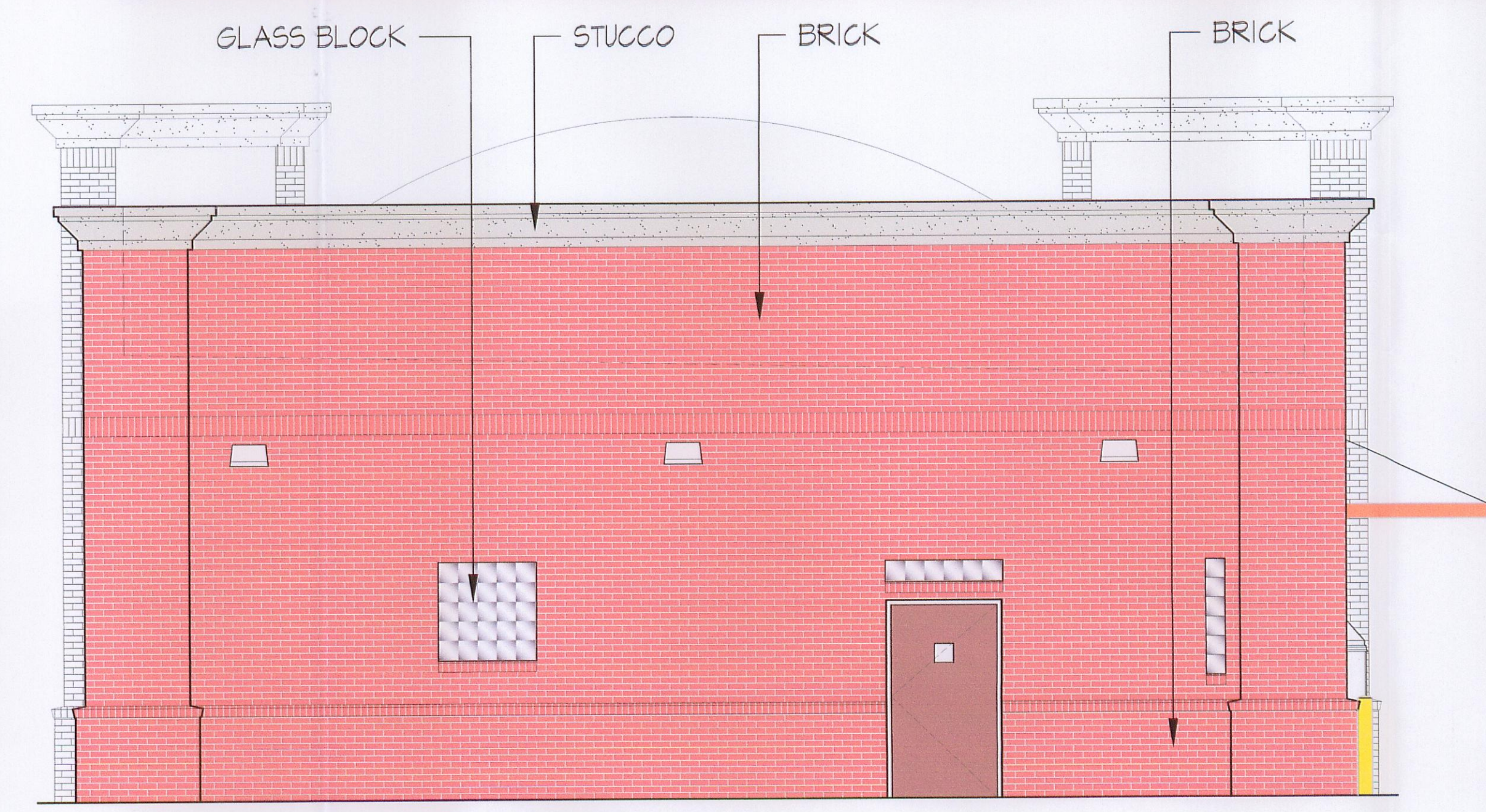
1 SIDE ELEVATION  
SCALE: 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE					
MATERIAL	DESCRIPTION	MANUFACTURER	STYLE / MODEL	COLOR / FINISH	REMARKS
EIFS	EXTERIOR INSULATING FINISH SYSTEM WITH DRAINAGE	STO CORP	CLASSIC NEX-T INSULATED WALL CLADDING SYSTEM	NA12-0023 IN StoPowerWall FINE (80246) FINISH	INSTALL OVER STOGUARD LIQUID APPLIED WEATHER RESISTIVE BARRIER
BRICK	MODULAR MASONRY UNITS	TRIANGLE BRICK CO.	OLD SOUTH HANDFORM	--	--
MORTAR	MORTAR CEMENT	ESSEROC CEMENT CORP.	BRUNNEN-IN-COLOR	TO MATCH EIFS FINISH	--
ALUM. STOREFRONT	ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS	KANNEER	45-T CENTER SET	CLEAR ANODIZED	--
METAL ROOF	STANDING SEAM METAL ROOF	CONSTRUCTION METAL PRODUCTS 888-750-8221	16" - NO RIBS	CUSTOM COLOR - MATCH PANTONE COLOR: ITS C	CUSTOM FACSIMIA SHAPED BY ROOF MANUF.
COPING CAP	METAL COPING CAP ON PARAPET	--	--	PAINTED - BRONZE	CUSTOM FABRICATED
GLASS BLOCK WINDOWS	PRE-ASSEMBLED WINDOW UNIT	PITTSBURGH-CORNING	LIGHTWISE	DECORA BLOCK SANDSTONE FRAME	--

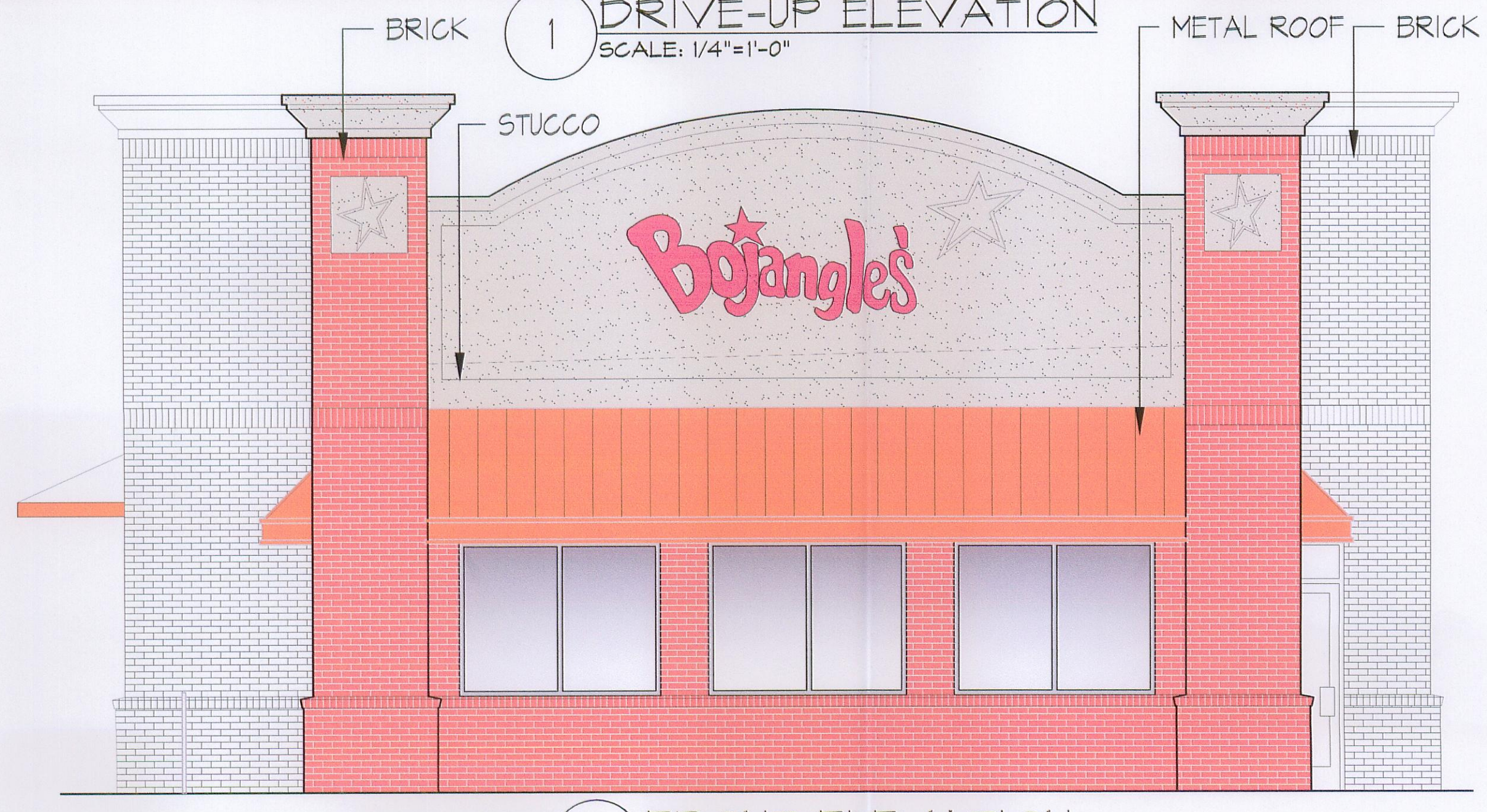
NOTE: THE BUILDING MATERIALS AND COLORS WILL COMPLY WITH THE APPROVED COLOR PALETTE OF THE SHOPPING CENTER THAT WAS APPROVED ON OCTOBER 11, 2013



1 DRIVE-UP ELEVATION  
SCALE: 1/4"=1'-0"



2 REAR ELEVATION  
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION  
SCALE: 1/4"=1'-0"

**ESD**  
architecture • interior design  
1300 South Mint St. Fax: 704-373-0902  
Ste. 300 Charlotte, Phone: 704-373-1900  
NC 28203 Email: esd@esdarch.com

BOJANGLES' 8 RESTAURANT  
ALBEMARLE ROAD NEAR  
ROCKY RIVER CHURCH RD.  
CHARLOTTE, NORTH CAROLINA

ATTACHED TO ADMINISTRATIVE  
APPROVAL  
NOV 1 2013  
BY: NERRA CAMPBELL

ISSUE DATE: 10-31-13  
REVISION 1: \_\_\_\_\_  
REVISION 2: \_\_\_\_\_  
REVISION 3: \_\_\_\_\_  
REVISION 4: \_\_\_\_\_  
PROJECT #: 13-226-000  
CONTENT: EXTERIOR ELEVATIONS

PROJECT ARCHITECT: JDP  
DRAWN BY: WCH

CADD FILE NAME:  
P113-226CD\A03-2 EXT ELEVATIONS  
THIS DRAWING AND THE DESIGN SHOWN  
ARE THE PROPERTY OF BOJANGLES'  
RESTAURANTS, INC. THE REPRODUCTION,  
OR USE OF THIS DRAWING WITHOUT  
THEIR WRITTEN CONSENT IS PROHIBITED.  
ANY INFRINGEMENT IS SUBJECT TO  
LEGAL ACTION.

Sheet  
A-3.0

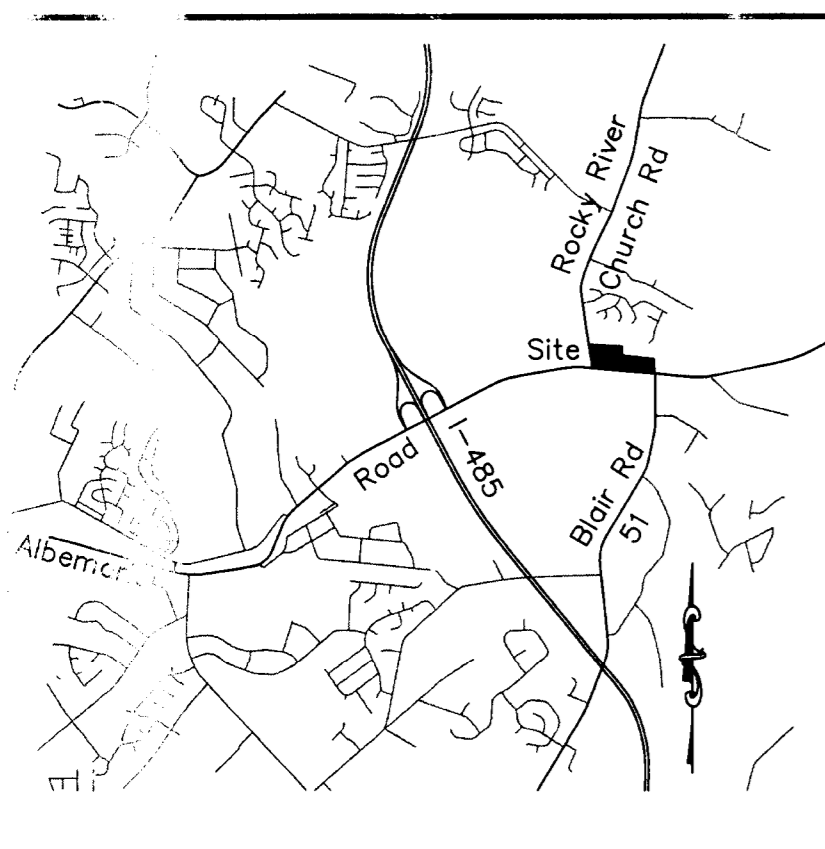
# BEAVER FARMS

## CHARLOTTE, NORTH CAROLINA

### DECEMBER 3, 2013

#### PROJECT LOCATION:

ROCKY RIVER CHURCH ROAD &  
ALBEMARLE ROAD  
MECKLENBURG COUNTY, NC

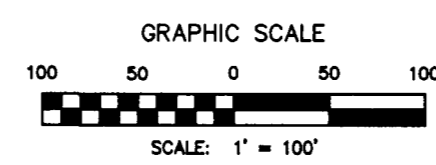
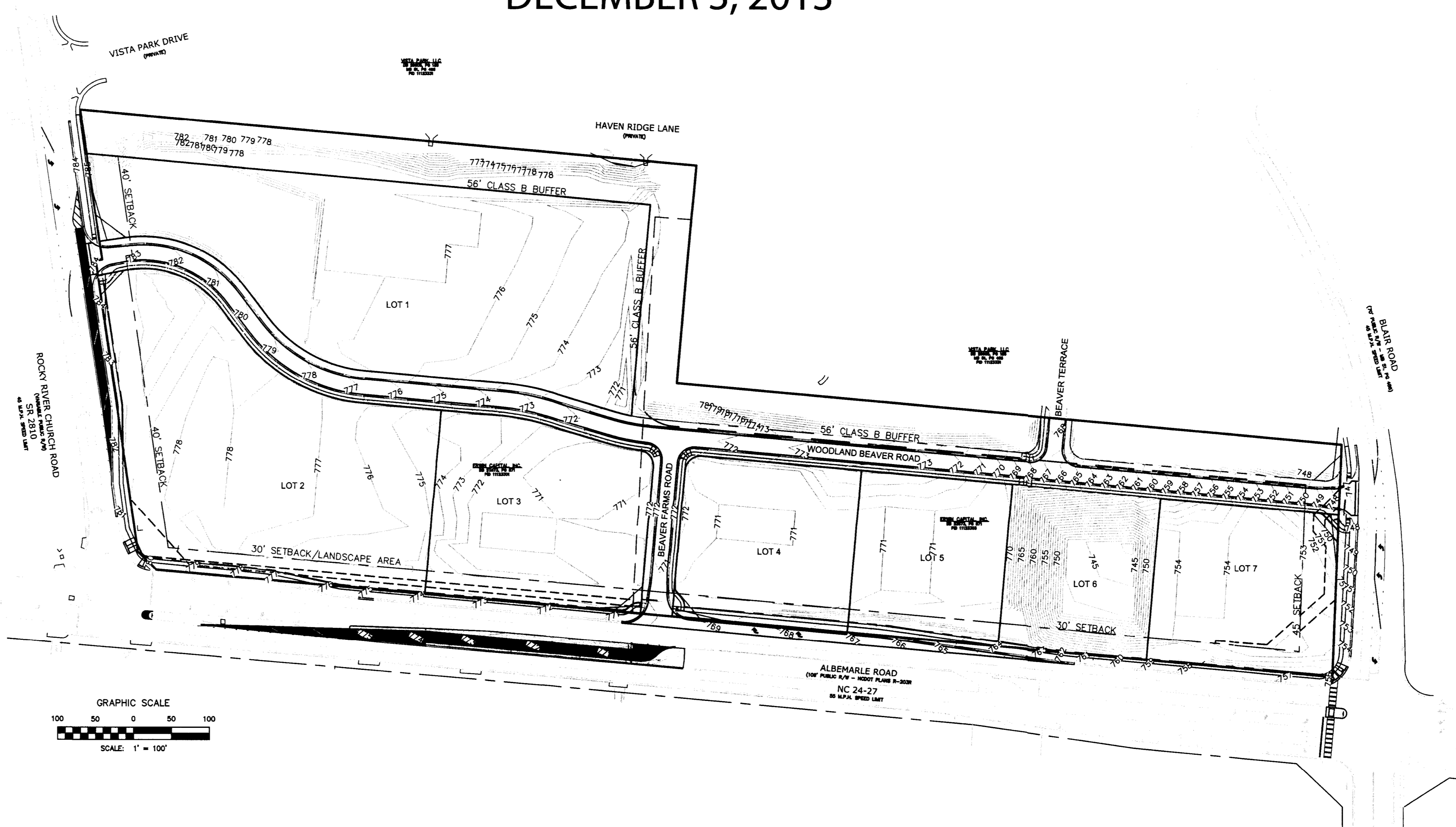


VICINITY MAP  
(NOT TO SCALE)

#### SITE TABLE:

BEAVER FARMS  
DEED BOOK: 23673 PAGE: 871  
PARCEL NUMBER: 11123301 & 11123303  
INSIDE CHARLOTTE ( ) YES (X) NO: ETJ  
FEMA PANEL #: 3710551400J  
WATER SHED: NONE  
POST CONSTRUCTION DISTRICT: N/A  
PROPERTY ACREAGE: 16.23 +/- ACRES  
EXISTING ZONING: B-1 (CD) PETITION 1998-42(C)

#### PROJECT DESCRIPTION:



Zoning Ordinance No. 98-42(c)  
Development Standards  
Woodland/Beaver Farms Site  
Revised - November 24, 1998 and November 27, 2013

General Provisions  
Unless more stringent standards are established by the Technical Data Sheet or these Development Standards, all development standards established under the Mecklenburg County Zoning Ordinance (the "Ordinance") for the B-1 zoning district classification shall be followed in connection with development taking place on Parcel A of the Site and the R-17MF zoning district classification shall be followed in connection with development taking place on Parcel B of the Site. The configuration, placement and sizes of the buildings outlined on the Schematic Site Plan accompanying this Rezoning Petition are schematic in nature and subject only to the provisions set forth below under Architectural Controls, may be altered or modified during design development and construction document phases within the building envelope lines established on the Technical Data Sheet. Parking layouts may also be modified to accommodate final building locations.

Permitted Uses  
Parcel A shall be devoted to general retail uses and general office uses except that only one fast food/drive-through type restaurant and only one convenience/gasoline station may be developed on this Parcel.  
The gross floor area of all buildings constructed within Parcel A may not exceed, in the aggregate, 80,000 square feet.  
Parcel B shall be devoted to detached dwelling units may be constructed on Parcel B, together with any incidental or accessory structures permitted under the Ordinance in the R-17MF Zoning District.

Buffers  
1. Buffers established on this Technical Data Sheet shall conform to the standards of Section 12.302 of the Ordinance subject, however, to the provisions of Section 12.304 thereof.  
2. Buffers shall remain as open space and, subject to the provisions of Paragraphs (3) and (4) below, will be left undisturbed.  
3. The Petitioner reserves the right to clear, grade and fill within the 56 foot wide buffer established along the northern margin of Parcel A.  
4. Petitioner reserves the right to install utilities within buffer areas. However, utility installations may only cross buffer areas at interior angles measured at property lines which are not less than 75 degrees.  
5. No landscaping, parking spaces, maneuvering areas or storm water detention facilities may be located within buffer areas.  
6. Where existing trees and natural vegetation have been cleared to accommodate pedestrian sidewalks or pathways or the installation of utilities, the cleared, unimproved areas will be landscaped with trees and shrubs.

Setbacks and Rear Yards  
1. All buildings constructed within Parcel A shall satisfy or exceed the setback, rear yard and side yard requirements established under the Ordinance for the B-1 Zoning District.  
2. All buildings constructed within Parcel B shall satisfy or exceed the setback, rear yard and side yard requirements established under the Ordinance for the R-17MF Zoning District.  
3. Building setbacks off of N.C. Highway No. 51, Albemarle Road and Rocky River Church Road will be established in the manner depicted on the Technical Data Sheet.  
4. No storm water detention facilities may be located within any setback area.

Screening and Landscaping Areas  
1. Screening shall conform with the standards and treatments specified in Section 12.303 of the Ordinance.  
2. All roof mounted mechanical equipment will be screened from view.  
3. Any structures visible from a public street or from adjoining property will be screened with a solid-enclosure with gates.

Architectural Controls  
1. All buildings constructed on Parcel A will be architecturally compatible in appearance and quality through the use of similar building materials, accent features and colors.

- If the Developer is able to attract a major branded service station establishment to the Site, the canopy of the facility may incorporate the company's standard design, materials and colors. While the building for this facility must satisfy the standards established under Paragraph 1 above, the elevations of the building may nevertheless incorporate accent features which include the company's logo and colors.
- No building on Parcel A may contain over two stories (above ground), or may be more than 35' in height (above ground).
- No building on Parcel B may contain over two stories (above ground), or may be more than 45' in height (above ground).
- The front elevation of the main shopping center will be designed such that it is substantially similar in quality and appearance to the character sketch depicted on Exhibit "A" accompanying the Technical Data Sheet. At least 80% of all exterior opaque vertical surfaces of the front elevation and the northern elevation of the main shopping center and 80% of building elevations constructed on outparcels will be constructed of brick.
- The southern and rear elevations of the main shopping center will be constructed of concrete block and painted to match the color of front and northern elevations.

Parking  
Off street parking spaces will satisfy the minimum standards established under the Ordinance.

- Lighting
- All freestanding lighting fixtures installed within each Parcel will be uniform in design.
  - The maximum height of any freestanding lighting fixture, including its base, shall not exceed 30 feet in height within Parcel A or 20 feet in height within Parcel B.
  - All free standing light fixtures and wall pack light fixtures installed within Parcel A or Parcel B except street lights which may be erected along N.C. Highway No. 51, Albemarle Road or Rocky River Church Road shall be designed such that direct illumination does not extend past any property line. Consideration will be given to the impact of lighting both within and without the perimeter of the Site. Items for consideration will include intensity, cutoff angles, color, energy efficiency and shielding of sources of light, the intent being to eliminate glare towards N.C. Highway No. 51, Albemarle Road and Rocky River Church Road and adjacent properties.
  - All wall packs will be shielded.

- Signs
- All signs placed on the Site will be erected in accordance with the requirements of the Ordinance.
  - The main shopping center may have two pylon signs. These signs will be located in the general areas depicted on this Technical Data Sheet and may not exceed 30 feet in height or 128 square feet of face area per side.
  - The two pylon signs depicted on the Technical Data Sheet will be substantially similar in appearance to Exhibit "B" which accompanies the Technical Data Sheet.

- Access Points (Driveways)
- The number of vehicular access points to the Site shall be limited to the number depicted on this Technical Data Sheet.
  - The placement and configuration of each access point are subject to any minor modifications required to accommodate final site and architectural construction plans and designs and to any adjustments required for approval by the County Engineering Department and the North Carolina Department of Transportation.
  - The parking lots for each of the establishments placed on the Site must be configured in such fashion as to allow internal vehicular traffic to move from one Parcel to the other Parcel.

- Roadway Improvements
- The Owner of Parcel A commits to construct an extension of N.C. Highway No. 51 as a two lane commercial road from Albemarle Road to Point A as depicted on the Technical Data Sheet contemporaneously with the first improvements made to Parcel A.
  - The Owner of Parcel B commits to extend N.C. Highway No. 51 as a two lane commercial road from Point A as depicted on the Technical Data Sheet to Point B as depicted on the Technical Data Sheet contemporaneously with the first improvements made to Parcel B.
  - No certificate of occupancy may be issued with respect to any buildings constructed on Parcel A until the proposed extension of N.C. Highway No. 51 has been completed to Point A, as depicted on the Technical Data Sheet.
  - No certificates of occupancy may be issued with respect to any buildings constructed on Parcel B until the proposed extension of N.C. Highway No. 51 has been completed to Point B, as depicted on the Technical Data Sheet.
  - The Owner of Parcel A commits to upgrade the easterly half of the paved portion of Rocky River Church Road which runs along Parcel A to the commercial section as defined in Section 10.03 of the Charlotte/Mecklenburg Land Development Standards Manual and complete the same prior to the issuance of the first certificate of occupancy for development taking place on Parcel A.
  - The Owner of Parcel A commits to upgrade the easterly half of the paved portion of Rocky River Church Road which runs along Parcel B to the typical residential collector street as defined in Section 10.04 of the Charlotte/Mecklenburg Land Development Standards Manual and complete the same prior to the issuance of the first certificate of occupancy for development taking place on Parcel B.

- certificate of occupancy for development taking place on Parcel B
- Petitioner will install a 5-foot wide sidewalk and an 8-foot planting strip along Albemarle Road, N.C. Highway No. 51 Extension, and Rocky River Church Road as development occurs on each parcel. Petitioner will install a 5 foot wide sidewalk and an 8 foot planting strip along Albemarle Road, N.C. Highway No. 51 Extension, and Rocky River Church Road. The sidewalk and planting strip shall be installed along Albemarle Road in front of Lot 4 prior to the issuance of the certificate of occupancy for Lot 4. All other sidewalks and planting strips shall be installed prior to the issuance of a certificate of occupancy for Lot 1, Lot 2, Lot 3, Lot 5 or Lot 7.
  - The petitioner will also install a 5' wide sidewalk which connects to the commercial area to the street sidewalk system in the location as generally depicted on Schematic Site Plan. The installation of the 5 foot wide sidewalk shall be constructed on each Lot as it is developed and prior to the issuance of each Lot's certificate of occupancy. Lot 6 (the detention pond) sidewalk will be installed prior to the issuance of the certificate of occupancy for Lot 5 or Lot 7, whichever is the earlier to occur.

- Dedication of Rights-of-Way
- The Petitioner commits to dedicate to Mecklenburg County prior to the issuance of any certificate of occupancy for Parcel A by way of a recorded plat, those portions of Parcel A and Parcel B necessary to accommodate a 70 foot wide right-of-way for the extension of N.C. Highway No. 51 from Albemarle Road to a northerly to northwesterly direction to Rocky River Church Road and the portion of Parcel B necessary to accommodate a 70' wide right of way for the connector road which would connect Rocky River Church Road to the proposed extension of N.C. Highway No. 51, all as general depicted on the Technical Data Sheet prior to issuance of a certificate of occupancy for Parcel A.
  - The Petitioner reserves the right to clear, grade and utilize the right-of-way (as depicted on the Technical Data Sheet) for staging and grading purposes. To the extent such area is so utilized, the cleared area will be seeded and stabilized with grass under the requirements set forth in an approved erosion control plan developed at the time of design plan submittals. No permanent improvements or structures will be placed within this right-of-way area other than storm water drainage or utility crossing that may be required to service Parcel A and/or Parcel B.
  - All such right-of-way which falls within Parcel A will be dedicated prior to the issuance of the first certificate of occupancy for development taking place on Parcel A.
  - All such right-of-way which falls within Parcel B will be dedicated prior to the issuance of the first certificate of occupancy for development taking place on Parcel B.

Fire Protection  
Adequate fire protection in the form of fire hydrants will be provided to the Mecklenburg County Fire Marshall's specifications. Plans for each building will be submitted to the Fire Marshall's office for approval before the construction of that building commences.

Storm Water Management/Sewer  
Storm water runoff from the Site will be managed through proven techniques which satisfy the standards imposed by the Mecklenburg County Engineering Department. The Petitioner agrees to install gravity sewer lines to serve this project of a size that will meet the sewer collection needs of future upstream development; to the end that the sewer collection lines will not have to be paralleled if and when CMUD provides sewer service to this basin. In determining the appropriate size of the gravity sewer lines the engineers and CMUD shall take into consideration the size and capacity of the existing gravity sewer lines downstream which this project shall flow into.

Amendments to Rezoning Plan  
Future amendments to the Technical Data Sheet and these Development Standards may be applied for by the then Owner or Owners of the Site in accordance with the provision of Chapter 6 of the Ordinance.

Binding Effect to the Rezoning Application  
If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under these Development Standards and the Technical Data Sheet will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.



#### Charlotte-Mecklenburg Planning Department

DATE: December 6, 2013

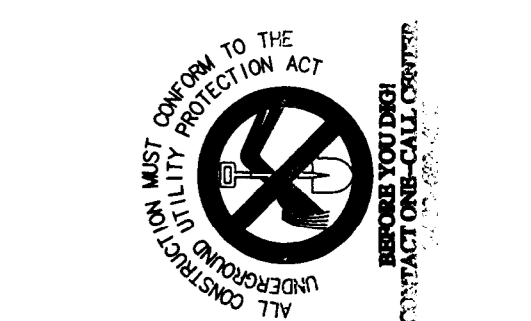
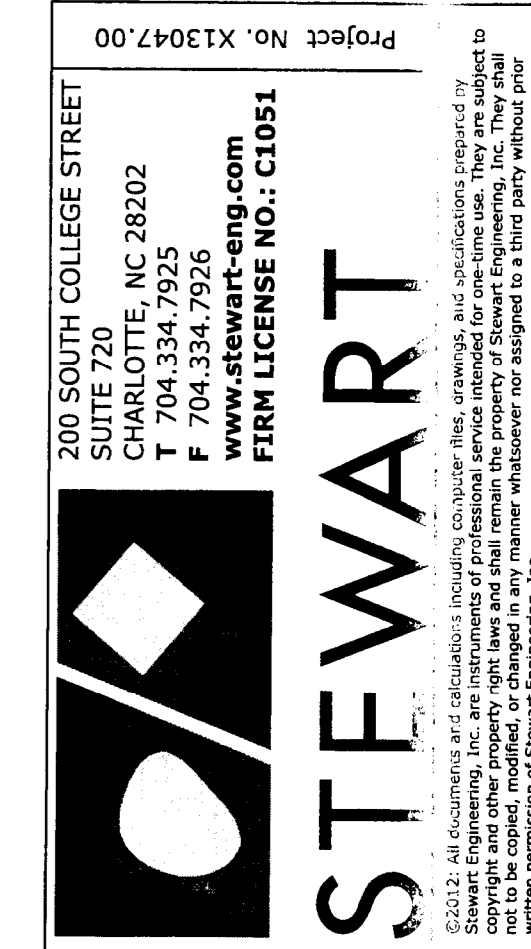
TO: Mark Fowler  
Zoning Supervisor

FROM: Debra Campbell  
Planning Director

SUBJECT: Administrative Approval for Petition No. 1998-042C Erwin Capital and The Crossland Group

Attached is the site plan allowing a modification to the requirement for installation of the planting strip and sidewalk along Albemarle Road. Since these changes do not alter the intent of the development and meet the requirements of the conditional site plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

**Note: All other Zoning, Subdivision, Tree Ordinance and conditional requirements still apply. Signage was note reviewed as part of this request.**



ATTACHED TO ADMINISTRATIVE  
APPROVAL

DEC 6 2013

BY: DEBRA CAMPBELL

CIVIL ENGINEER:

STEWART  
200 SOUTH COLLEGE STREET, SUITE 201  
CHARLOTTE, NC 28202

PLANS PREPARED BY: JMC  
DATE DESIGN COMPLETED: JANUARY 18, 2013

CONTACT:  
JAMES P. SINGLER, PE  
P: 704.334.7925  
F: 704.334.7926  
jsingsler@stewart-eng.com

OWNER/DEVELOPER:

ERWIN CAPITAL, INC.  
501 E MOREHEAD STREET  
CHARLOTTE, NC 28202-2642  
P: 704.335.9579

DEVELOPER:  
CAMBRIDGE PROPERTIES  
881 E MOREHEAD STREET  
CHARLOTTE, NC 28202-2917  
P: 704.333.2393 X108




## Charlotte-Mecklenburg Planning Department

**DATE:** May 21, 2015

**TO:** Mark Fowler  
Zoning Supervisor

**FROM:** Ed McKinney  
Interim, Planning  
Director

\$F 

**SUBJECT:** Administrative Approval for Petition No. 1998-042C Erwin Capital and The Crosland Group.

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

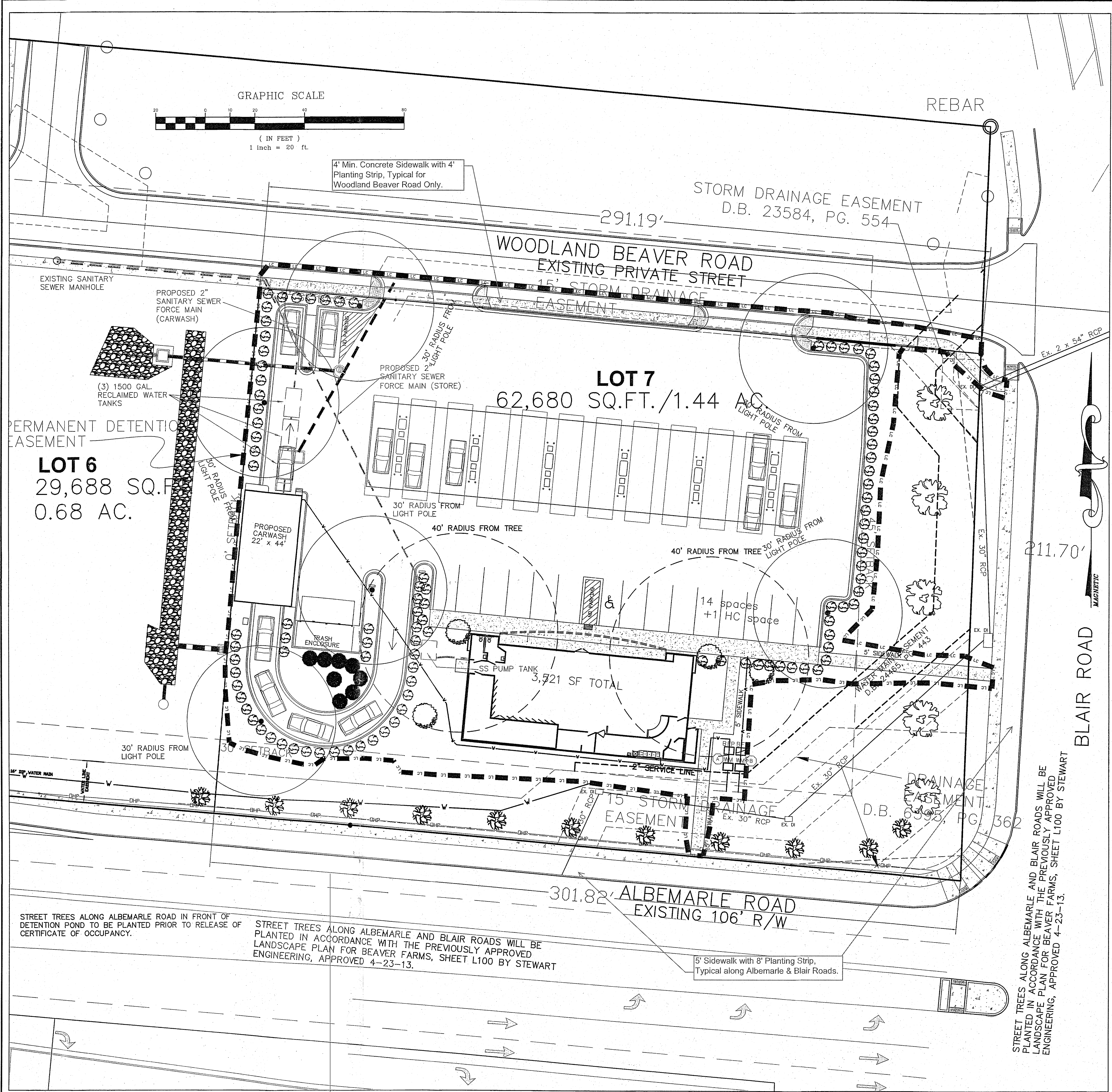
- Proposed building elevations for the proposed convenience store with accessory pumps.

Reasons for Staff's support of the request:

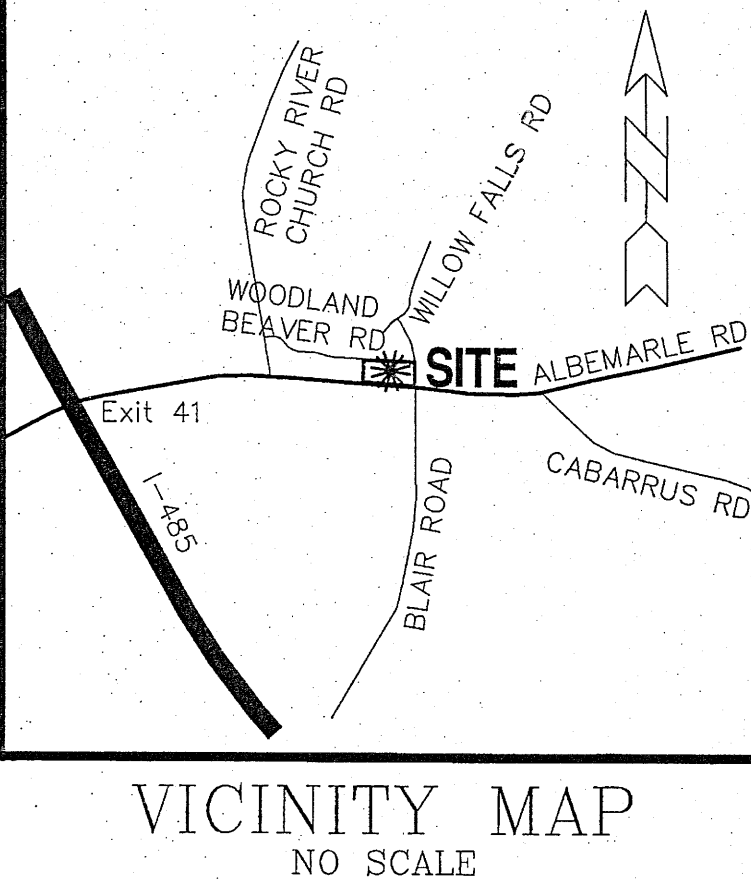
- The site plan complies with the conditional notes and still meets the intent of the approved site plan by the County Commissioners.

**Note: All other Zoning, Subdivision, Tree Ordinances, conditional requirements, and Building Codes still apply.**

**Signage was note reviewed as part of this request.**



- PROPOSED LARGE MATURING SHADE TREE, PER OMLD/URBAN FORESTRY APPROVED LIST. 2" MIN. CALIPER. 4 TOTAL.
  - PROPOSED EVERGREEN TREES, PER OMLD/URBAN FORESTRY APPROVED LIST. 2" MIN. CALIPER. 8 TOTAL.
  - PROPOSED LARGE MATURING PERIMETER TREE, PER OMLD/URBAN FORESTRY APPROVED LIST. 3" MIN. CALIPER. 8 TOTAL.
  - PROPOSED SMALL MATURING PERIMETER TREE PER OMLD/URBAN FORESTRY APPROVED LIST. 2" MIN. CALIPER. 6 TOTAL.
  - PROPOSED SHRUB, PER OMLD/URBAN FORESTRY APPROVED LIST. 2.5' TALL WITH 2' MIN. SPREAD (99) INSTALL ON 5 FT CENTERS MINIMUM.
- NOTE: SHRUBS USED IN LANDSCAPING MUST BE EVERGREEN, AT LEAST 2 TO 2 1/2 FT TALL WITH A MINIMUM SPREAD OF 2 FT WHEN PLANTED & NO FURTHER APART THAN 5 FT. THEY MUST BE OF A VARIETY AND ADEQUATELY MAINTAINED SO THAT AN AVERAGE HEIGHT OF 5 TO 6 FT COULD BE EXPECTED AS NORMAL GROWTH WITHIN 4 YEARS OF PLANTING.



**TREE CALCULATIONS:**  
NO OF EXISTING TREES: 0

**PERIMETER TREE REQUIREMENTS:**  
ALBEMARLE ROAD / BLAIR ROAD PERIMETER TREES REQ'D:

**TREE SAVE CALCULATIONS AND PERIMETER TREE REQUIREMENTS:**  
THERE IS NO NEED FOR TREE SAVE FOR THIS SITE. THE TREE SAVE REQUIREMENTS HAVE BEEN MET FOR THIS PARCEL ON A SEPARATE LANDSCAPE PLAN. ALBEMARLE AND BLAIR ROAD PERIMETER TREES PER APPROVED LANDSCAPE PLAN FOR BEAVER FARMS SHEET L100 PREPARED BY STEWART ENGINEERING, LDCR-2014-00020.

**INTERNAL TREE PLANTING REQUIREMENTS:**  
IMPERVIOUS AREA: 37,509 SF  
10% OF TOTAL IMPERVIOUS AREA PROVIDED FOR LANDSCAPE PURPOSES: 3,751 SF  
INTERIOR TREES REQ'D: 4 LARGE MATURING SHADE TREES PER 10,000 SF  
LARGE MATURING INTERIOR TREES PROVIDED: 4  
NOTE: 75% OF TREES PLANTED SHALL BE LARGE MATURING

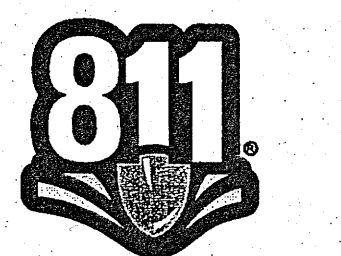
CONTINUOUS PERIMETER PLANTING STRIP, LOCATED ON PRIVATE PROPERTY ABUTTING THE PUBLIC RIGHT-OF-WAY, WITH A MINIMUM WIDTH OF EIGHT (8) FEET, SHALL BE REQUIRED. IF LARGE MATURING TREES ARE PLANTED, EACH TREE SHALL HAVE A MINIMUM TWO (2) INCH CALIPER. ONE SUCH TREE SHALL BE PLANTED FOR EVERY FORTY (40) FEET OF FRONTAGE OR FRACTION THEREOF. IF SMALL MATURING TREES ARE PLANTED, THE SAME CONDITIONS APPLY, BUT THE INCREMENT DROPS TO THIRTY (30) FEET.

- LANDSCAPE NOTES:**
1. MINIMUM TREE SIZE AT PLANTING IS 2-INCH CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 8 FEET TALL.
  2. UNLESS APPROVED BY URBAN FORESTRY STAFF ALL REQUIRED TREES MUST HAVE SINGLE STEM TRUNKS WITH NO CO-DOMINANT TRUNKS OR BRANCHES. TREE TRUNKS SHALL BE STRAIGHT IN FORM AND FREE OF DAMAGE OR CRACKS. PRUNING SHALL BE CALLED OVER, BRANCH LENGTH SHALL BE TYPICAL FOR THE TREES AGE AND NOT BE BROKEN, DISEASED, OR INJURED. ROOT FLARE SHALL BE LOCATED AT GRADE AND BE FREE OF ADVENTITIOUS ROOT GROWTH.
  3. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
  4. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 18" NEW TOPSOIL, OR TILL AND AMEND THE TOP 18" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET PER TREE).
  5. LARGE MATURING TREES MAY NOT BE PLANTED WHERE THERE ARE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
  6. A MINIMUM OF FIFTY (50) PERCENT OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN TWENTY (20) TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.
  7. ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES (SEWER AND STORM DRAINAGE, GAS, WATER, PHONE, AND ELECTRICAL LINES).
  8. SITE LIGHTING MUST BE A MINIMUM THIRTY (30) FEET AWAY FROM A TREE. IF PEDESTRIAN SCALE LIGHTING IS BEING USED, THEN LIGHTING MUST BE A MINIMUM OF FIFTEEN (15) FEET AWAY FROM A TREE, UNLESS APPROVED OTHERWISE BY THE CITY. SHOW SITE LIGHTING PLAN. NO LIGHT POLES IN TREE ISLANDS.
  9. ATTENTION LANDSCAPER: NOTIFY URBAN FORESTER OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES.
  10. PLEASE CALL 704-336-4330 FOR AN INSPECTION OF TREE PROTECTION AND/OR TREE PLANTING AREAS, 1 TO 2 DAYS BEFORE THE TEMPORARY OR FINAL CERTIFICATE OF OCCUPANCY IS NEEDED.
  11. COMMERCIAL TREE SAVE AREAS MUST BE RECORDED IN ACCORDANCE WITH THE APPROVED PLAN ON A FINAL PLAT AT THE REGISTER OF DEEDS OFFICE BEFORE URBAN FORESTRY HOLDS CAN BE RELEASED.
  12. LANDSCAPER TO MEET ON SITE WITH URBAN FORESTER PRIOR TO ANY PLANTING TO REVIEW CITY OF CHARLOTTE TREE PLANTING REQUIREMENTS. CALL 704-336-4330.
  13. PLANTING WITHIN NCDOT RIGHT-OF-WAY IS SUBJECT TO THE PROVISIONS OF THE NCDOT PLANTING PERMIT TO BE REQUESTED BY THE CONTRACTOR FROM THE ROADSIDE ENVIRONMENTAL ENGINEER, TIM SIMPSON, 704-982-1028.

ATTACHED TO ADMINISTRATIVE APPROVAL

APPROVAL

MAY 21 2015

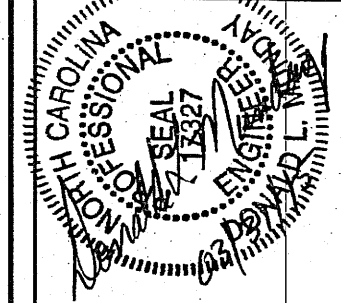


**PIEDMONT DESIGN**  
ENGINEERING/SURVEYING/PLANNING  
Associates, P.A.

101 Woodfield Center, 125 East Plaza Drive  
Mooresville, North Carolina 28115  
Phone: (704) 664-7888 Fax: (704) 664-1778 www.pdapa.com  
NCBELS License #: C-1007

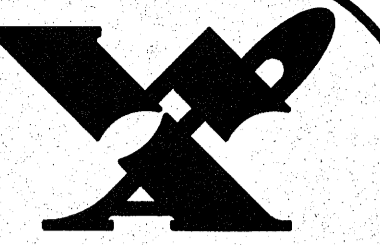
PREPARED FOR:  
**MARK OIL CO.**  
P.O. BOX 32064  
CHARLOTTE, NC 28232  
704-375-4249

**LANDSCAPE PLAN**  
BP STATION BEAVER FARMS LOT 7  
10950 WOODLAND BEAVER RD  
CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA



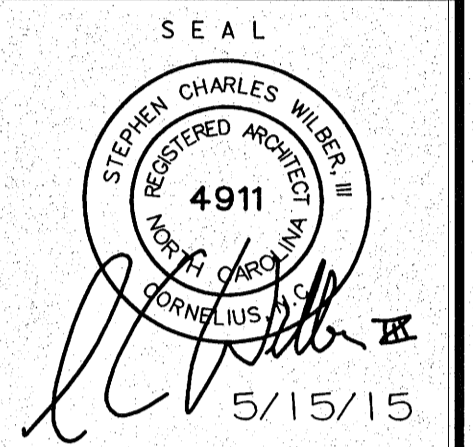
REVISIONS	BY
REV. PER COMMENTS BY CITY OF CHARLOTTE (2/25/15)	JHH
REV. PER COMMENTS BY CITY OF CHARLOTTE (2/25/15)	JHH

Date: 1/12/15  
Scale: 1"=20 FT  
1" CONTOURS  
Drawn: JHH  
Checked: DLM  
Project: 2014-08-04  
Job:  
Sheet  
**LSCP-1**  
3/25/15



**Wilber Associates**  
**Architecture / Planning**  
 P.O. Box 428 - 20044 N. Zina St.  
 Cornelius, N.C. 28031  
 704-892-3633

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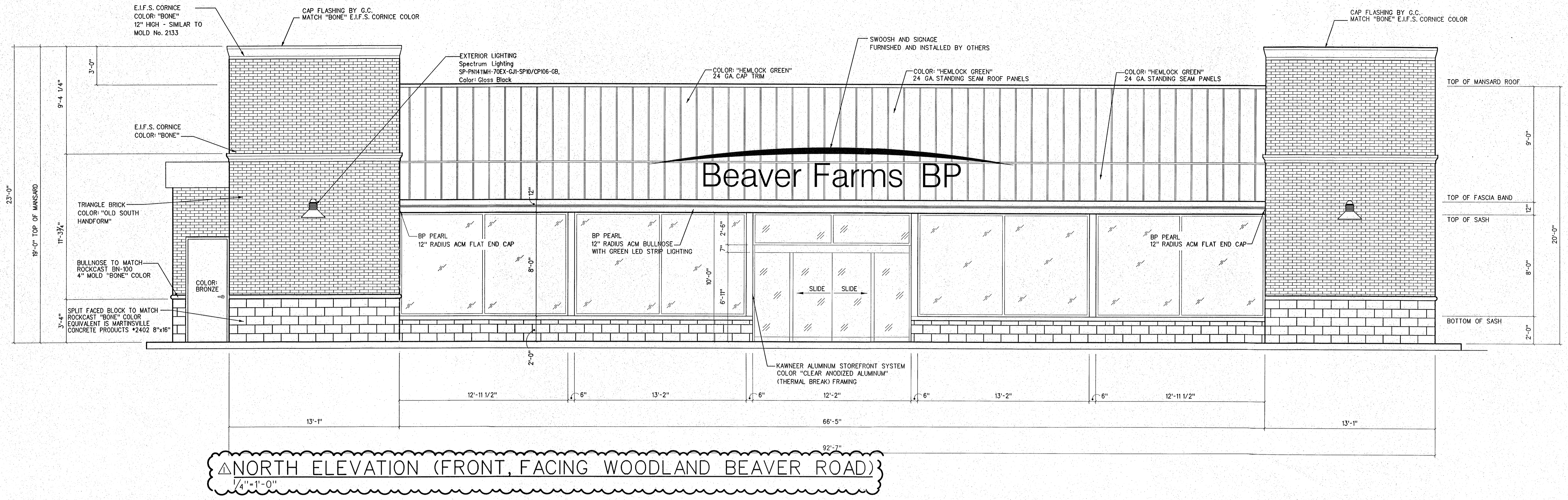
TITLE

**NEW CONVENIENCE STORE AND CARWASH FOR**  
**MARK OIL: BEAVER FARMS BP**  
 10950 WOODLAND BEAVER ROAD  
 CHARLOTTE, NC

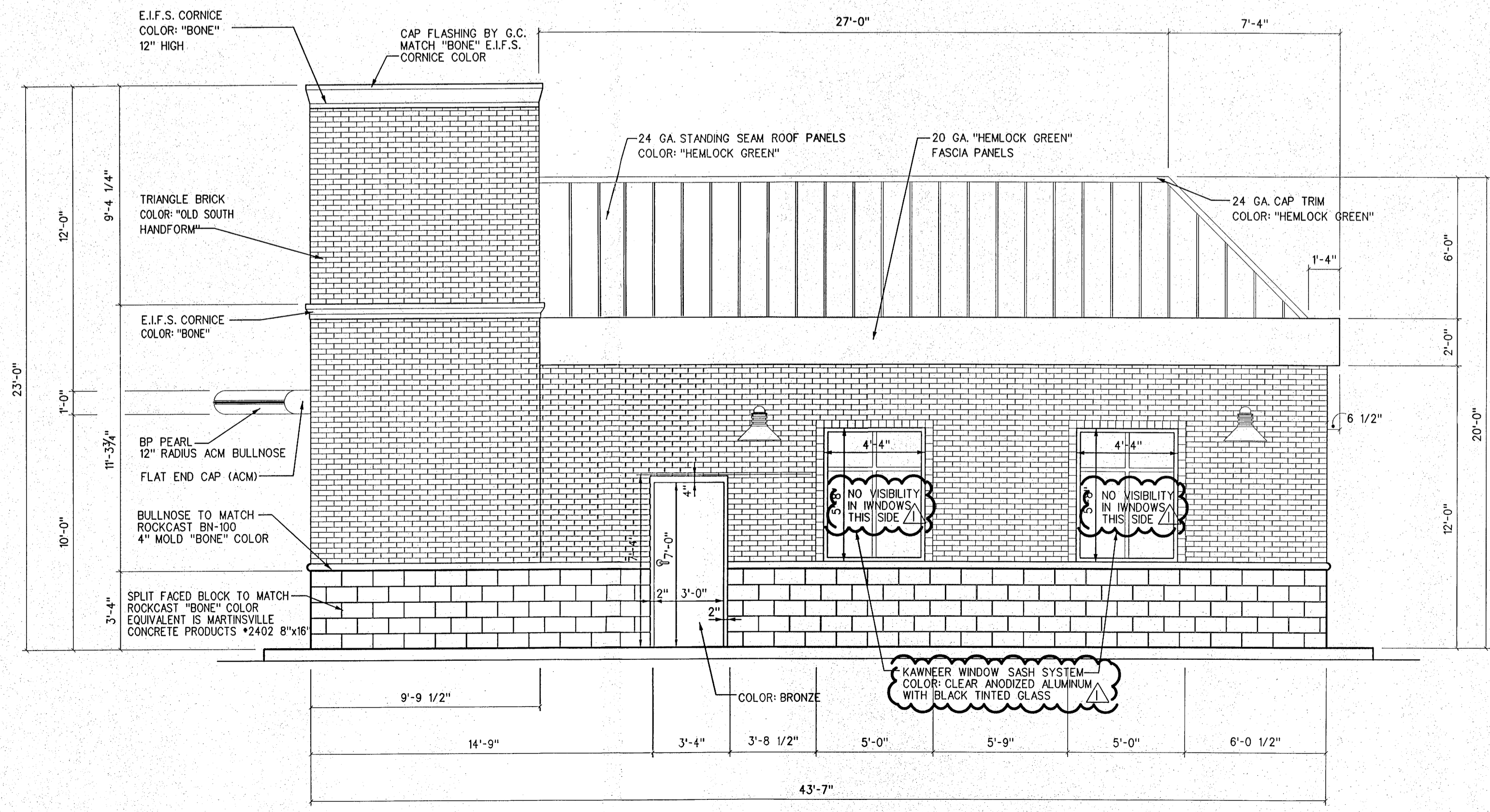
ELEVATIONS

COMM. NO. 1483  
 DATE 2/20/15  
 REVISIONS  
 5/15/15

SHEET  
**A-3**  
 OF  
 13



**△ NORTH ELEVATION (FRONT, FACING WOODLAND BEAVER ROAD)**  
 1/4" = 1'-0"

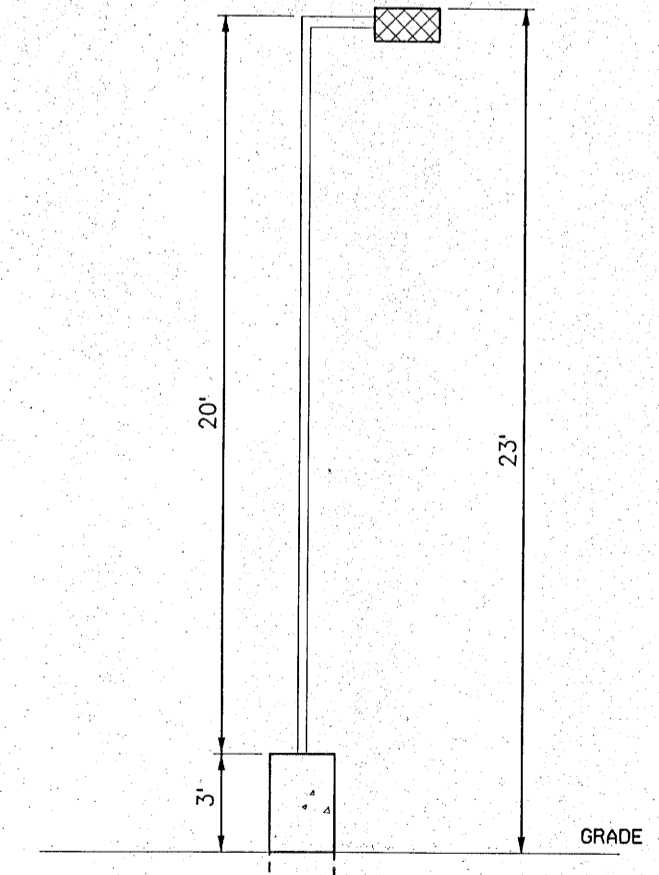


**△ WEST ELEVATION (FACING DETENTION POND)**  
 1/4" = 1'-0"

Bill of Materials Beaver Farms

Bricks:	Triangle Brick, Color: Old South Handform
Blocks:	Split Faced, Rockcast Color: 'Bone', Equivalent is Martinsville Concrete Products #2402 8"x16"
Cornices:	E.I.F.S. Cornice, Color: Bone (to match block), 12" High
Bullnoses:	Bullnose, Rockcast Color: 'Bone', No. BN-100 4" mold
Mortar:	ESSROL Cement Corp. Briment-in-color to match Bojangles mortar @ Beaver Farms (brick mortar only)
Mortar:	Split-face and bullnose mortar to match color of block (Rockcast "bone")
Standing Seams:	Berridge 24 GA. Standing Seam Roof Panels, Color: Hemlock Green
Bldg. Fascia:	Berridge 20 GA. Pre-finished, Color: Hemlock Green Sheet Metal
Bldg. Fascia:	Pre-finished ACM 12" Radius, Color: BP Pearl slotted for LED Green Strip
Window Sashes:	Kawneer Aluminum, Color: Clear Anodized Aluminum
Decorative Light Fixtures:	Spectrum Lighting SP-PNH11MH-70EX-GJ1-SP10/CP106-GB, Color: Gloss Black
Canopy Fascia:	Pre-finished ACM 42", Color: BP Pearl with BP Green Bullnose 3D Decal and Green LED STRIP
Canopy columns:	Materials to match Building Brick, Block and E.I.F.S. Cornice
Area Lighting:	28' Tapered Area light pole (total height of pole with base not to exceed 25') LSI XGBM GreenBriar Series, COLOR: BRONZE LED area light fixtures. (see detail this sheet)

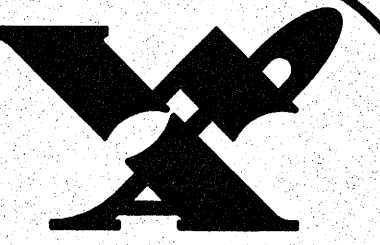
NOTE 1: COLOR OF AREA LIGHTS TO BE DARK BRONZE IN COLOR  
 NOTE 2: AREA LIGHTING MAXIMUM HEIGHT IS 25'  
 NOTE 3: ALL SIGNS REQUIRE SEPARATE REVIEW AND PERMITS



ATTACHED TO ADMINISTRATIVE  
 APPROVAL

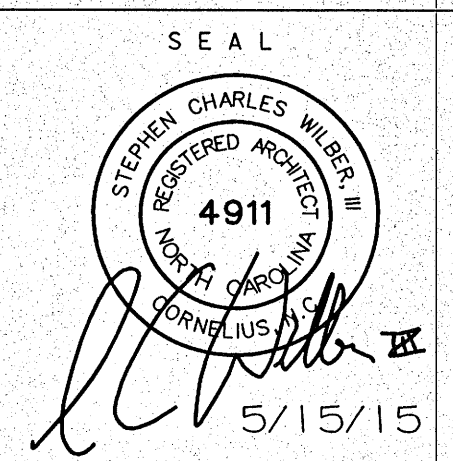
MAY 21 2015





**Wilber Associates**  
 Architecture / Planning  
 P.O. Box 428 - 20044 N. Zion St.  
 Carolina, N.C. 28051  
 704-892-2653

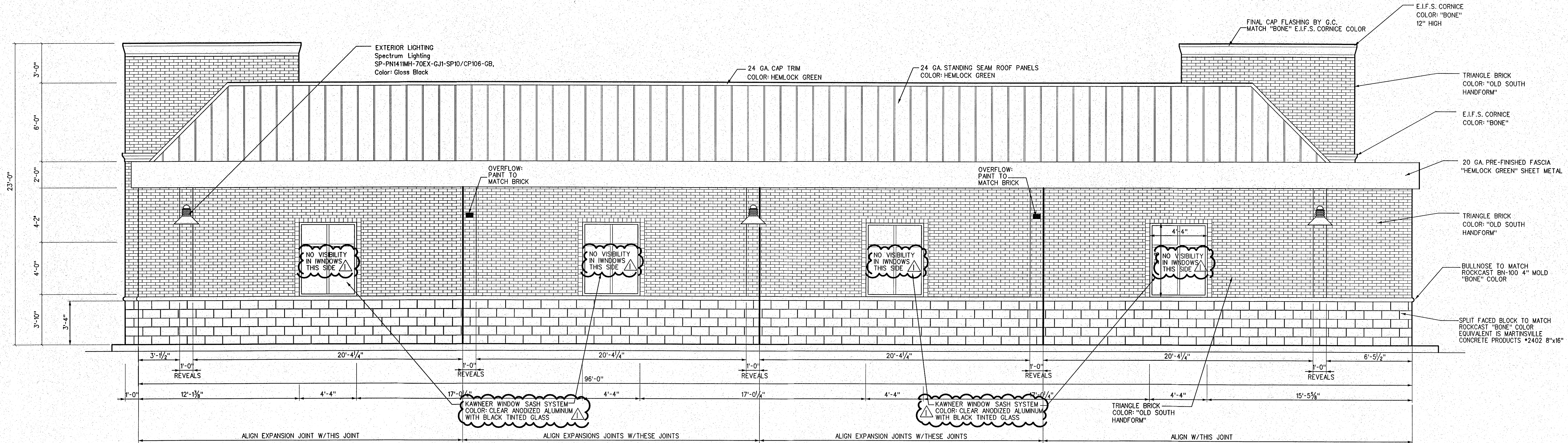
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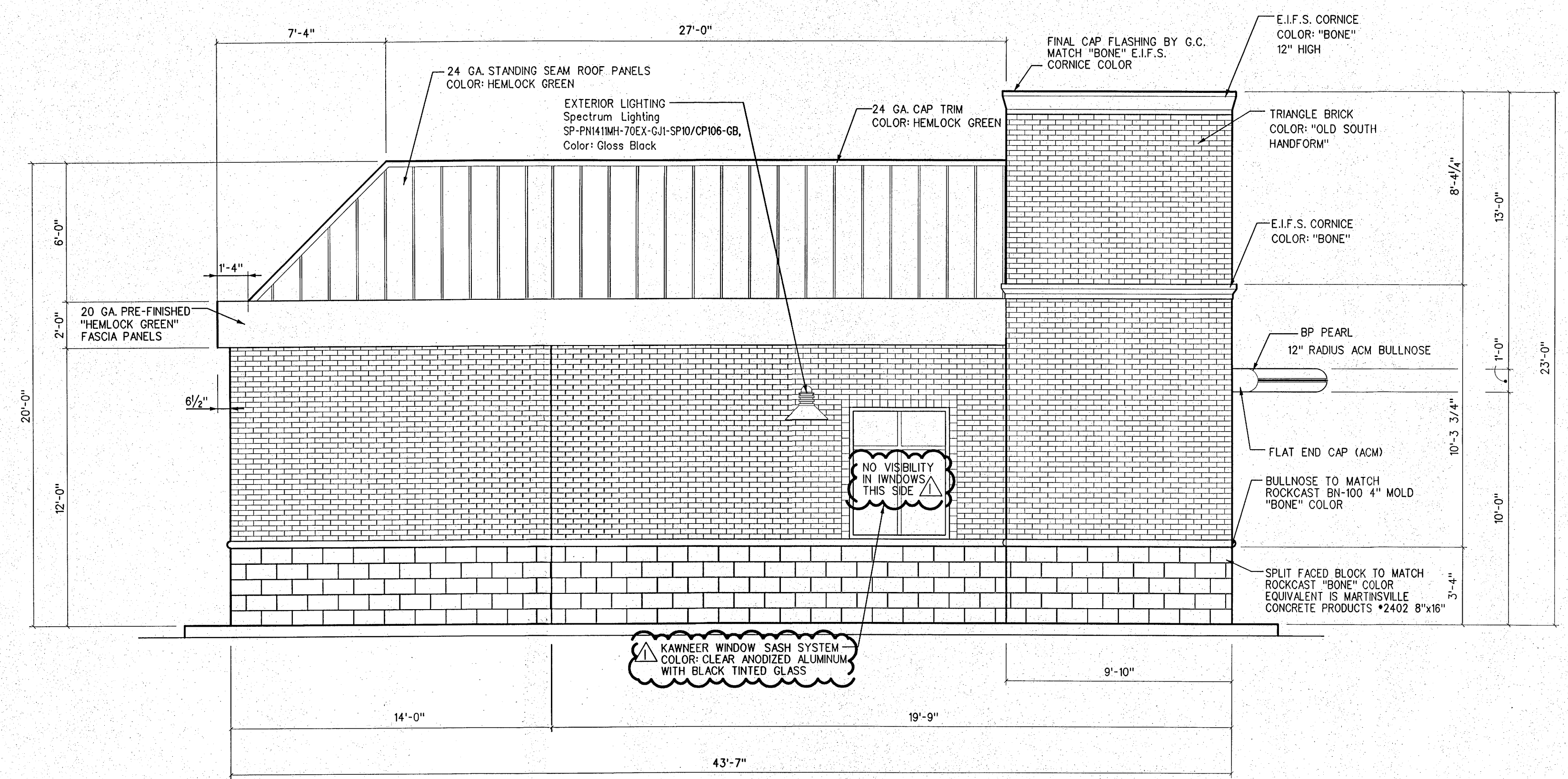
TITLE  
**NEW CONVENIENCE STORE AND CARWASH FOR  
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 10950 WOODLAND BEAVER ROAD  
 CHARLOTTE, NC

ELEVATIONS  
 COMM. NO. 1483  
 DATE 2/20/15  
 REVISIONS  
 5/15/15

SHEET  
**A-4**  
 OF  
 13

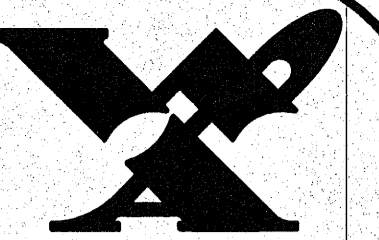


**△ SOUTH ELEVATION (REAR, FACING ALBERMARLE ROAD)**  
 1/4" = 1'-0"



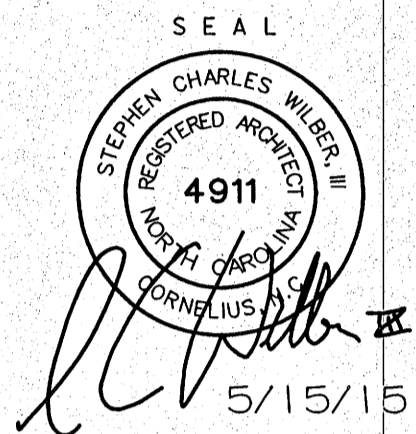
**△ EAST ELEVATION (FACING BLAIR ROAD)**  
 1/4" = 1'-0"

ATTACHED TO ADMINISTRATIVE  
 APPROVAL  
 MAY 21 2015



**Wilber Associates**  
 Architecture / Planning  
 P.O. Box 428 - 20044 N. Zion St.  
 Cornelius, N.C. 28031  
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TITLE

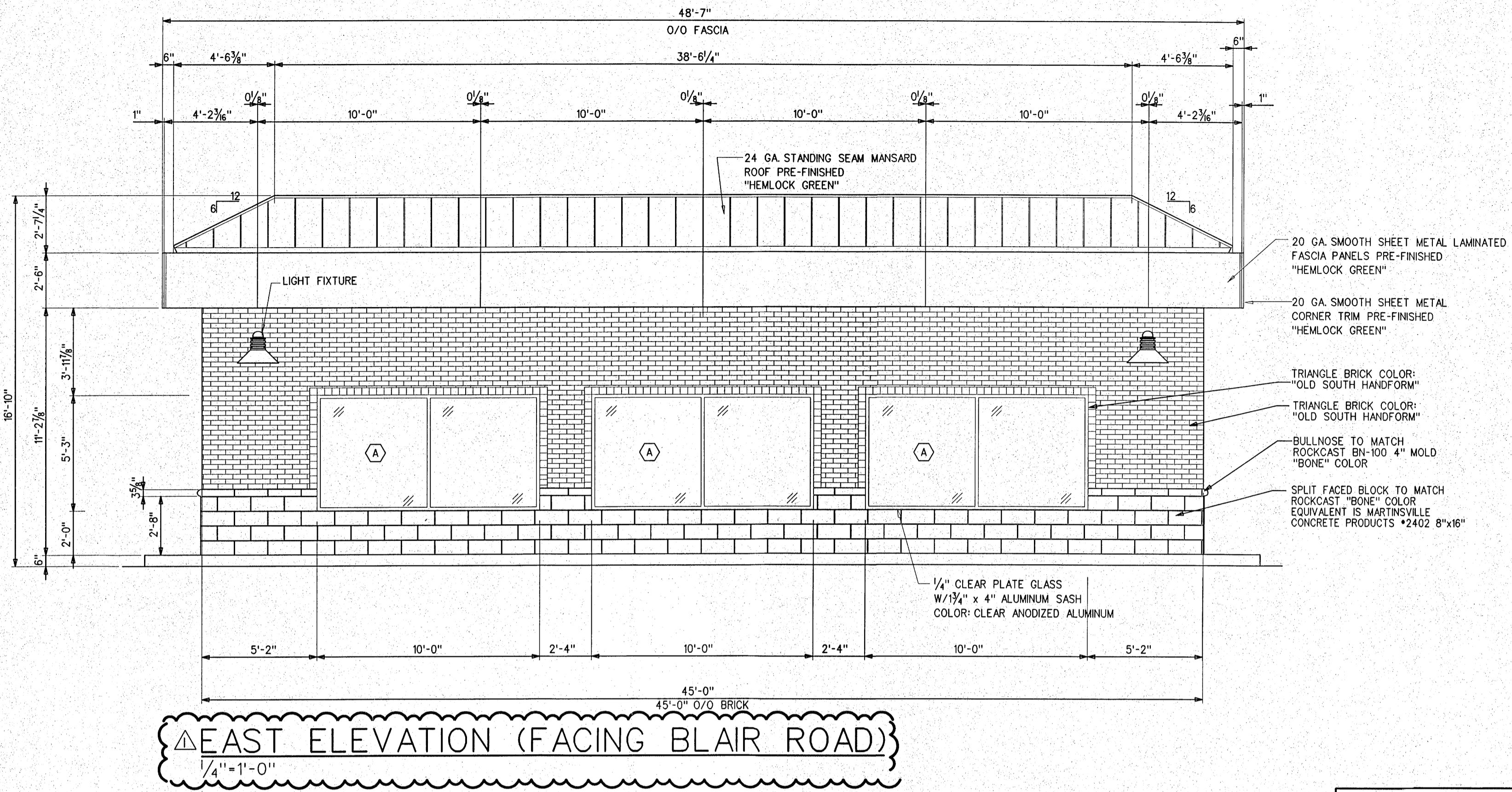
NEW CONVENIENCE STORE AND CAR WASH FOR  
**MARK OIL: BEAVER FARMS BP**  
 10950 WOODLAND BEAVER ROAD  
 CHARLOTTE, NC

CARWASH ELEVATIONS

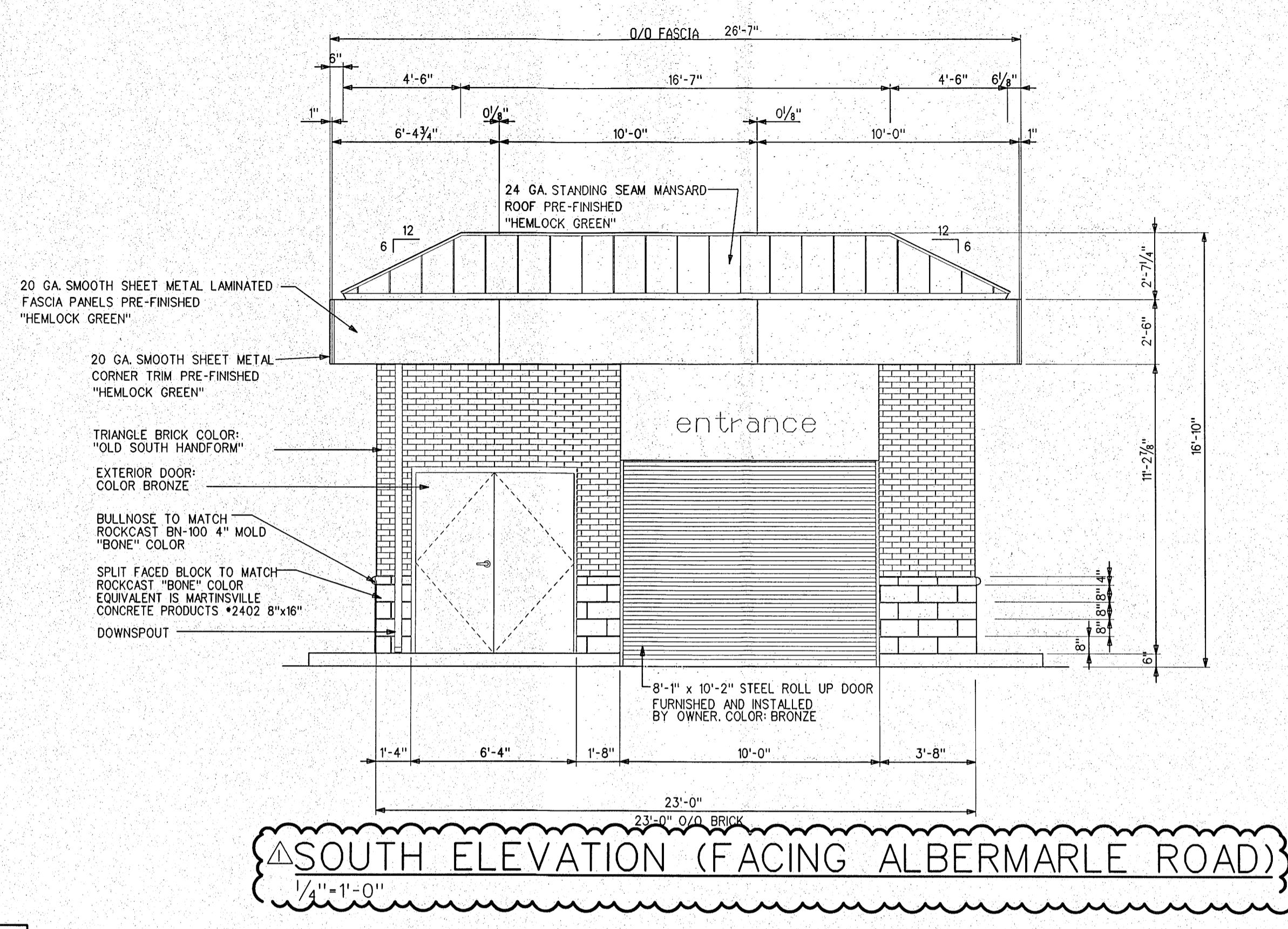
COMM. NO. 1483  
 DATE 2/20/15  
 REVISIONS  
 5/15/15

SHEET

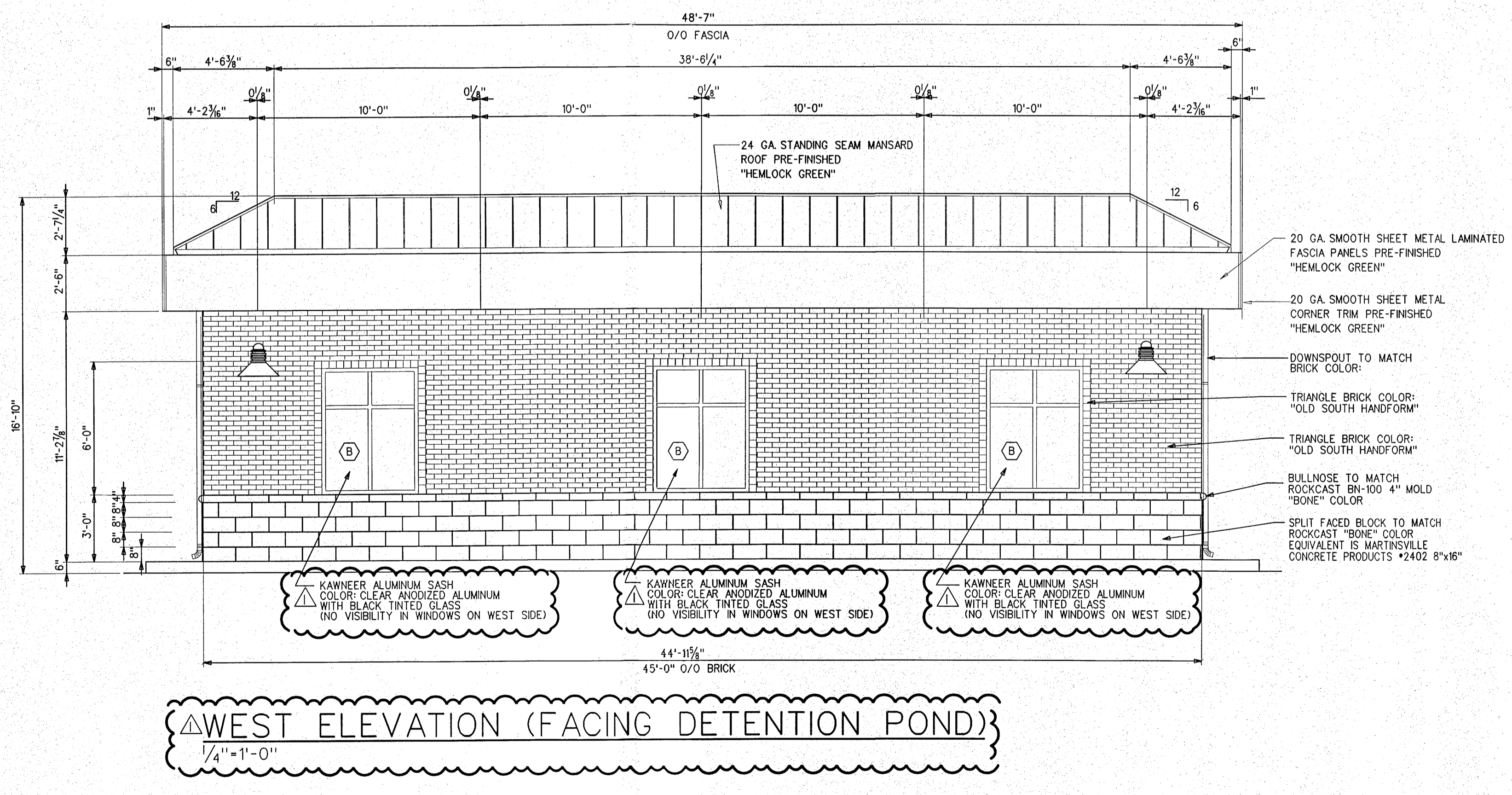
**A-12**  
 OF 13



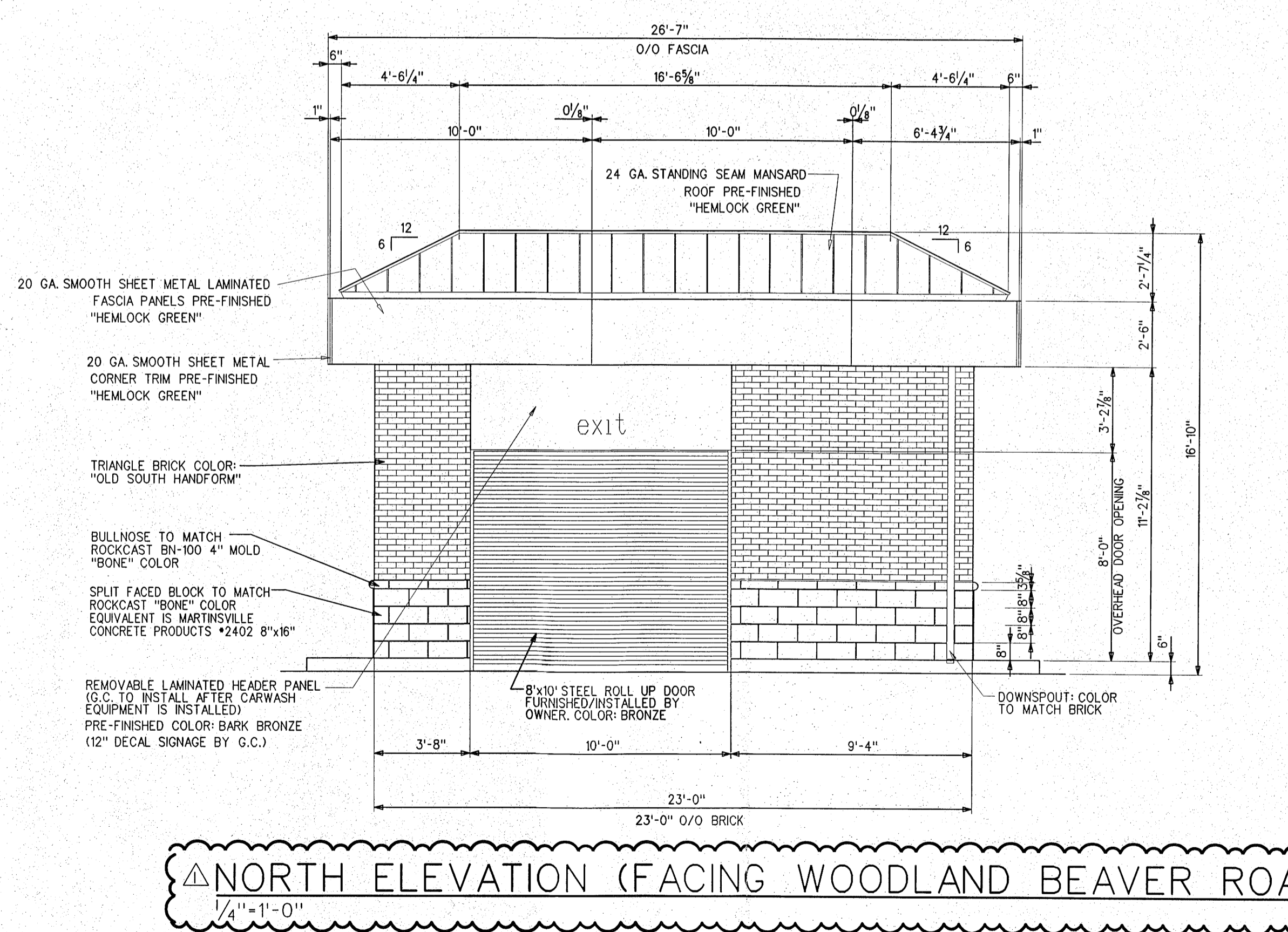
**EAST ELEVATION (FACING BLAIR ROAD)**  
 1/4" = 1'-0"



**SOUTH ELEVATION (FACING ALBERMARLE ROAD)**  
 1/4" = 1'-0"



**WEST ELEVATION (FACING DETENTION POND)**  
 1/4" = 1'-0"

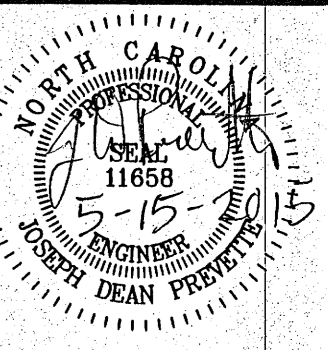


**NORTH ELEVATION (FACING WOODLAND BEAVER ROAD)**  
 1/4" = 1'-0"

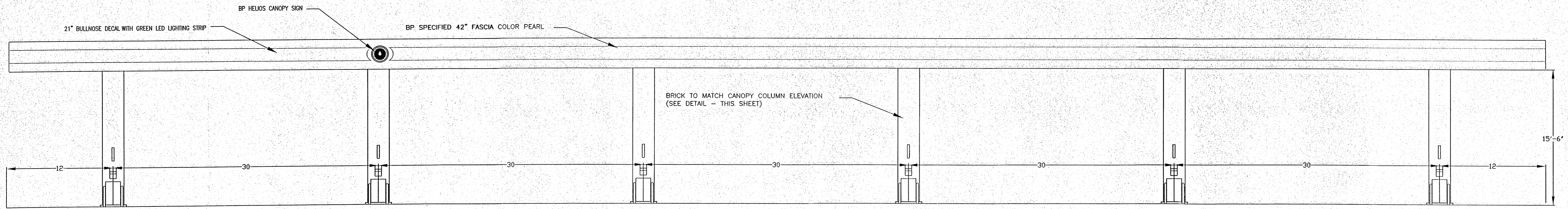
MORTAR/ SAND SPECIFICATION  
 SEE NOTES FOR MORTAR COLOR SHEET A-3

ATTACHED TO ADMINISTRATIVE  
 APPROVAL

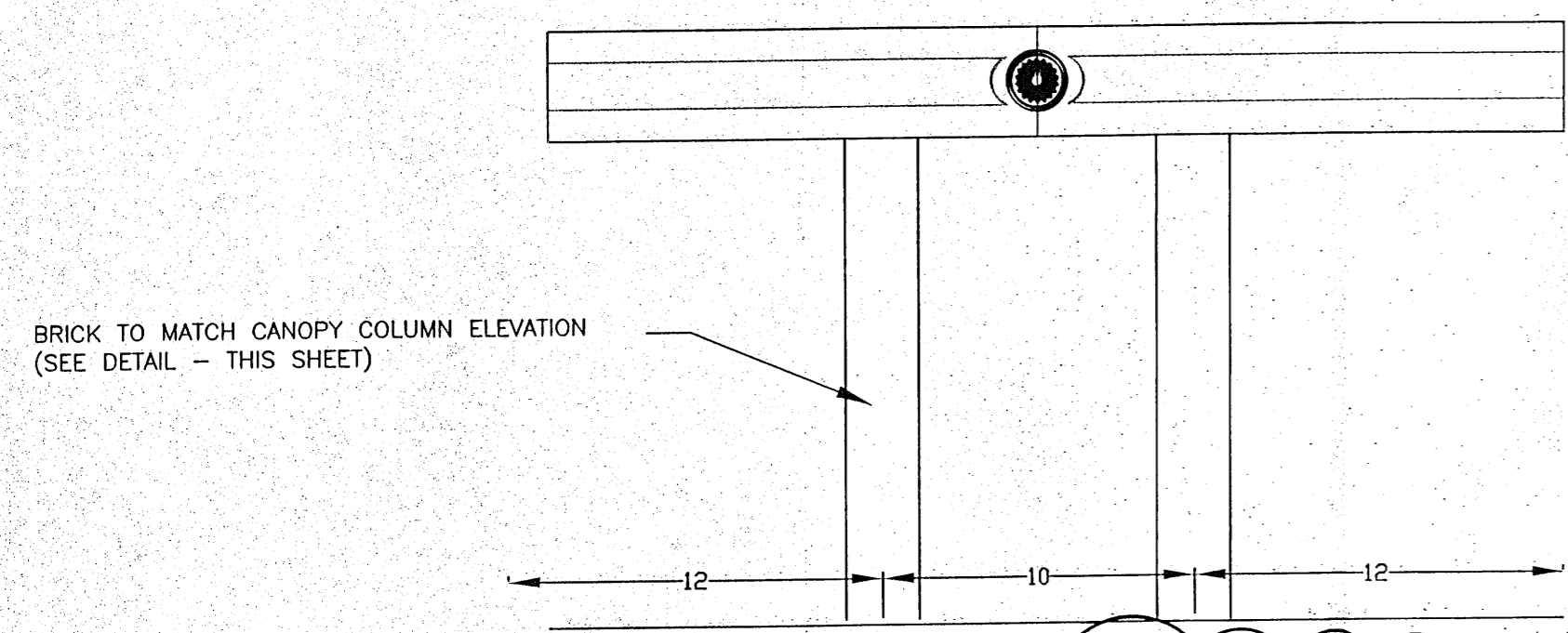
MAY 21 2015



**J. Dean Prevet**  
 Professional Engineer  
 2923 SOUTH TRYON ST, SUITE 120  
 CHARLOTTE, N.C. 28203 - 704 622 1713

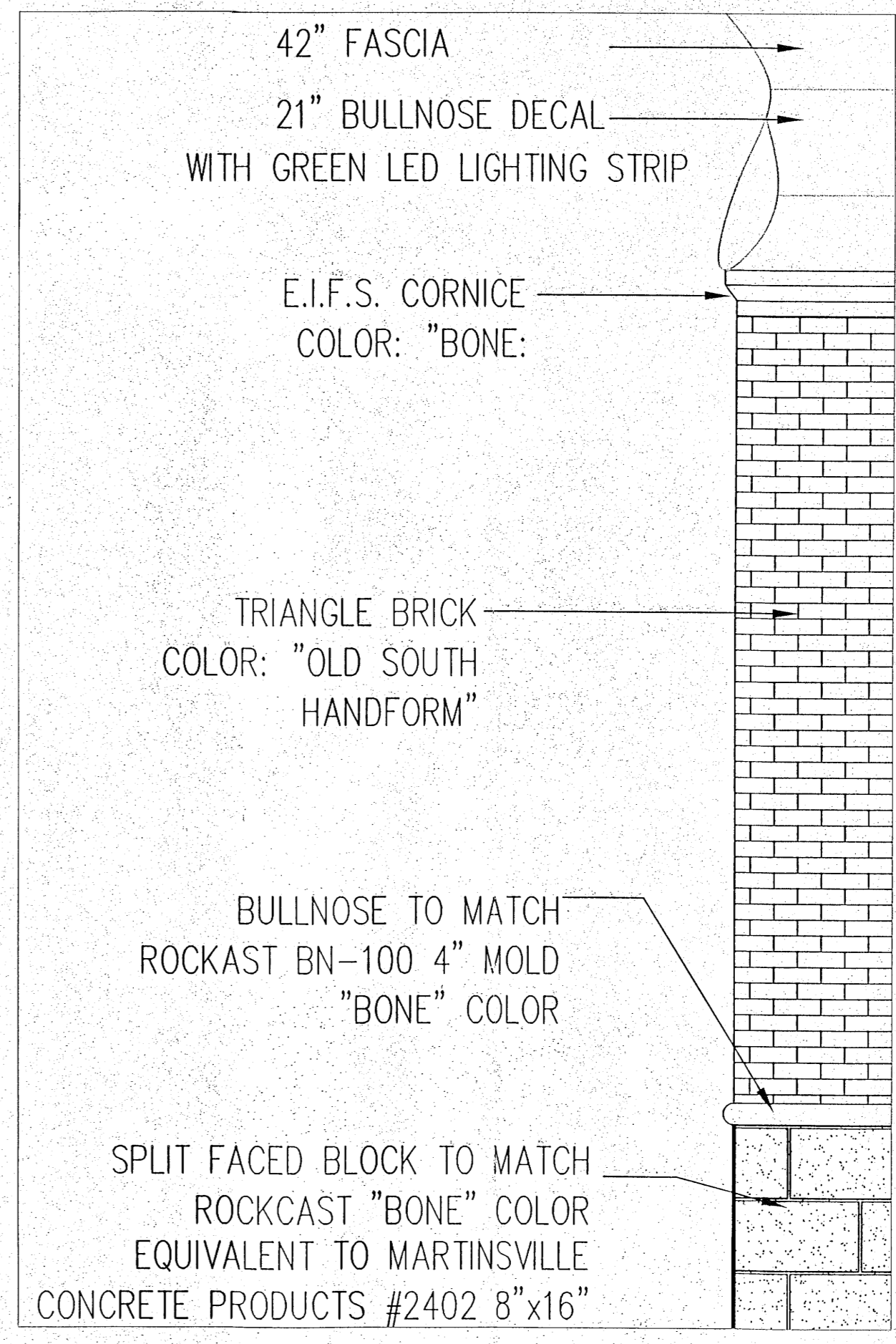


1 **Rear Elevation: Facing North / Woodland Beaver Road**  
 SCALE: NTS



2 **Side Elevation: Facing East / Blair Road**  
 SCALE: NTS

"Note: Front Elevation facing South and Side elevation facing West are exact duplicates of opposite sides"



3 **CANOPY COLUMN ENLARGED DETAIL**  
 NOT TO SCALE

ATTACHED TO ADMINISTRATIVE APPROVAL  
 MAY 21 2015

PROJECT TITLE  
**BEAVER FARMS BP**  
 10950 WOODLAND BEAVER ROAD  
 CHARLOTTE, NC

SHEET TITLE  
**CANOPY ELEVATIONS**

DATE: 3/19/2015  
 REVISION: FINAL  
 REVISIONS: 5/15/2015  
 DRAWING NUMBER: JDP  
 DRAWN BY: JDP  
 CHECKED BY:

SHEET  
**A-C1**  
 of 1  
 TOTAL # OF SHEETS

F:\Active Files\Dropbox\MARK OTL\Beaver Farms\pre for submit\Mark OtL\C1 CANOPY ELEVATIONS.dwg, 5/15/2015 8:24:35 AM, jdp\jdp\RW-240WP



# Charlotte-Mecklenburg Planning Department

**DATE:** May 10, 2018

**TO:** Donald Moore  
Zoning Supervisor

**FROM:** Taiwo Jaiyeoba  
Planning  
Director

**SUBJECT:** Administrative Approval for Petition No. 1998-042C Erwin Capital and the Crosland Group

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- Building Elevations for a proposed EDEE use (Waffle House).
- Site Plan
- Landscaping Plan

Reasons for Staff's support of the request:

- The site plan complies with the conditional notes and still meets the intent of the approved site plan by the County Commissioners.

**Note: All other Zoning, Subdivision, Tree Ordinances, Building Codes, and conditional requirements still apply.**

**Signage was not reviewed as part of this request.**

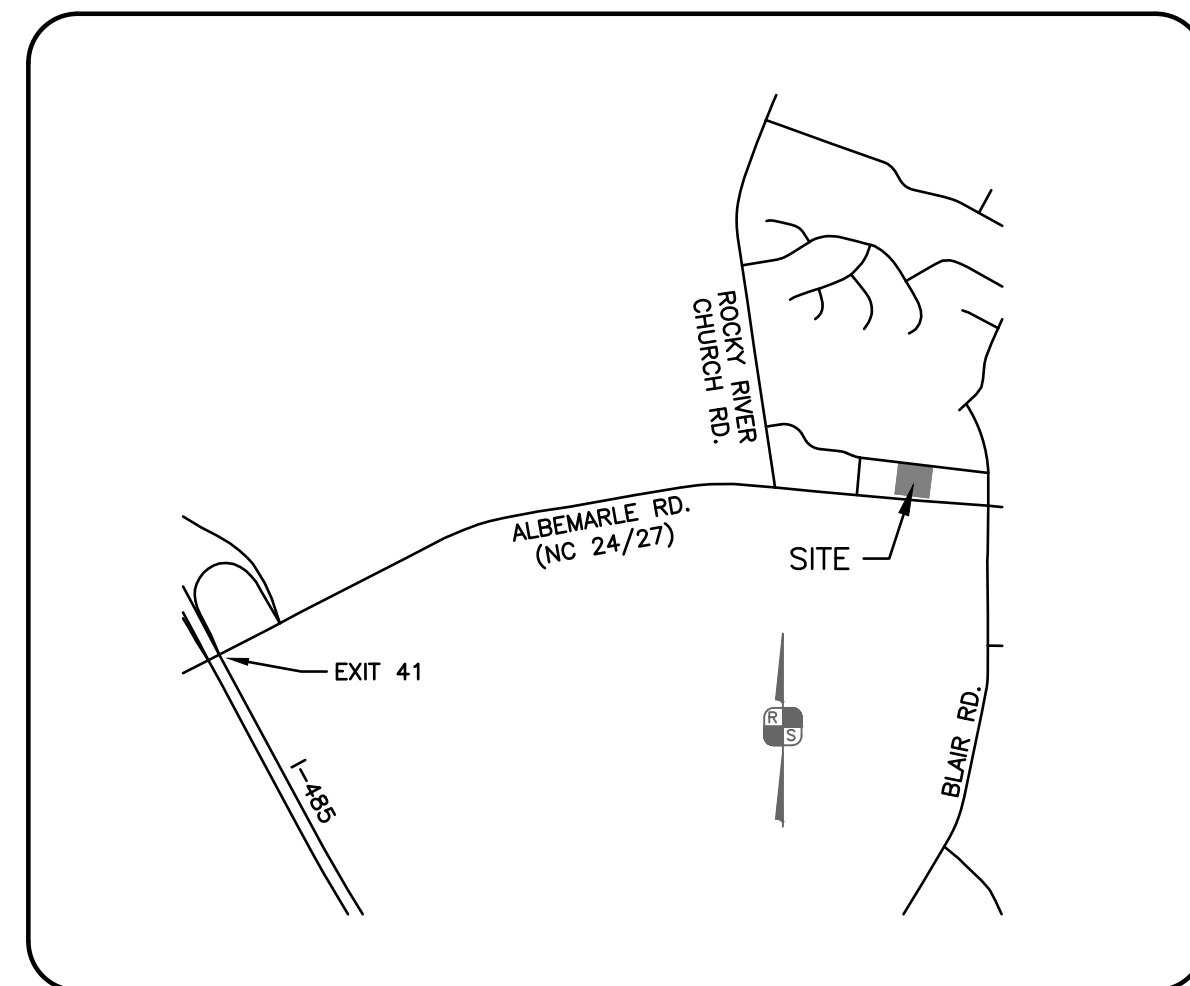
**CITY OF CHARLOTTE ETJ  
MECKLENBURG COUNTY, NORTH CAROLINA  
PLANS FOR  
  
WAFFLE HOUSE  
10910 WOODLAND BEAVER RD. (BEAVER FARMS)**



**PREPARED FOR:  
WAFFLE HOUSE, INC.  
5986 FINANCIAL DR.  
NORCROSS, GA 30071  
C/O: DENNY MUYRES  
PH: (770)-729-5868**



**PREPARED BY:  
ROBINSON & SAWYER, INC.  
707 E. SECOND AVE.  
GASTONIA, NC 28054  
TELEPHONE: 704/864-2201**



VICINITY MAP  
1"=1500'

INDEX	
Sheet No.	DESCRIPTION
C-1	INITIAL CONDITIONS & EROSION CONTROL
C-2	SITE & LANDSCAPING PLAN
C-3	GRADING & UTILITY PLAN
C-4	EROSION CONTROL DETAILS
C-5	SITE DETAILS
C-6	SITE DETAILS
C-7	SITE DETAILS

- GENERAL SITE NOTES:**
- 1 THE IMPROVEMENTS AS SHOWN ON THESE PLANS SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH APPLICABLE CITY, COUNTY, STATE AND FEDERAL REGULATIONS.
  - 2 THE UTILITIES AND THE LOCATIONS THEREOF, SHOWN ON THE DRAWINGS, REPRESENT THE DESIGNER'S UNDERSTANDING OF EXISTING UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND EXISTENCE OF ALL UTILITIES ETC. WITHIN THE CONSTRUCTION AREA WITH THE OWNER AND/OR THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING ANY EXCAVATION OR CONSTRUCTION. CALL NC ONE-CALL 48 HOURS PRIOR TO DIGGING. THE OMISSION OR INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF, OR DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
  - 3 BOUNDARY AND TOPO INFORMATION TAKEN FROM MAP BY GRAY SURVEYING COMPANY, INC., DATED #.
  - 4 FLOOD HAZARD OVERLAY DISTRICT: THIS PROPERTY HAS BEEN DETERMINED TO LIE OUTSIDE OF A SPECIAL FLOOD HAZARD AREA. THIS SITE IS SHOWN TO BE IN AREAS DESIGNATED NON-SHADED ZONE "X". SEE FEMA PANEL 3710551400K, EFFECTIVE DATE MARCH 2, 2009.
  - 5 REMOVE ALL CLEARING AND DEMOLITION WASTE FROM THIS SITE AND DISPOSE OF LEGALLY IN A DEMOLITION LANDFILL.
  - 6 THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CONFINE DISTURBED AREAS TO A MINIMUM. ALL AREAS DISTURBED BY THE CONTRACTOR DURING DEMOLITION SHALL BE IMMEDIATELY RESEDED.
  - 7 EXACT LOCATIONS OF ALL UTILITY SERVICES (WATER, SEWER, GAS, ETC.) TO BE COORDINATED WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
  - 8 ALL PARKING LOT STRIPING TO BE COMPLETED AS SHOWN ON THIS PLAN. ALL TRAFFIC SIGNS, STRIPE PAINTING, ETC... TO CONFORM TO THE PRINCIPLES WITHIN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (M.U.T.C.D.)
  - 9 CONTRACTOR TO COORDINATE ANY PROBLEMS OR FIELD CONDITIONS, THAT MAY CHANGE THE DESIGN, WITH THE ENGINEER PRIOR TO PROCEEDING.
  - 10 LIGHTING SHALL NOT BE DIRECTED TOWARD OR SHINE UPON ANY RESIDENTIAL ZONES OR ENDANGER MOTORISTS TRAVELING ON ANY STREET.
  - 11 THE LIMITS OF GRADING IS UNDER ONE ACRE; THEREFORE NO EROSION CONTROL PLAN IS REQUIRED. HOWEVER, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PREVENT EXCESS SEDIMENT FROM LEAVING THE SITE.
  - 12 CONTRACTOR TO PITCH GUTTER SLOPE AWAY FROM CURB ON DOWNSTREAM SIDE OF ISLANDS AND CURB RUNS.
  - 13 ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
  - 14 ALL PLANTERS AND ISLANDS ARE TO BE MOUNDED TO DRAIN.
  - 15 THIS GRADING PLAN DOES NOT REPRESENT A BALANCED CUT/FILL CONDITION. CONTRACTOR TO PERFORM HIS OWN CALCULATIONS AND SUPPLEMENT OR REMOVE SOIL AS NEEDED TO MAKE THE PROPOSED GRADES.
  - 16 REFER TO ARCHITECTURAL SHEETS FOR BUILDING PLANS AND DIMENSIONS.
  - 17 PROPOSED SEWER SERVICE TO BE 4" PVC SCHEDULE 40 WITH CLEANOUTS AS PER BUILDING CODE. ALL SEWER CLEANOUTS TO BE TRAFFIC RATED.
  - 18 MAINTAIN SILT FENCE AND OTHER PREVIOUSLY INSTALLED EROSION CONTROL MEASURES DURING CONSTRUCTION.
  - 19 EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S150 OR APPROVED OTHER) ALONG SLOPES 3:1 AND STEEPER. INSTALL AS PER MANUFACTURER'S REQUIREMENTS.
  - 20 SPOTGRADES SHOWN ON CURB & GUTTER ARE GUTTER ELEVATION UNLESS NOTED OTHERWISE.
  - 21 EACH BACKFLOW PREVENTER REQUIRED BY CHARLOTTE WATER SHALL BE TESTED BY A CHARLOTTE WATER APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS REQUIRED BACKFLOW PREVENTER.
  - 22 SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
  - 23 APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM AFFECTED PROPERTY OWNERS.
  - 24 IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON CURB.
  - 25 THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
  - 26 NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION. FOR CITY OF CHARLOTTE MAINTAINED STREETS, CONTACT CDOT AT (704) 336-3888.
  - 27 SIDEWALK WITHIN THE CITY'S RIGHT-OF-WAY THAT REQUIRES REPLACEMENT AS PART OF THE DEVELOPMENT AND/OR STREET IMPROVEMENTS SHOULD BE PHASED IN SUCH A WAY AS TO MINIMIZE THE DURATION OF THE SIDEWALK CLOSURE TO THE EXTENT FEASIBLE. THE DEVELOPER SHOULD MAKE EVERY ATTEMPT TO HAVE SIDEWALK REPAIRED AND REOPENED FOR PUBLIC USE WITHIN 30 DAYS OF REMOVAL.
  - 28 ANY WORK WITHIN THE CITY'S RIGHT-OF-WAY THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANE MUST BE APPROVED BY CDOT AND WILL REQUIRE A R/W US PERMIT OR R/W LEASE DEPENDING UPON THE PROPOSED DURATION OF CLOSURE. THESE APPROVALS ARE IN ADDITION TO SITE APPROVALS AND SHOULD BE COORDINATED WITH CDOT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT CDOT AT (704) 432-1562 AT LEAST 5 BUSINESS DAYS PRIOR TO BEGINNING WORK FOR IMPACTS LESS THAN 30 DAYS. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-8348 AS SOON AS POSSIBLE FOR IMPACTS GREATER THAN 30 DAYS. EVERY EFFORT SHALL BE MADE TO CONSTRUCT IMPROVEMENTS WITH MINIMAL IMPACT TO DRIVERS AND PEDESTRIANS.
  - 29 THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
  - 30 DEVELOPER TO CONTACT CDOT (ANTHONY MENDEZ: 704-336-4971) DURING SITE PLAN PREPARATION TO DISCUSS STREET LIGHTING REQUIREMENTS, IF ANY. FOR THIS PROJECT, COORDINATE WITH DUKE ENROY AND CDOT AS NECESSARY TO DETERMINE LIGHTING LEVELS, LIGHTING LAYOUT AND REQUIREMENTS FOR INSTALLATION.

**PRELIMINARY  
NOT FOR CONSTRUCTION**



**ROBINSON & SAWYER, INC.**  
CIVIL ENGINEERING CONSULTING & DESIGN  
707 EAST SECOND AVENUE ~ GASTONIA, NC  
PHONE: (704)864-2201 ~ FAX: (704)864-2276  
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WWW.ROBINSON-SAWYER.COM



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WAFFLE HOUSE, INC. APPROVALS	
SIGNATURE _____	DATE _____
SIGNATURE _____	DATE _____
SIGNATURE _____	DATE _____
SIGNATURE _____	DATE _____

**PROJECT NARRATIVE**

- A. GENERAL DESCRIPTION OF PROJECT: THE PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW WAFFLE HOUSE RESTAURANT AND ASSOCIATED PARKING AND UTILITY SERVICES. THE SITE IS LOCATED AT 10910 WOODLAND BEAVER RD. IN MECKLENBURG COUNTY. THE SUBJECT PARCEL IS 0.47 ACRES. THE SITE IS CURRENTLY VACANT. APPROXIMATELY 0.56 ACRES WILL BE DISTURBED THROUGH THE DURATION OF THIS PROJECT. THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.
- B. LENGTH OF TIME PROJECT TO BE UNDER CONSTRUCTION: 90-120 DAYS
- C. APPROXIMATE DATE PROJECT TO BEGIN: OCTOBER 2017
- D. SEQUENCE OF DEVELOPMENT:
- OBTAIN APPROVAL OF PLANS FROM THE FOLLOWING AGENCIES
    - CHARLOTTE (ALL CONSTRUCTION)
  - INSTALL GRAVEL CONSTRUCTION ENTRANCE AS INDICATED ON THE PLANS.
  - CLEAR & GRUB AREAS ONLY AS NECESSARY TO INSTALL ALL EROSION CONTROL MEASURES AS CALLED FOR ON PLANS.
  - INSTALL ALL EROSION CONTROL MEASURES AS CALLED FOR ON PLANS INCLUDING SILT FENCE AND CHECK DAMS. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NC EROSION AND SEDIMENT CONTROL PLANNING DESIGN MANUAL, US DEPT. OF AGRICULTURE, CITY OF CHARLOTTE EROSION CONTROL ORDINANCE, AND THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
  - CLEAR AND GRUB AS NECESSARY THE ENTIRE AREA TO BE GRADED AS INDICATED ON THE PLANS.
  - BEGIN GRADING PROPOSED PARKING AND BUILDING AREA. CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
  - AS GRADING PROGRESSES AND FINAL GRADES ARE OBTAINED, INSTALL STORM DRAINAGE PIPE AS CALLED FOR ON THE PLANS. INSTALL INLET PROTECTION AT EACH STRUCTURE.
  - SLOPES LEFT EXPOSED SHALL BE PLANTED OR OTHERWISE PROVIDED WITH GROUND COVER, DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION AS SPECIFIED IN THE GROUND STABILIZATION CRITERIA SCHEDULE SHOWN ON THIS SHEET.
  - UPON COMPLETION OF CONSTRUCTION, GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE IN PLACE AS SPECIFIED IN THE GROUND STABILIZATION CRITERIA SCHEDULE BELOW.
  - MAINTENANCE: SEE INDIVIDUAL DETAILS FOR MAINTENANCE REQUIREMENTS FOR EACH TYPE OF EROSION CONTROL MEASURE.
  - UPON STABILIZATION OF SITE, REMOVE EROSION CONTROL MEASURES.

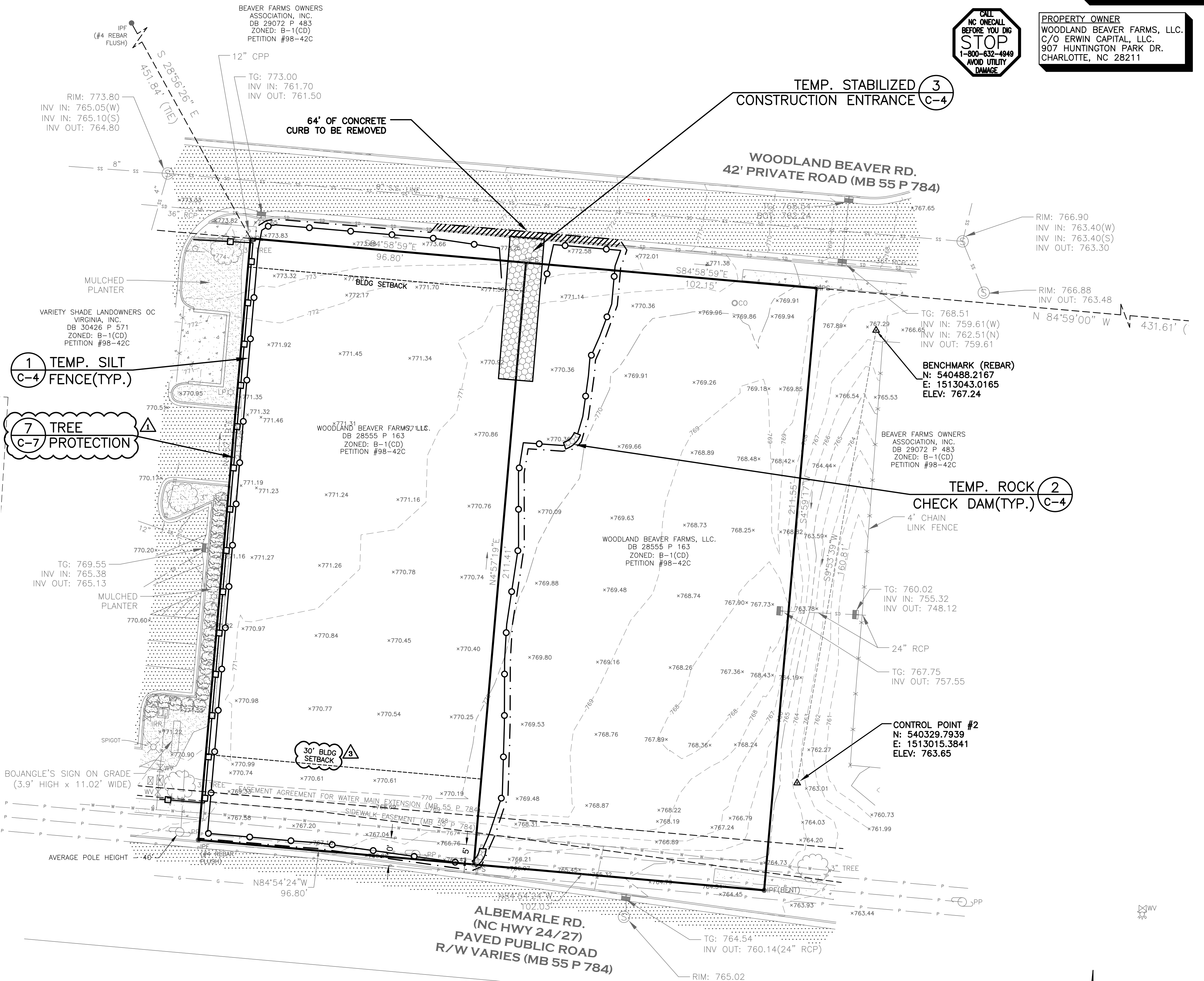
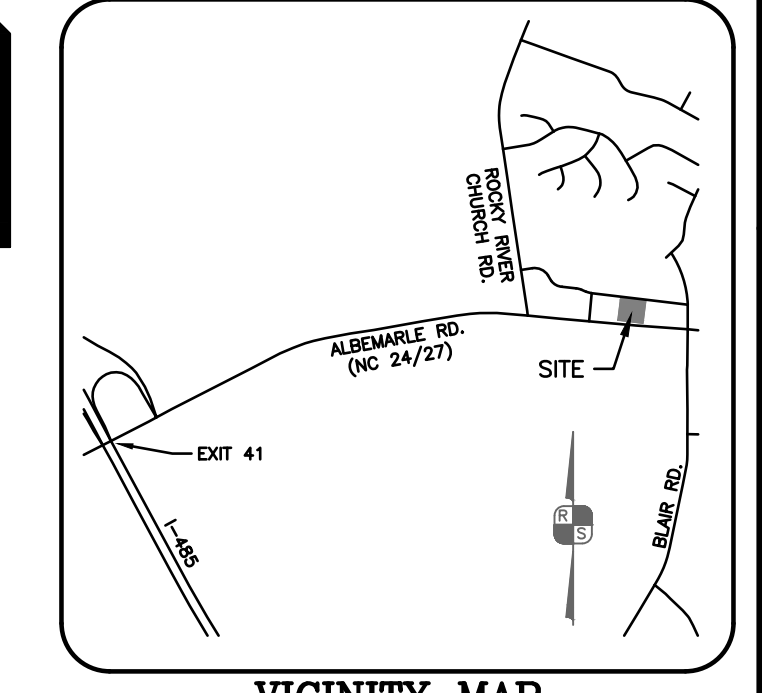
GROUND STABILIZATION CRITERIA		
SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER(HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE(EXCEPT FOR PERIMETERS AND HQW ZONES)

**SITE DATA**  
TOTAL AREA: 0.47 ACRES  
DEVELOPED AREA: 0.57 ACRES

**SOIL DATA**  
SOIL ON THE SITE IS CECIL SANDY CLAY LOAM(Ce82).

**APPLICANT**  
WAFFLE HOUSE, INC.  
5986 FINANCIAL DR.  
NORCROSS, GA 30071  
CONTACT: DENNY MUYRES  
PH: 770-729-5868

**PROPERTY OWNER**  
WOODLAND BEAVER FARMS, LLC.  
C/O ERWIN CAPITAL, LLC.  
907 HUNTINGTON PARK DR.  
CHARLOTTE, NC 28211



- SURVEY LEGEND**
- PROPERTY LINE
  - PROPERTY LINE(UNSURVEYED)
  - RIGHT OF WAY
  - IRON PIN FOUND (TYPE NOTED)
  - IRON PIN SET (#4 REBAR)
  - BELOW GROUND
  - SPOTGRADE
  - MAJOR CONTOUR
  - MINOR CONTOUR
  - FENCE
  - OVERHEAD POWER LINE
  - UNDERGROUND POWER LINE
  - POWER POLE
  - LIGHT POLE
  - STORM DRAIN PIPE
  - CATCH BASIN
  - WATER LINE
  - FIRE HYDRANT
  - WATER VALVE
  - IRRIGATION VALVE
  - VAULT
  - WATER SPIGOT
  - SANITARY SEWER LINE
  - SEWER MANHOLE
  - CLEANOUT
  - SIGN
  - TREE
  - SHRUB
  - ASPHALT PAVEMENT
  - CONCRETE
- LEGEND**
- SILT FENCE
  - TREE PROTECTION
  - DENUEDED LIMITS
  - STONE BERM
- SEE COVER SHEET FOR GENERAL SITE NOTES

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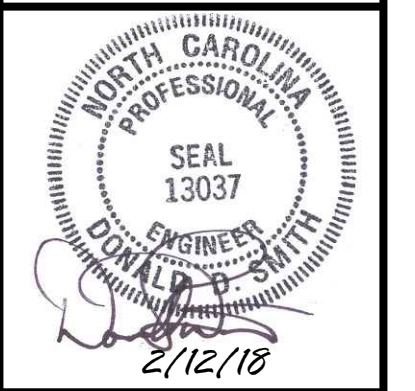
EST. 1962

PROJECT NO. 17004.01  
FILE NO. 4545-B  
SCALE: 1"=20'  
DRAWN BY: MCW  
CHECKED BY: DDS

WAFFLE HOUSE, INC.  
10910 WOODLAND BEAVER RD.  
MECKLENBURG CO., NORTH CAROLINA

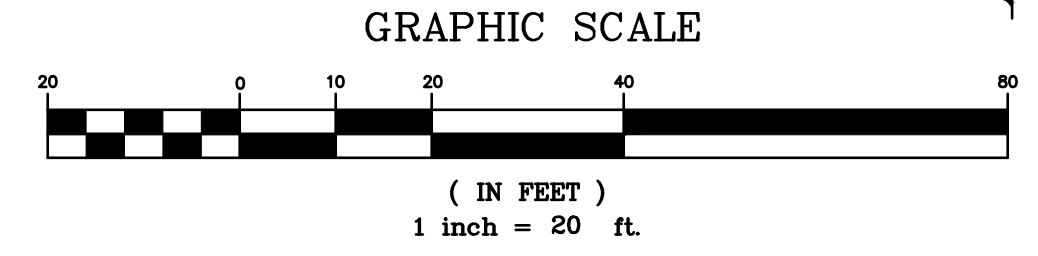
**INITIAL CONDITIONS & EROSION CONTROL**

DATE	BY	COMMENT
8/17/17		



WAFFLE HOUSE, INC.  
APPROVALS

SIGNATURE	DATE
SIGNATURE	DATE
SIGNATURE	DATE
SIGNATURE	DATE



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**CHARLOTTE URBAN FORESTRY  
TREE PLANTING & PRESERVATION REQUIREMENTS**

**PLANT MATERIAL**

- MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER AND 8' TALL FOR SINGLE-STEM TREES. ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 10' TALL. WHERE 3" SINGLE-STEM CALIPER TREES ARE SPECIFIED/REQUIRED THE MINIMUM HEIGHT SHALL BE 10' TALL. IF MULTI-STEM TREES ARE SPECIFIED THEN THEY SHALL BE A MINIMUM OF 12' TALL.
- ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS INTACT TO THE TOP OF THE CROWN UNLESS MULTI-STEM TREES ARE SPECIFIED. ALL REQUIRED TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY. HAVE NORMAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS. TREES WITH CO-DOMINANT BRANCHING WILL NOT BE ACCEPTED. TREES THAT HAVE BEEN SHEARED, TOPPED OR CUT BACK TO MULTIPLY THE BRANCHING STRUCTURE WILL NOT BE ACCEPTED. TREES SHALL BE FREE OF ABRASIONS, DAMAGE, DISEASE, PESTS AND CRACKS. ALL PRUNING CUTS GREATER THAN 1/4" INCH DIAMETER SHALL HAVE CALLUS TISSUE FORMED PRIOR TO PLANTING. NO PRUNING CUT ON THE TRUNK SHALL BE MORE THAN ONE-HALF THE DIAMETER OF THE CENTRAL LEADER AT THE HEIGHT WHERE THE CUT WAS MADE. ROOT FLARES SHALL BE LOCATED AT GRADE. TREES WITH MORE THAN 2" OF SOIL COVERING THE ROOT BALL/FLARE WILL NOT BE ACCEPTED (CLDS 40.09).

- SIZE OF REQUIRED PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (LATEST EDITION) AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, EXCEPT WHERE SPECIFIED/AUTHORIZED BY URBAN FORESTRY.
- ALL REQUIRED TREES OF A PARTICULAR SPECIES AND VARIETY SHALL BE UNIFORM IN SIZE AND CONFIGURATION.
- PERIMETER TREES IN URBAN ZONES SHALL BE 3" IN CALIPER AND BE FREE OF BRANCHES UP TO 6' FROM THE TOP OF THE BALL.
- A MINIMUM OF 50% OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN 20 TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE (3 OR MORE) SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.
- 75% OF REQUIRED TREES MUST BE LARGE MATURE SPECIES EXCEPT IN SITUATIONS WITH OVERHEAD POWER LINE CONFLICTS.

**PLANTING REQUIREMENTS**

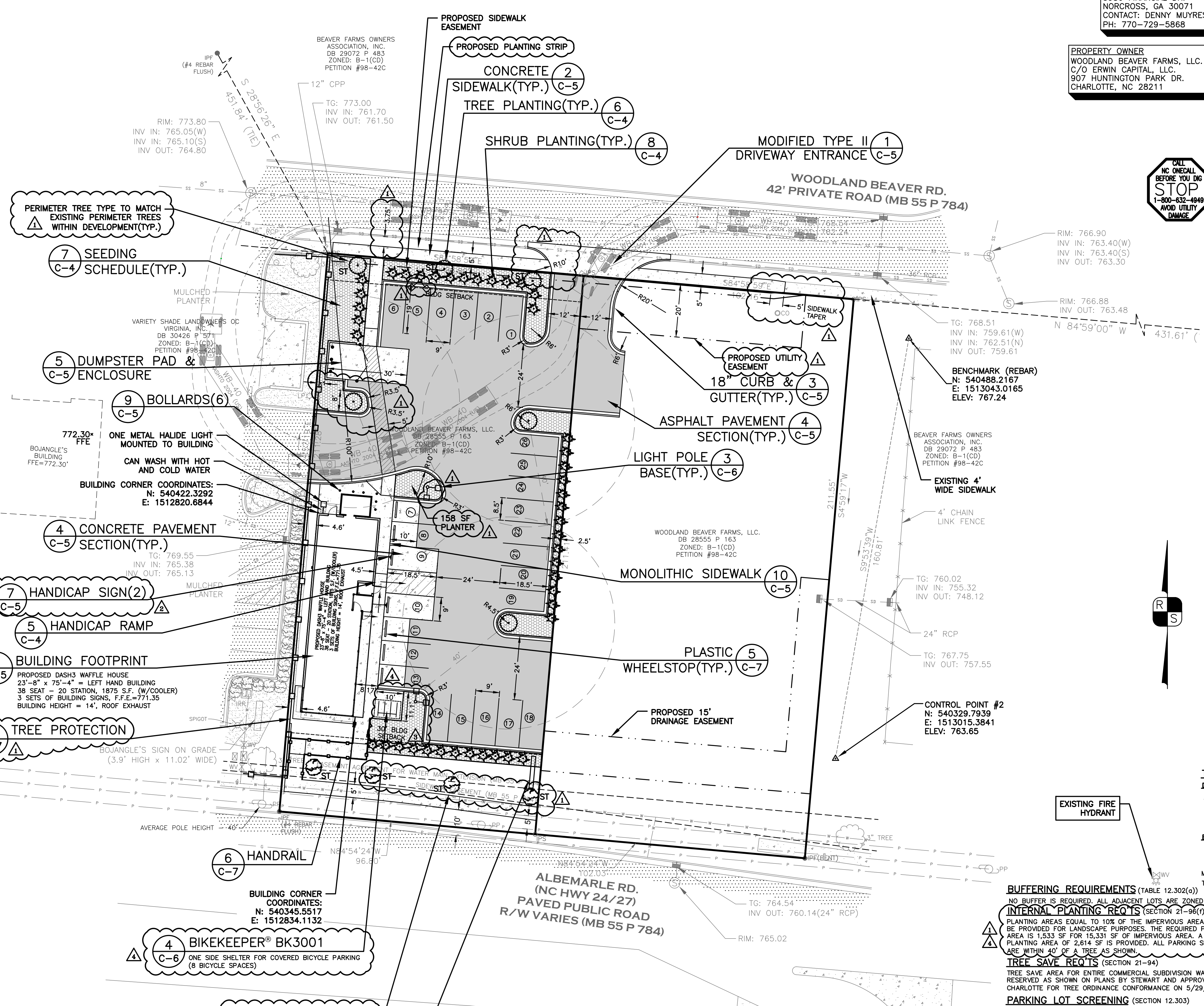
- SEE CLDS 40.01 (ON PLAN) FOR DETAILED TREE PLANTING REQUIREMENTS.
- PLASTIC HOSE PARTS WILL NOT BE ACCEPTED FOR TREE STAKING. SEE CLDS 40.01 FOR APPROVED STAKING METHOD/MATERIALS.
- FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVED COMPACTED SOIL AND ADD 24" NEW TOPSOIL, OR TILL AND AMEND THE TOP 24" OF EXISTING OIL TO MEET TOPSOIL/PLANTING MAX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SF PER LARGE MATURE TREE AND 200 SF PER SMALL MATURE TREE).
- REVIEW SOIL REQUIREMENTS IN THE TREE ORDINANCE GUIDELINES AT: <http://landpermits.charmeck.org> THEN PICK "TREES".

**UTILITY ISSUES**

- LARGE MATURING TREES MAY NOT BE PLANTED WITHIN 25' OF OVERHEAD POWER DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
- ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES.
- NO LIGHT POLES, UTILITY POLES OR TRANSFORMERS CAN BE INSTALLED IN TREE ISLANDS.
- COMMERCIAL SCALE LIGHTING (>15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 30' FROM A TREE. PEDESTRIAN SCALE LIGHTING (<15' IN HEIGHT) MUST BE A MINIMUM OF 15' FROM A TREE. SHOW SITE LIGHTING ON LANDSCAPE PLAN.

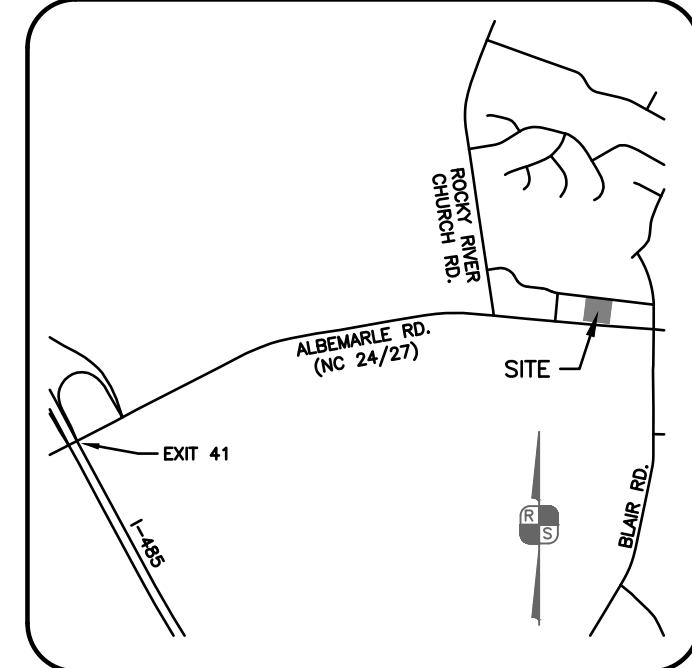
**TREE SAVE AND PRESERVATION**

- TREE PROTECTION MUST BE INSTALLED AND VERIFIED BY URBAN FORESTRY PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY.
- SHOW TREE PROTECTION AND TREE SAVE AREAS ON EROSION CONTROL, GRADING AND LANDSCAPE PLAN SHEETS.
- COMMERCIAL TREE SAVE AREAS MUST BE RECORDED ON A FINAL PLAT WITH THE MECKLENBURG COUNTY REGISTER OF DEEDS BEFORE URBAN FORESTRY HOLDS CAN BE RELEASED. A 10' NO BUILD ZONE AROUND TREE SAVE AREAS MUST BE REFERENCED ON THE PLAT.
- TREE SAVE AREAS SHALL BE FREE OF INVASIVE PLANT SPECIES. IF AN AREA PROPOSED FOR TREE SAVE CONTAINS INVASIVE PLANT SPECIES AT TIME OF PROPOSAL, SUCH INVASIVE PLANT SPECIES SHALL BE REMOVED PRIOR TO FINAL CO.
- THE AREA OF ANY EASEMENT (WATER, SEWER, UTILITY, ETC.) CAN NOT BE COUNTED TOWARD THE TREE SAVE REQUIREMENT.
- ANY ALTERATIONS TO TREE SAVE AREAS MUST BE ACCOMPLISHED WITHOUT MECHANIZED EQUIPMENT.
- NO STRUCTURE WILL BE ALLOWED WITHIN 10' OF TREE SAVE AREAS UNLESS APPROVED BY URBAN FORESTRY.
- ALL TREES ON PUBLIC PROPERTY ARE PROTECTED AND REMOVAL MUST BE PERMITTED BY THE CITY ARBORIST.
- IF TREES CONFLICT WITH ANY UTILITIES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING. BOJANGLE'S WILL BE KEPT IN COMPLIANCE.



**APPLICANT**  
WAFFLE HOUSE, INC.  
5986 FINANCIAL DR.  
NORCROSS, GA 30071  
CONTACT: DENNY MUYRES  
PH: 770-729-5868

**PROPERTY OWNER**  
WOODLAND BEAVER FARMS, LLC.  
C/O ERWIN CAPITAL, LLC.  
907 HUNTINGTON PARK DR.  
CHARLOTTE, NC 28211



**SURVEY LEGEND**

- PROPERTY LINE
- PROPERTY LINE (UNSURVEYED)
- RIGHT OF WAY
- IRON PIN FOUND (TYPE NOTED)
- IRON PIN SET (#4 REBAR)
- BELOW GROUND
- SPOTGRADE
- MAJOR CONTOUR
- MINOR CONTOUR
- FENCE
- OVERHEAD POWER LINE
- UNDERGROUND POWER LINE
- POWER POLE
- LIGHT POLE
- STORM DRAIN PIPE
- CATCH BASIN
- WATER LINE
- FIRE HYDRANT
- WATER VALVE
- IRRIGATION VALVE
- VAULT
- WATER SPIGOT
- SANITARY SEWER LINE
- SEWER MANHOLE
- CLEANOUT
- SIGN
- TREE
- SHRUB
- ASPHALT PAVEMENT
- CONCRETE

**PROPOSED LEGEND**

- CONCRETE CURB & GUTTER
- STREET TREE
- BUILDING SETBACK
- ASPHALT PAVEMENT
- CONCRETE SIDEWALK/PAVEMENT
- PLANTING AREA
- TREE PROTECTION
- LIGHT POLE (2 HEAD)  
(FIXTURE HEIGHT 23' ABOVE GRADE)
- LIGHT POLE (3 HEAD)  
(FIXTURE HEIGHT 23' ABOVE GRADE)

NOTE: SEE SHEET # FOR OFF-SITE SIDEWALK IMPROVEMENTS

**TREE LEGEND**

- DECIDUOUS** (OBTAIN APPROVAL FOR ADDITIONAL VARIETIES)
  - One (1) canopy tree (ARCADE RED LEAF NUTTALL OAK)
  - One (1) understory tree (FOREST PANSY REDBUD)
- EVERGREEN** (OBTAIN APPROVAL FOR ADDITIONAL VARIETIES)
  - One (1) shrub (ABELIA GRANDIFLORA)

MINIMUM SIZE FOR PLANTINGS: CANOPY TREES-2", UNDERSTORY TREES-12", SHRUBS-2" HEIGHT, 7-GALLON

**LANDSCAPING QUANTITIES**

TREE/SHRUB	QUANTITY
ARCADE RED LEAF NUTTALL OAK	8
FOREST PANSY REDBUD	4
ABELIA GRANDIFLORA	43

**WAFFLE HOUSE, INC. APPROVALS**

SIGNATURE	DATE

**BUFFERING REQUIREMENTS** (TABLE 12.302(a))  
NO BUFFER IS REQUIRED. ALL ADJACENT LOTS ARE ZONED B-1(CD).  
**INTERNAL PLANTING REQ'S** (SECTION 21-96(f))  
PLANTING AREAS EQUAL TO 10% OF THE IMPERVIOUS AREA SHALL BE PROVIDED FOR LANDSCAPE PURPOSES. THE REQUIRED PLANTING AREA IS 1,533 SF FOR 15,331 SF OF IMPERVIOUS AREA. A TOTAL PLANTING AREA OF 2,614 SF IS PROVIDED. ALL PARKING SPACES ARE WITHIN 40' OF A TREE AS SHOWN.

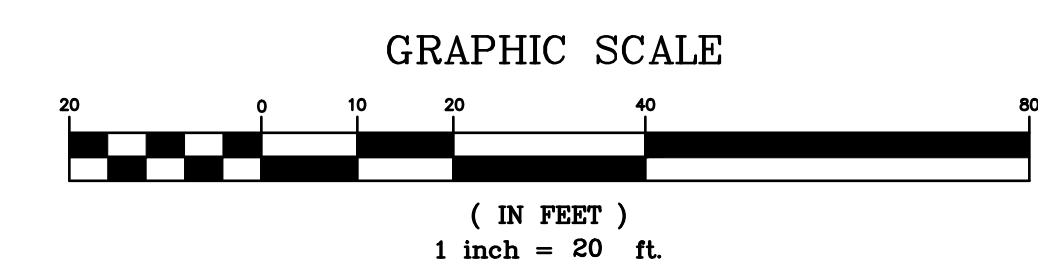
**TREE SAVE REQ'S** (SECTION 21-94)  
TREE SAVE AREA FOR ENTIRE COMMERCIAL SUBDIVISION WAS RESERVED AS SHOWN ON PLANS BY STEWART AND APPROVED BY CHARLOTTE FOR TREE ORDINANCE CONFORMANCE ON 5/29/13.

**PARKING LOT SCREENING** (SECTION 12.303)  
PARKING LOTS FOR MORE THAN 10 AUTOMOTIVE VEHICLES SHALL BE SCREENED BY A PLANTED AREA 5' IN WIDTH. SHRUBS SHALL BE AT LEAST 2' TALL IN 7 GALLON CONTAINER WITH A MINIMUM SPREAD OF 2' WHEN PLANTED AND NO FURTHER THAN 5' APART.

**PERIMETER PLANTING** (SECTION 21-96(e)(2))  
1 UNDERSTORY PER 30 LINEAR FEET OF FRONTAGE  
98 LF /30 = 3 CANOPY TREES ON WOODLAND BEAVER RD.  
98 LF /40 = 3 CANOPY TREES ON WOODLAND BEAVER RD.  
STREET TREES DESIGNATED BY "ST" IN PLAN.  
PERIMETER TREES TO MATCH TYPE OF EXISTING PERIMETER TREES WITHIN BEAVER FARMS DEVELOPMENT.

**PARKING SUMMARY** (TABLE 12.202)  
VEHICLE SPACES REQUIRED: 1 SPACE PER 75 SF BUILDING IS 1875 SF  
25 SPACES REQUIRED  
PROVIDED: 26 VEHICLE SPACES  
2 BICYCLE SPACES

**ZONING NOTES**  
ADDRESS: 10910 WOODLAND BEAVER RD.  
ZONED: B-1(CD)(MECKLENBURG CO.)  
TOTAL ACREAGE: 0.47 AC  
EXISTING IMPERVIOUS AREA: 0.00 AC  
PROPOSED IMPERVIOUS AREA: 0.35 AC  
EXISTING LAND USE: VACANT  
PROPOSED USE: RESTAURANT  
PID: 11123336  
DEED BOOK/PAGE: 28555-163  
SETBACKS:  
FRONT: 30'  
SIDE: 0'  
REAR: 10'



Attached to Administrative Approval  
Solomon A. Fortune

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**ROBINSON & SAWYER, INC.**  
CIVIL ENGINEERING CONSULTING AND DESIGN  
707 EAST SECOND AVENUE ~ GASTONIA, NC  
PHONE: (704) 964-4239 ~ FAX: (704) 964-2276  
WWW.ROBINSON-ANDSAWYER.COM

PROJECT NO. 17004.01  
FILE NO. 4545-B  
SCALE: 1"=20'  
DRAWN BY: MCW  
CHECKED BY: DDS

WAFFLE HOUSE, INC.  
10910 WOODLAND BEAVER RD.  
MECKLENBURG CO., NORTH CAROLINA

**SITE & LANDSCAPING PLAN**

DATE	BY	COMMENT
4/28/18	ADD	BICYCLE PARKING SHELTER
4/28/18	ADD	BUILDING STDS COMMENTS
1/09/18	ADD	BUILDING STDS COMMENTS
10/28/17	ADD	CITY/OWNER COMMENTS
8/17/17	ADD	PERMITTING SET

DATE: 8/17/17

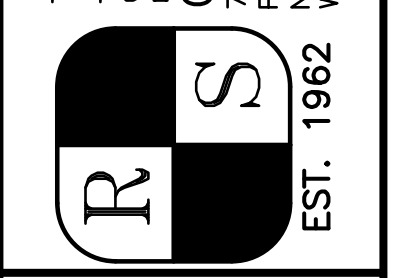
SEAL 13037  
ROBINSON & SAWYER, INC.  
REGISTERED PROFESSIONAL ENGINEER  
SPECIALTY: LANDSCAPE ARCHITECTURE  
4/23/18

SHEET NO. C-2  
OF 8 SHEETS

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PROJECT NO. 17004.01  
 FILE NO. 4545-B  
 SCALE: 1"=20'  
 DRAWN BY: MCW  
 CHECKED BY: DDS

WAFFLE HOUSE, INC.  
 10910 WOODLAND BEAVER RD.  
 MECKLENBURG CO., NORTH CAROLINA

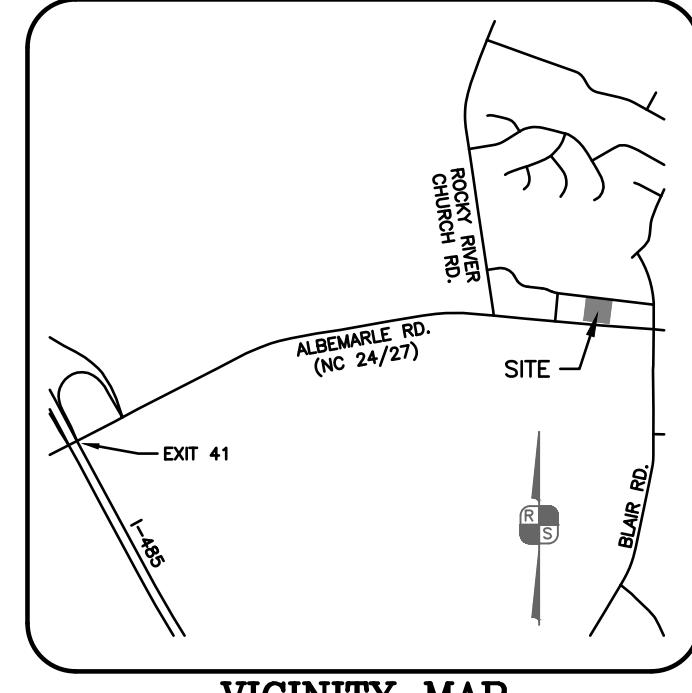
**GRADING & UTILITY PLAN**

DATE	BY	COMMENT
8/17/17	DDS	PERMITTING SET
10/23/17	MCW	CITY/OWNER COMMENTS
1/09/18	MCW	BUILDING STDS COMMENTS
2/12/18	MCW	BUILDING STDS COMMENTS

DATE: 8/17/17

SEAL 13037  
 PROFESSIONAL ENGINEER  
 DONALD B. SMITH  
 2/12/18

SHEET NO. **C-3**  
 OF 8 SHEETS



**BACKFLOW PREVENTION NOTES:**

- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR OTHER WATER USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CLT WATER - REQUIRED BACKFLOW PREVENTER.
- EACH CLT WATER-REQUIRED BPA IS REQUIRED TO BE TESTED BY A CLT WATER - APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE. TEST RESULTS SHALL BE SUBMITTED TO CLT WATER WITHIN 30 DAYS AND TESTED ANNUALLY THEREAFTER SUBMITTING RESULTS TO CLT WATER.
- SEE DETAIL 2 ON SHEET C-6 FOR ADDITIONAL NOTES

**UTILITY PROVIDERS**

UTILITY	PROVIDER	ADDRESS	PHONE NUMBER
WATER/SEWER	CHARLOTTE WATER	600 E. 4TH ST. CHARLOTTE, NC 28202	(704)-336-7600
POWER	DUKE ENERGY	550 S. TRYON ST. CHARLOTTE, NC 28202	1-800-777-9898
GAS	PIEDMONT NATURAL GAS	4720 PIEDMONT ROW DR., CHARLOTTE, NC 28210	1-800-752-7504

**PCCO SUMMARY**

As taken from sheet C502 of site plans by Stewart Engineering, Inc. for Beaver Farms, dated 5/10/13

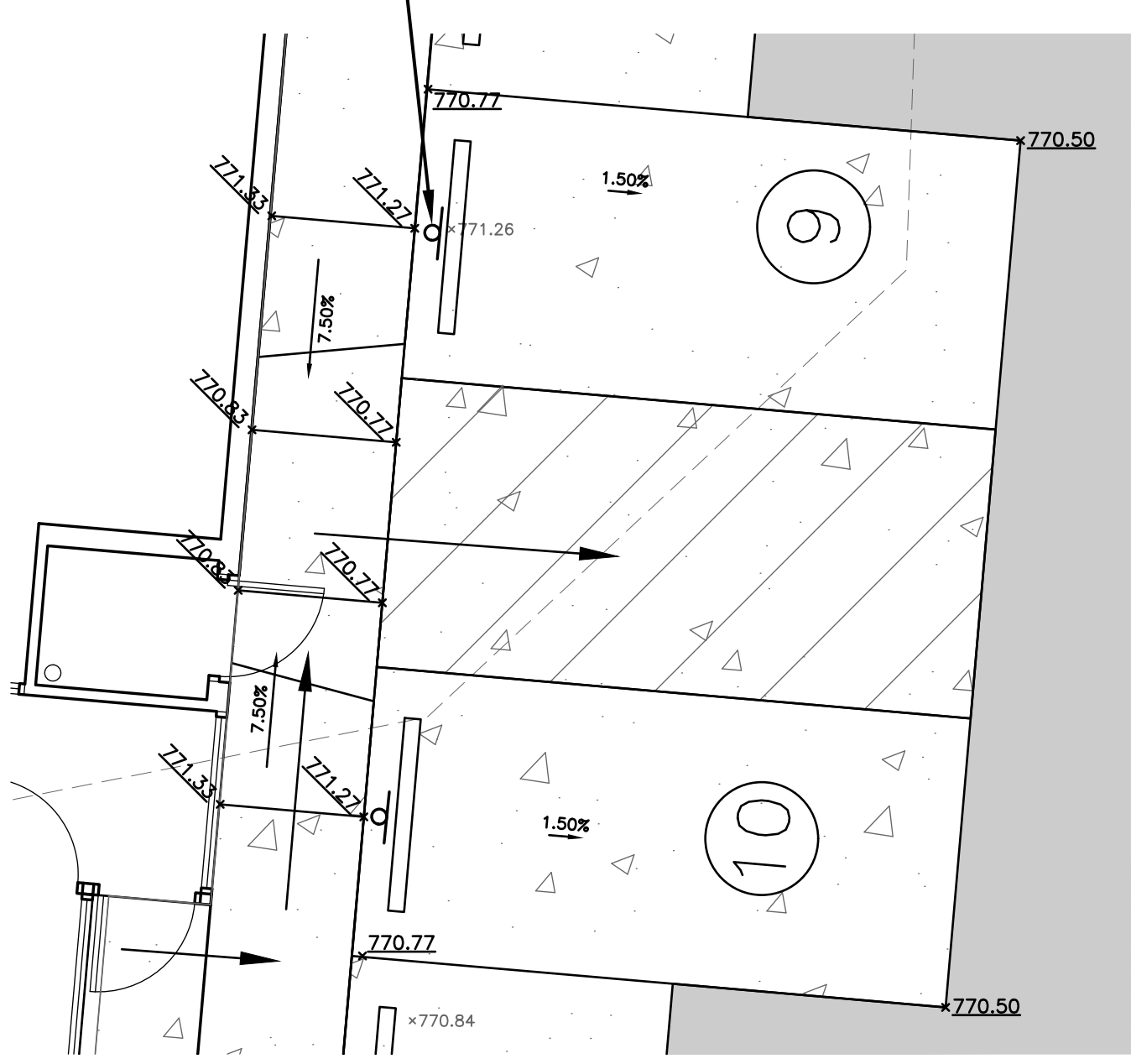
Original Parcel ID Number(s):	11123301 and 11123303
Development Type:	Commercial
Subject to PCCO? Y/N	N
If NO, why?	Zoning Ordinance Detention Only
Watershed:	Yadkin
Disturbed Area (ac):	13.7
Site Area (ac):	16.23
DA#1	
DA#2	
Total on-site Drainage Area (ac):	16.23
Existing Built-upon-area (SF):	0
Existing BUA to be removed (SF):	0
Existing BUA to remain (SF):	0
Proposed New BUA (SF):	390,123
Proposed % BUA:	55%
Density (High / Low)	NA
Total Post-Project BUA for site:	390,123
Development or Redevelopment?	Development
Natural Area Required (ac):	0
Natural Area provided, total (ac):	0
Undisturbed Treed Natural Area Preserved (ac):	0
Total stream buffer protected on-site (ac):	no streams on-site
Transit Station Area? Y/N	N
Distressed Business District? Y/N	N
Mitigation Type (if applicable)	N/A
Natural Area mitigation? Y/N	N
Buffer Mitigation? Y/N	N
Total Phosphorous Mitigation? Y/N	N

- SURVEY LEGEND**
- PROPERTY LINE (UNSURVEYED)
  - RIGHT OF WAY
  - IFP
  - IPS
  - BG
  - \*781.99
  - SPOTGRADE
  - MAJOR CONTOUR
  - MINOR CONTOUR
  - FENCE
  - OVERHEAD POWER LINE
  - UNDERGROUND POWER LINE
  - PP
  - LP
  - SS
  - STORM DRAIN PIPE
  - CATCH BASIN

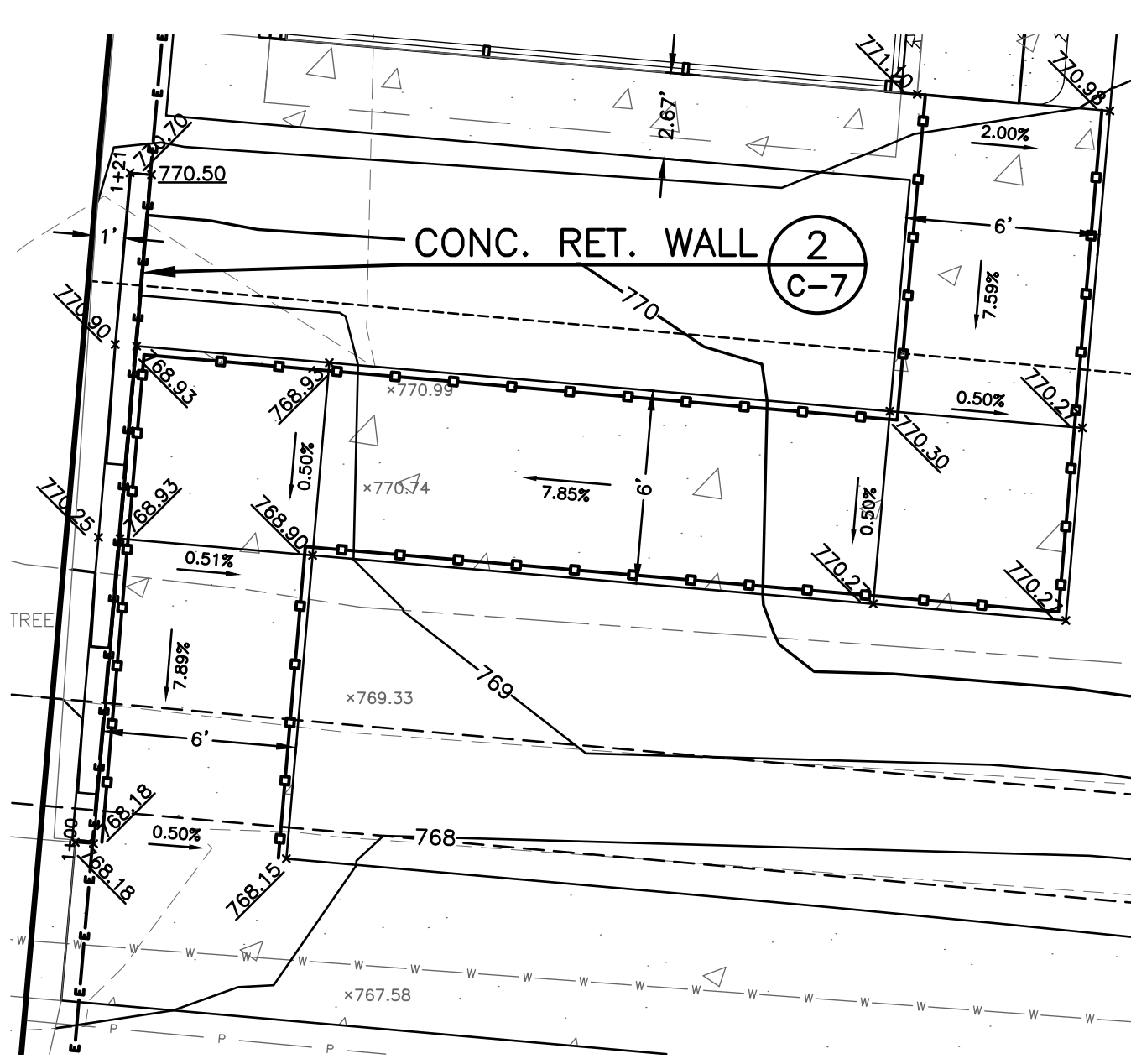
- PROPOSED LEGEND**
- CONCRETE CURB & GUTTER
  - STORM DRAINAGE PIPE
  - CATCH BASIN
  - CLEANOUT
  - MINOR CONTOUR
  - MAJOR CONTOUR
  - SPOTGRADE
  - SANITARY SEWER LINE
  - S.S. LINE (FROM KITCHEN)
  - WATER LINE
  - BOLLARD
  - STREET TREE
  - BUILDING SETBACK
  - LIGHT DUTY PAVEMENT
  - CONCRETE SIDEWALK/DRIVEWAY
  - TREE PROTECTION

**7 TREE PROTECTION**  
 C-7

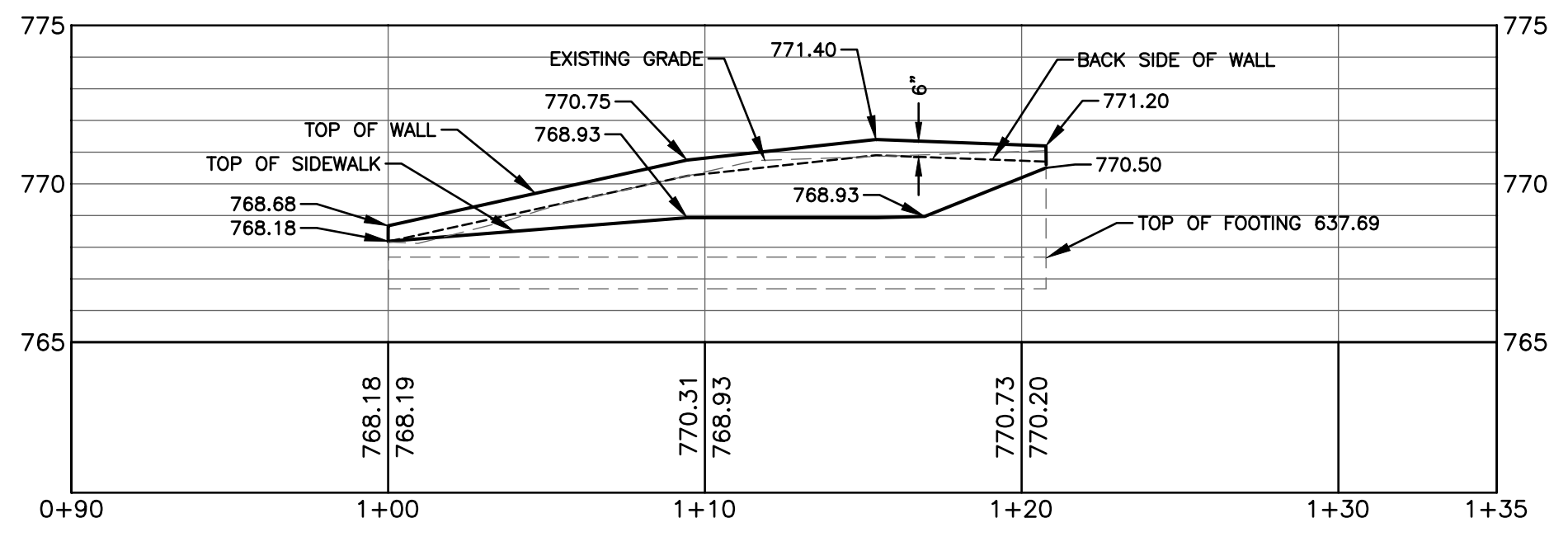
**HANDICAP SIGN(2)**  
 7  
 C-5



**INSET B**  
 1"=5'



**RAMP PLAN**



**WALL PROFILE**  
**INSET A**  
 1"=5'

**6 GREASE TRAP**  
 C-5

**UNDERGROUND 3 PHASE POWER SERVICE TO BUILDING(208/120), WAFFLE HOUSE TO INSTALL 3" CONDUIT FROM METER BASE TO SERVICE POLE SHOWN ON PLANS. DUKE ENERGY TO PULL 4 WIRE SERVICE FROM POLE TO METER. CALL CHAD HAGER WITH DUKE ENERGY (704-582-8064) WHEN READY.**

**GAS METER LOCATION (GAS COMPANY TO PROVIDE METER & SERVICE TO METER LOCATION). GAS COMPANY TO OBTAIN NCDOT ENCROACHMENT AGREEMENT AS NECESSARY. CONTACT KAREN BURTON, PIEDMONT NATURAL GAS (704-282-8470).**

**ADA TRAVEL PATH TO ACCESSIBLE SPACES. SEE INSET B.**

**BOJANGLE'S SIGN ON GRADE (3.9' HIGH x 11.02' WIDE)**

**SEE INSET A FOR RAMP AND WALL ELEVATIONS**

**20'-1/2" HDPE WATER SERVICE. COORDINATE INSTALLATION OF 1/2" WATER METER WITH CHARLOTTE WATER.**

**CONTRACTOR TO VERIFY DEPTH OF EXISTING SERVICE PRIOR TO CONSTRUCTION**

**SEWER SERVICE PROFILES**  
 C-7

**CATCH BASIN(TYP.)**  
 C-6

**62'-1/2" HDPE WATER SERVICE. REDUCED PRESSURE PRINCIPLE ASSEMBLY(1 1/2")**  
 C-6

**1 1/2" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY INSTALLED ABOVE-GROUND WITHIN INSULATED ENCLOSURE PER CLT WATER REQUIREMENTS. ENCLOSURE TO INCLUDE DRAIN PORT(S) FOR DISCHARGE WATER PER CLT WATER REQUIREMENTS. SEE DETAIL 2 ON SHEET C-6**

**CONTROL POINT #2**  
 N: 540329.7939  
 E: 1513015.3841  
 ELEV: 763.65

**JUNCTION BOX**  
 C-7

**STORM DRAINAGE PROFILE**  
 C-7

**INLET PROTECTION(TYP.)**  
 C-4

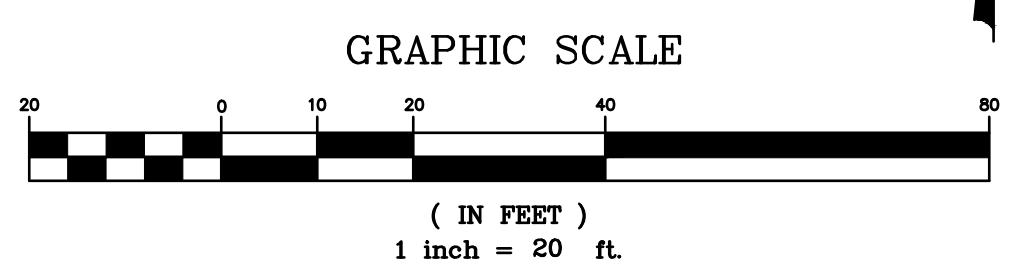
**STORM DRAINAGE SCHEDULE**

Structure	In	In	In	Out	Pipe Out	Rim
CB4				765.52	54 LF- 15" HDPE @ 1.00%	768.80
CB3	764.98			764.48	102 LF- 15" HDPE @ 2.19%	769.58
JB2	762.25			761.75	66 LF- 15" HDPE @ 1.00%	765.60
CB1	761.09					

NOTE: ALL STORM DRAIN PIPE TO BE HDPE SOILTIGHT PIPE (ADS N-12 ST IB)

**PROPERTY OWNER**  
 WOODLAND BEAVER FARMS, LLC.  
 C/O ERWIN CAPITAL, LLC  
 907 HUNTINGTON PARK DR.  
 CHARLOTTE, NC 28211

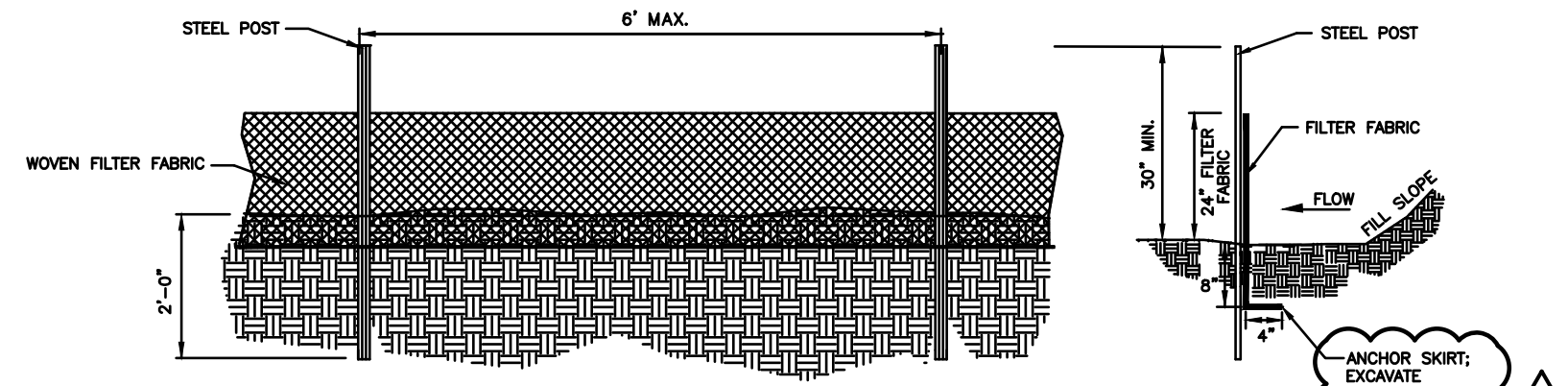
**APPLICANT**  
 WAFFLE HOUSE, INC.  
 5986 FINANCIAL DR.  
 NORCROSS, GA 30071  
 CONTACT: DENNY MUYRES  
 PH: 770-729-5868



**WAFFLE HOUSE, INC.**  
 APPROVALS

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_



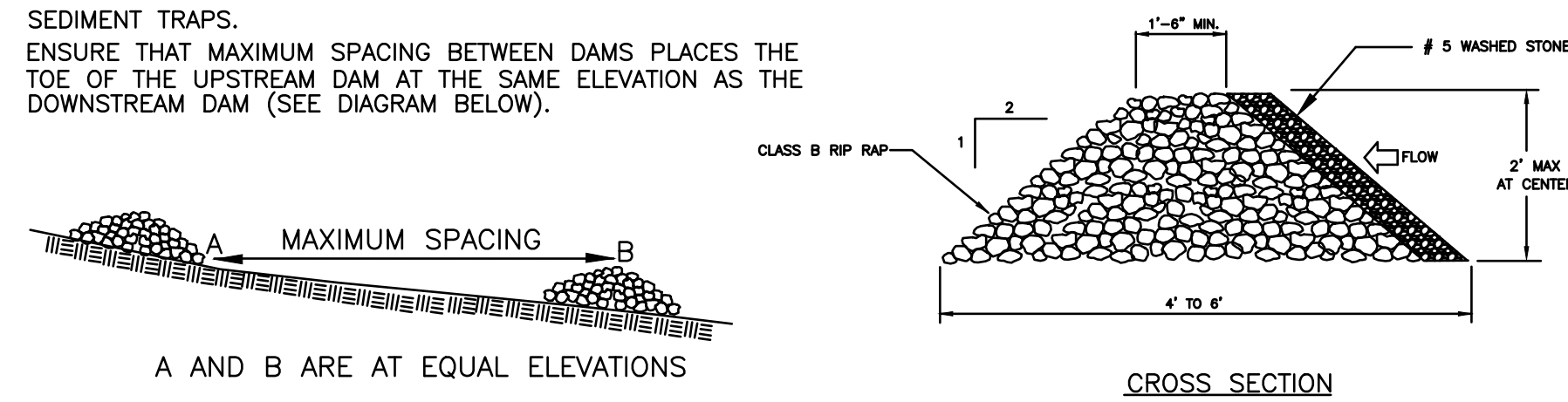


- GENERAL NOTES:**
- WOVEN FILTER FABRIC BE USED WHERE SILT FENCE IS TO REMAIN FOR A PERIOD OF MORE THAN 30 DAYS.
  - STEEL POSTS SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
  - TURN SILT FENCE UP SLOPE AT ENDS.
  - ORANGE SAFETY FENCE IS REQUIRED AT BACK OF SILT FENCE WHEN GRADING IS ADJACENT TO SWIM BUFFERS, STREAMS OR WETLANDS (REFER TO SWIM BUFFER GUIDELINES). THE COLOR ORANGE IS RESERVED FOR VISUAL IDENTIFICATION OF ENVIRONMENTALLY SENSITIVE AREAS.
  - DRAINAGE AREA CAN NOT BE GREATER THAN 1/4 ACRE PER 100 FT OF FENCE.
  - SLOPE LENGTHS CAN NOT EXCEED CRITERIA SHOWN IN TABLE 6.62A NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.
  - DO NOT INSTALL SEDIMENT FENCE ACROSS STREAMS, DITCHES, WATERWAYS OR OTHER AREAS OF CONCENTRATED FLOW.
- MAINTENANCE NOTES:**
- FILTER BARRIERS SHALL BE INSPECTED BY THE FINANCIALLY RESPONSIBLE PARTY OR HIS AGENT IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS NEEDED SHALL BE MADE IMMEDIATELY.
  - SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
  - SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN DEPOSITS REACH APPROX. HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS REMOVED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

**1 SILT FENCE**  
C-4 CITY OF CHARLOTTE LAND DEVELOPMENT STANDARD 30.06A

SCALE: NONE

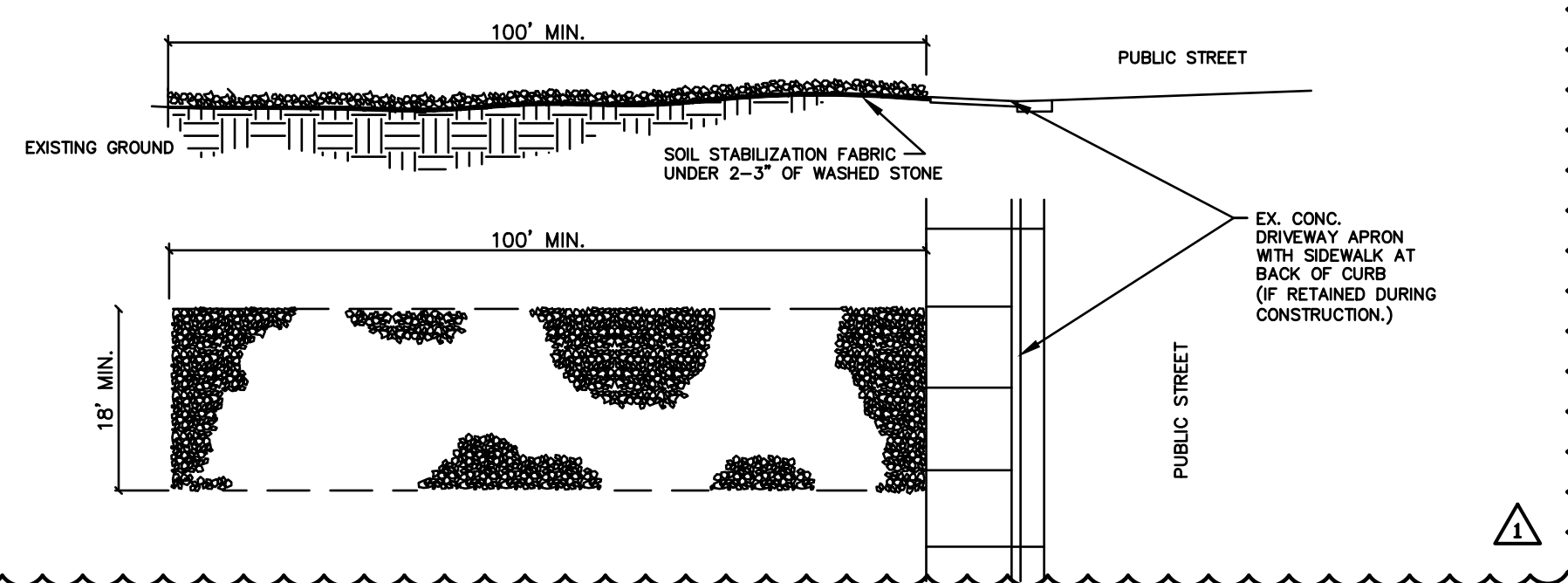
- GENERAL NOTES:**
- RIPRAP SIZE TO BE DESIGNED BY ENGINEER.
  - CHECK DAMS MAY BE USED IN SLOPING DITCHES OR CHANNELS TO SLOW VELOCITY OR TO CREATE SEDIMENT TRAPS.
  - ENSURE THAT MAXIMUM SPACING BETWEEN DAMS PLACES THE TOE OF THE UPSTREAM DAM AT THE SAME ELEVATION AS THE DOWNSTREAM DAM (SEE DIAGRAM BELOW).



**2 ROCK CHECK DAM**  
C-4 CITY OF CHARLOTTE LAND DEVELOPMENT STANDARD 30.10

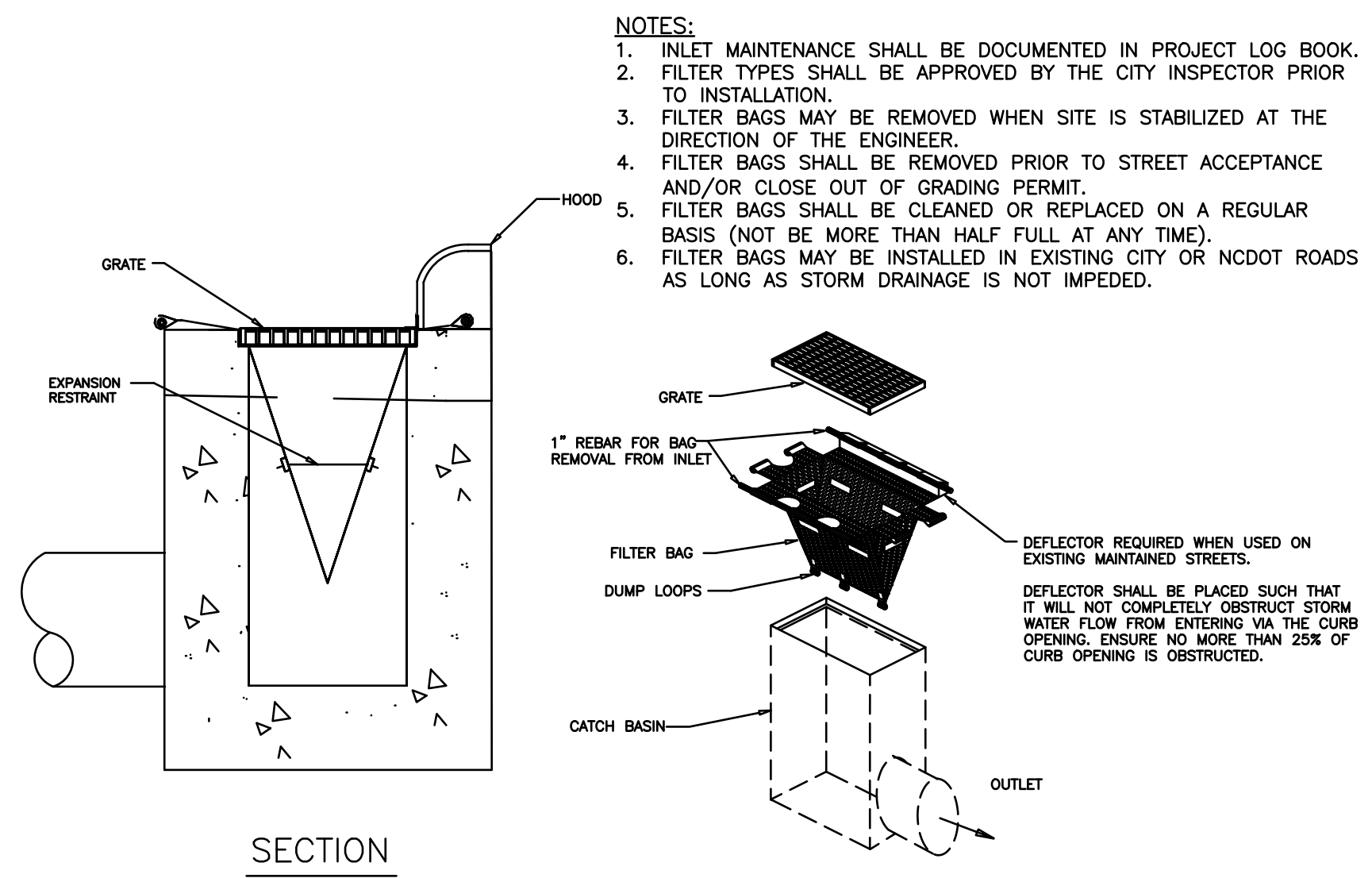
SCALE: NONE

- NOTES:**
- A STABILIZED ENTRANCE PAD OF 2'-3" OF WASHED STONE AND/OR RAILROAD BALLAST SHALL BE LOCATED WHERE TRAFFIC WILL ENTER OR LEAVE THE CONSTRUCTION SITE ONTO A PUBLIC STREET.
  - FILTER FABRIC OR COMPACTED CRUSHER RUN STONE SHALL BE USED AS A BASE FOR THE CONSTRUCTION ENTRANCE.
  - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS OR EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS WARRANT AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  - ANY SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC STREETS MUST BE REMOVED IMMEDIATELY. ANY AGGREGATE TRACKED INTO THE ROADWAY MUST BE SWEEPED BACK ON SITE ON A NIGHTLY BASIS.
  - WHEN APPROPRIATE, WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN SEE STD. NO. 30.11B.
  - CDOT MAY REQUIRE A STANDARD COMMERCIAL DRIVEWAY (STD. 10.24 & 10.25) TO ACCESS THE CONSTRUCTION SITE IF THE DRIVEWAY IS ON A THOROUGHFARE, OR ON ANY STREET WITH AN EXISTING SIDEWALK TO REMAIN OPEN DURING CONSTRUCTION.
  - FOLLOW WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) FOR SIDEWALK CLOSURE OR DETOUR/DIVERSION.



**3 STABILIZED CONSTRUCTION ENTRANCE**  
C-4 CITY OF CHARLOTTE LAND DEVELOPMENT STANDARD 30.11A

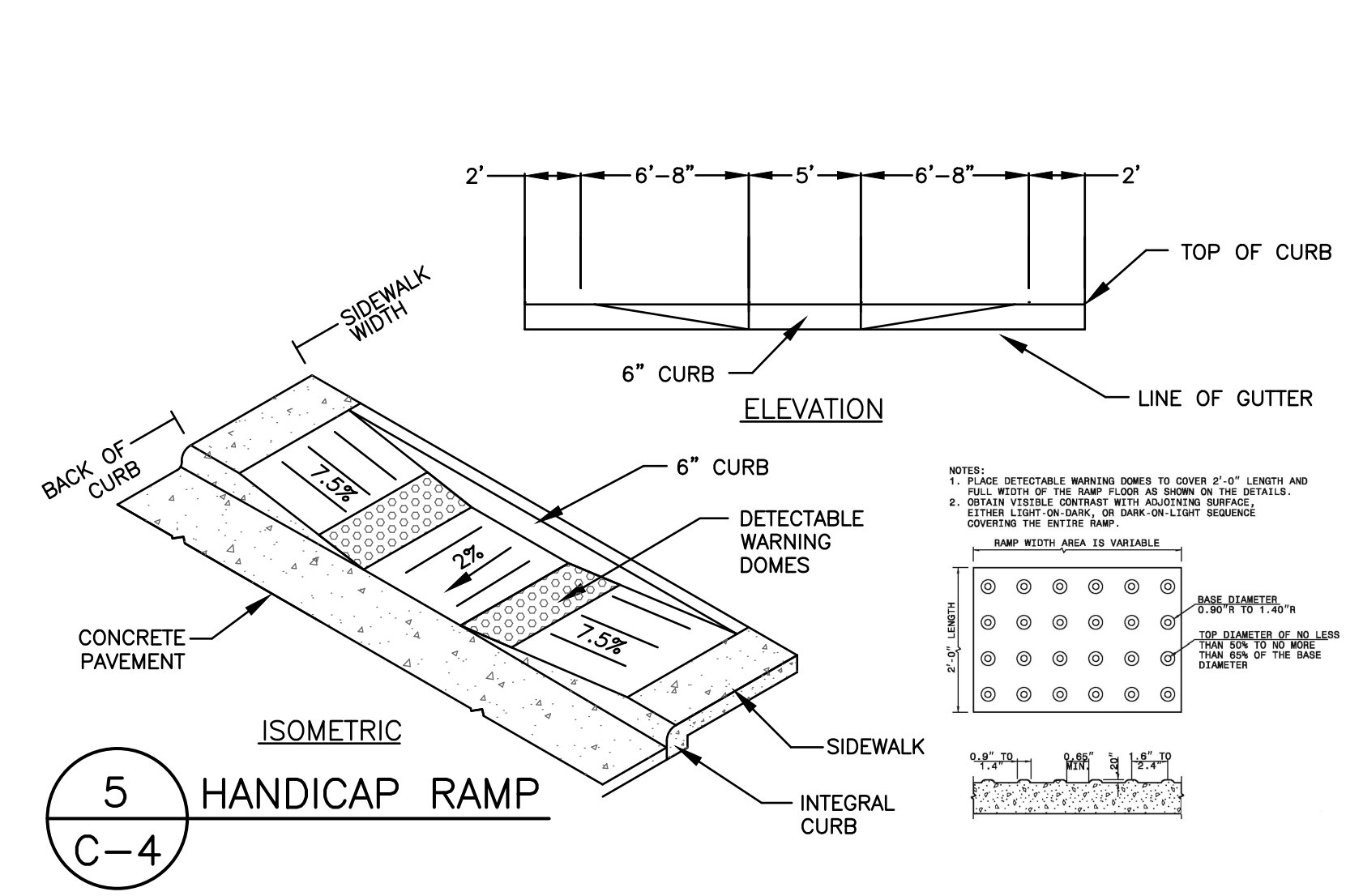
SCALE: NONE



- NOTES:**
- INLET MAINTENANCE SHALL BE DOCUMENTED IN PROJECT LOG BOOK.
  - FILTER TYPES SHALL BE APPROVED BY THE CITY INSPECTOR PRIOR TO INSTALLATION.
  - FILTER BAGS MAY BE REMOVED WHEN SITE IS STABILIZED AT THE DIRECTION OF THE ENGINEER.
  - FILTER BAGS SHALL BE REMOVED PRIOR TO STREET ACCEPTANCE AND/OR CLOSE OUT OF GRADING PERMIT.
  - FILTER BAGS SHALL BE CLEANED OR REPLACED ON A REGULAR BASIS (NOT BE MORE THAN HALF FULL AT ANY TIME).
  - FILTER BAGS MAY BE INSTALLED IN EXISTING CITY OR NCDOT ROADS AS LONG AS STORM DRAINAGE IS NOT IMPEDED.

**4 CATCH BASIN INLET PROTECTION**  
C-4 CITY OF CHARLOTTE LAND DEVELOPMENT STANDARD 30.15

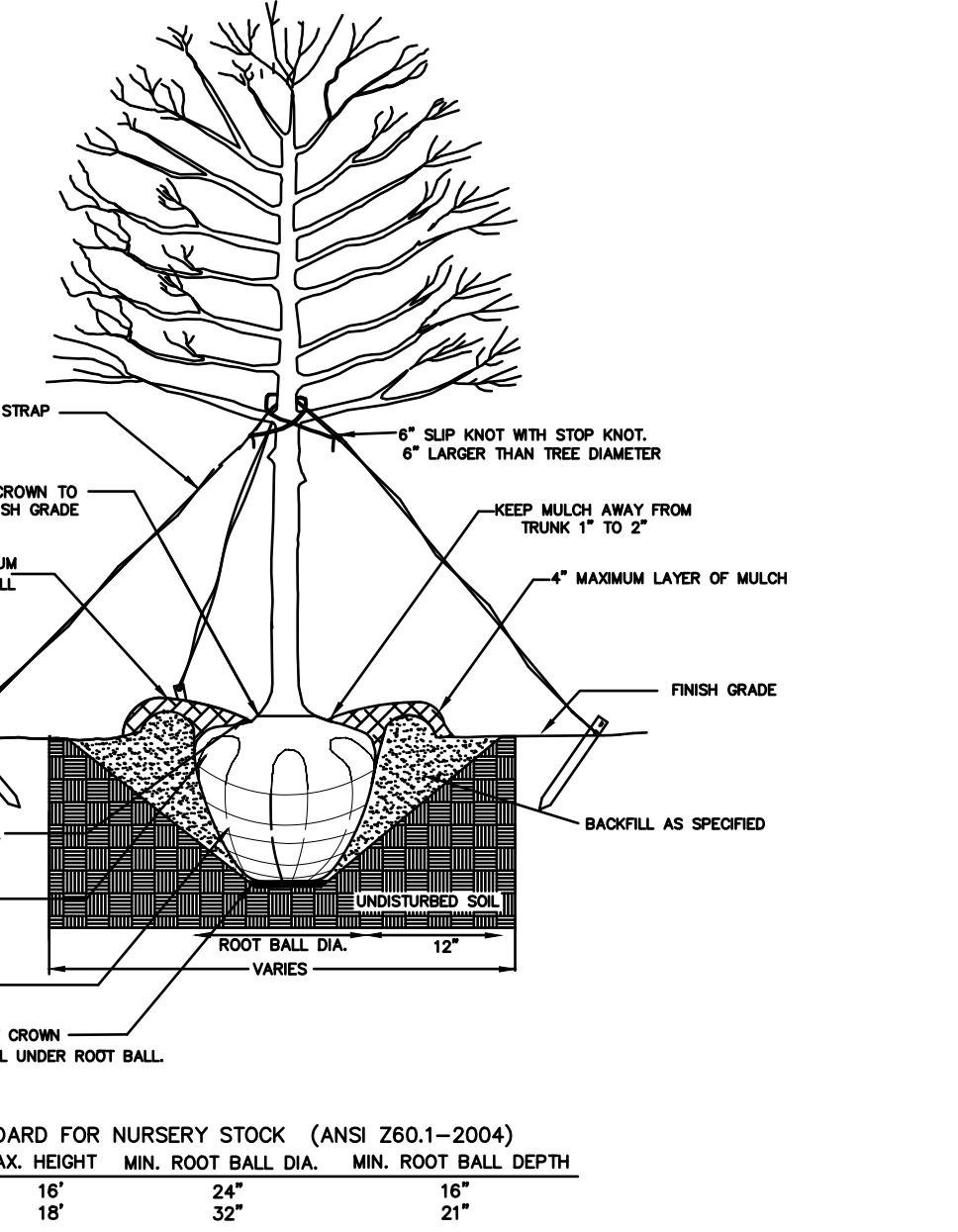
SCALE: NONE



**5 HANDICAP RAMP**  
C-4

SCALE: NONE

- NOTES:**
- REMOVE WIRE AND NYLON TWINE FROM BALL AND CANOPY.
  - SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
  - STAKING IS REQUIRED FOR ALL TREES IN R.O.W. OR UPON REQUEST OF ARBORIST.
  - REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
  - RESEED UNMULCHED, DISTURBED AREAS.



**6 TREE PLANTING**  
C-4 CITY OF CHARLOTTE LAND DEVELOPMENT STANDARD 40.01

SCALE: NONE

**FOR LATE WINTER AND EARLY SPRING:**

**SOIL AMENDMENTS:**  
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER

**SEEDING MIXTURE:**  
RYE (GRAIN) - 120 LB/ACRE  
ANNUAL LESPEDEZA (KOBE) - 50 LB/ACRE  
(OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT TO EXTEND BEYOND JUNE)

**MAINTENANCE:**  
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE

**SEEDING DATES:**  
JAN. 1 - MAY 1

**FOR SUMMER:**

**SOIL AMENDMENTS:**  
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER

**SEEDING MIXTURE:**  
GERMAN MILLET - 40 LB/ACRE  
(A SMALL-STEMMED SUDAGRASS MAY BE SUBSTITUTED AT A RATE OF 50 LB/ACRE)

**MAINTENANCE:**  
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE

**SEEDING DATES:**  
MAY 1 - AUG. 15

**FOR FALL:**

**SOIL AMENDMENTS:**  
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER

**SEEDING MIXTURE:**  
RYE (GRAIN) - 120 LB/ACRE

**MAINTENANCE:**  
REPAIR AND REFERTILIZE DAMAGED AREAS IMMEDIATELY. TOPDRESS WITH 50 LB/ACRE OF NITROGEN IN MARCH. IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50 LB/ACRE KOBE LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.

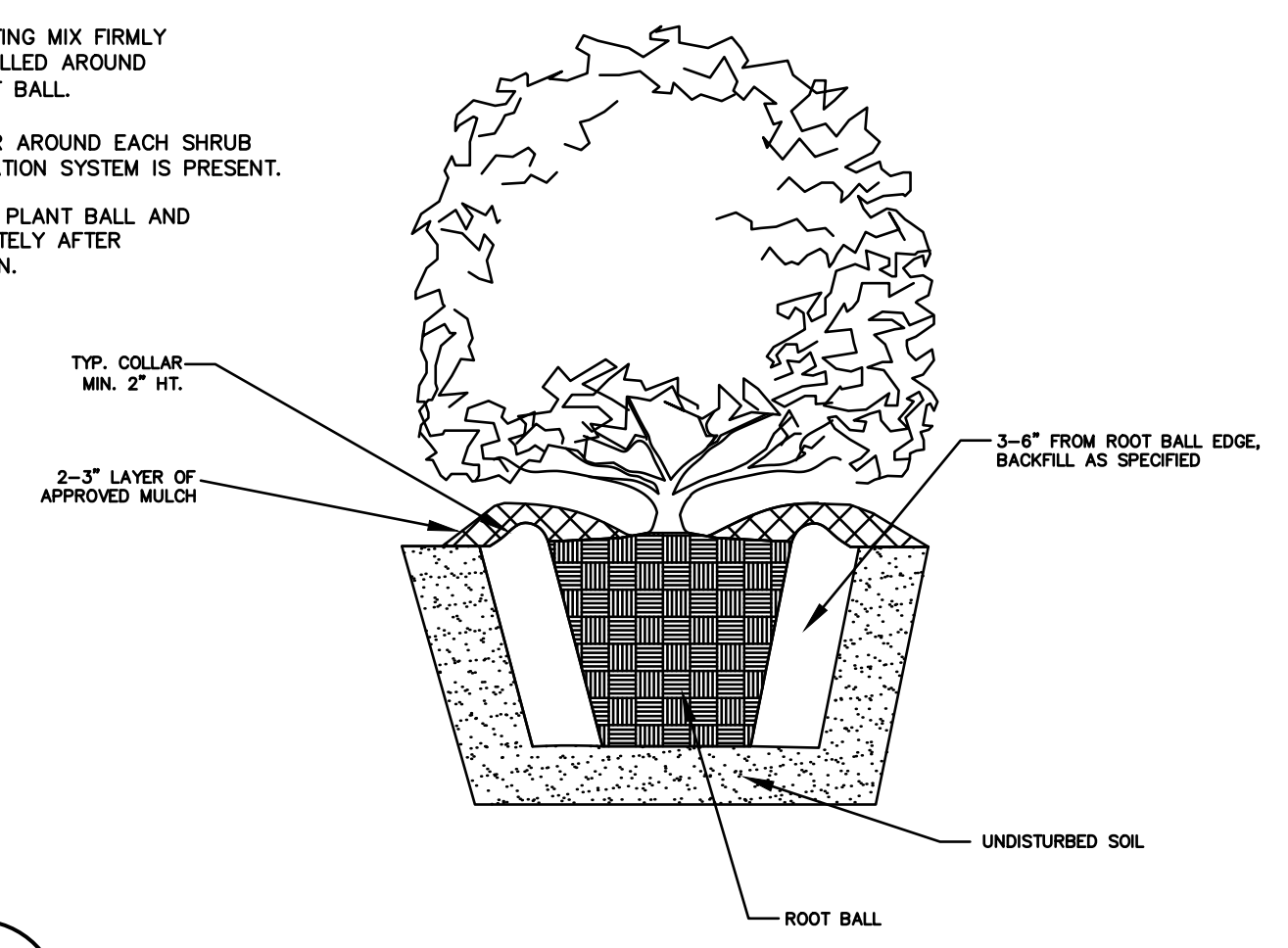
**SEEDING DATES:**  
AUG. 15 - DEC 30

FOR ADDITIONAL INFORMATION, REFER TO NCDENR EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL (ESCPDM), SECTION 6.10. FOR PERMANENT SEEDING SPECIFICATIONS, INCLUDING SEED BED PREP, SEASONAL LIMITATIONS FOR SEEDING OPERATIONS, THE KINDS OF GRADES OF FERTILIZERS, THE KINDS OF SEED, AND THE RATES OF APPLICATION OF LIMESTONE, FERTILIZER, AND SEED, REFER TO NCDENR ESCPDM SECTION 6.11 AND THE CHARLOTTE LANDSCAPE CONSTRUCTION STANDARDS SECTION 04200 SEEDING AND SODDING OF TURFGRASS.

**7 TEMPORARY SEEDING SCHEDULE**  
C-4 CITY OF CHARLOTTE LAND DEVELOPMENT STANDARD 30.17

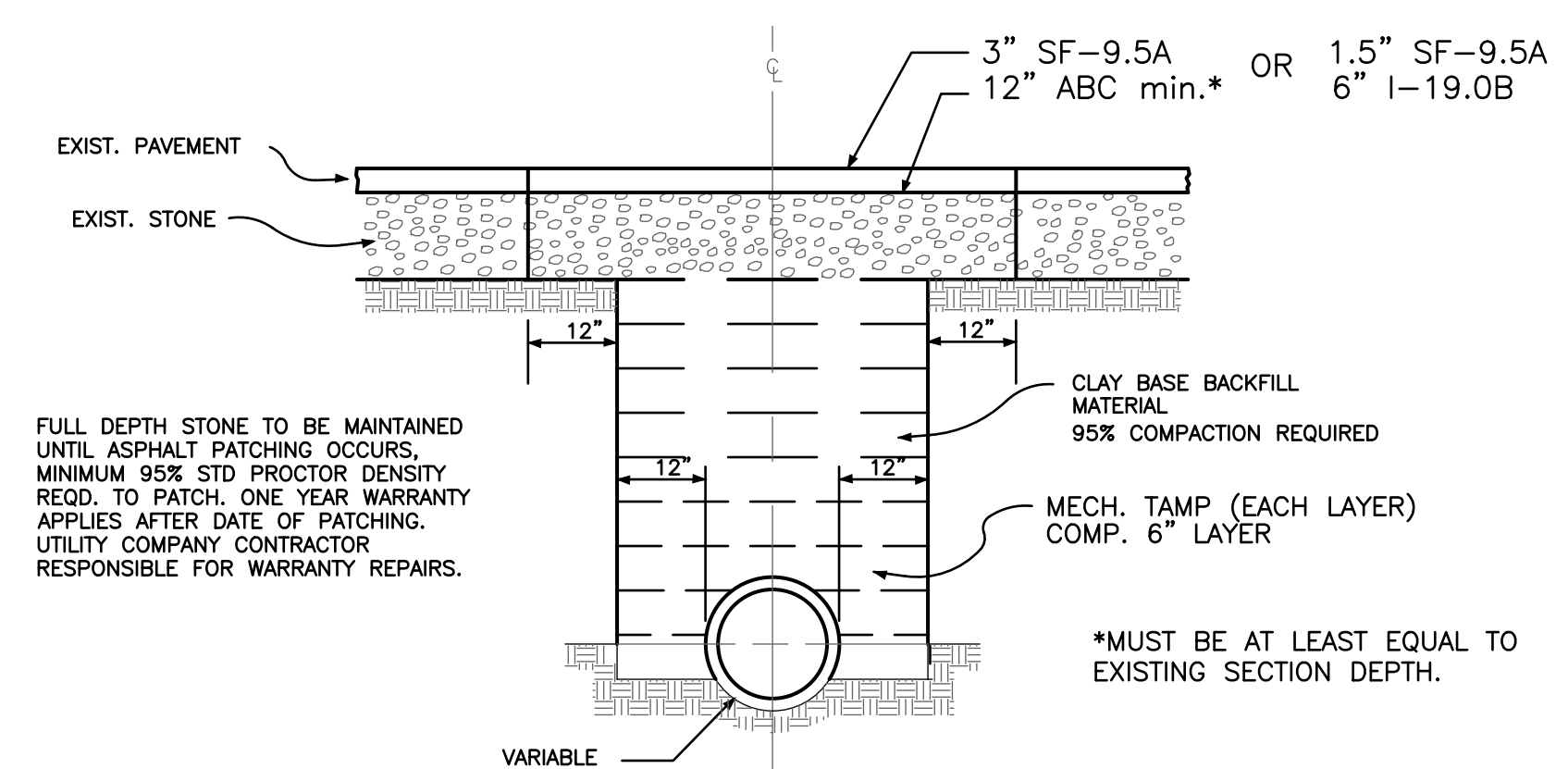
SCALE: NONE

- NOTES:**
- SCARIFY ROOT MASS OF CONTAINERIZED PLANT MATERIAL.
  - INSTALL CONTAINERIZED PLANTS AT FINISHED GRADE.
  - TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.
  - OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
  - SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.



**8 SHRUB PLANTING**  
C-4 CITY OF CHARLOTTE LAND DEVELOPMENT STANDARD 40.05B

SCALE: NONE



UTILITY CUTS ON CITY MAINTAINED STREETS SHOULD BE BACKFILLED WITH SOIL MATERIAL, AND ABC STONE, AND THESE MATERIALS SHOULD BE COMPACTED TO WITHIN 95% OF STANDARD PROCTOR. SOIL CUTS SHOULD BE MAINTAINED WITH STONE IN A SAFE AND DRIVEABLE CONDITION BY THE RESPONSIBLE UTILITY, FOR NOT MORE THAN TWO WEEKS, AFTER WHICH THE CUT SHOULD BE PATCHED WITH ASPHALT SURFACE MATERIAL.

**9 PAVEMENT REPAIR**  
C-4

SCALE: NONE

Waffle House, Inc. Approvals

SIGNATURE	DATE
SIGNATURE	DATE
SIGNATURE	DATE
SIGNATURE	DATE

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EST. 1962

PROJECT NO. 17004.01  
FILE NO. 4545-B  
SCALE: NONE  
DRAWN BY: MCW  
CHECKED BY: DDS

Waffle House, Inc.  
10910 WOODLAND BEAVER RD.  
MECKLENBURG CO., NORTH CAROLINA

DETAILS

DATE	BY	REVISION	COMMENT
8/17/17			PERMITTING SET

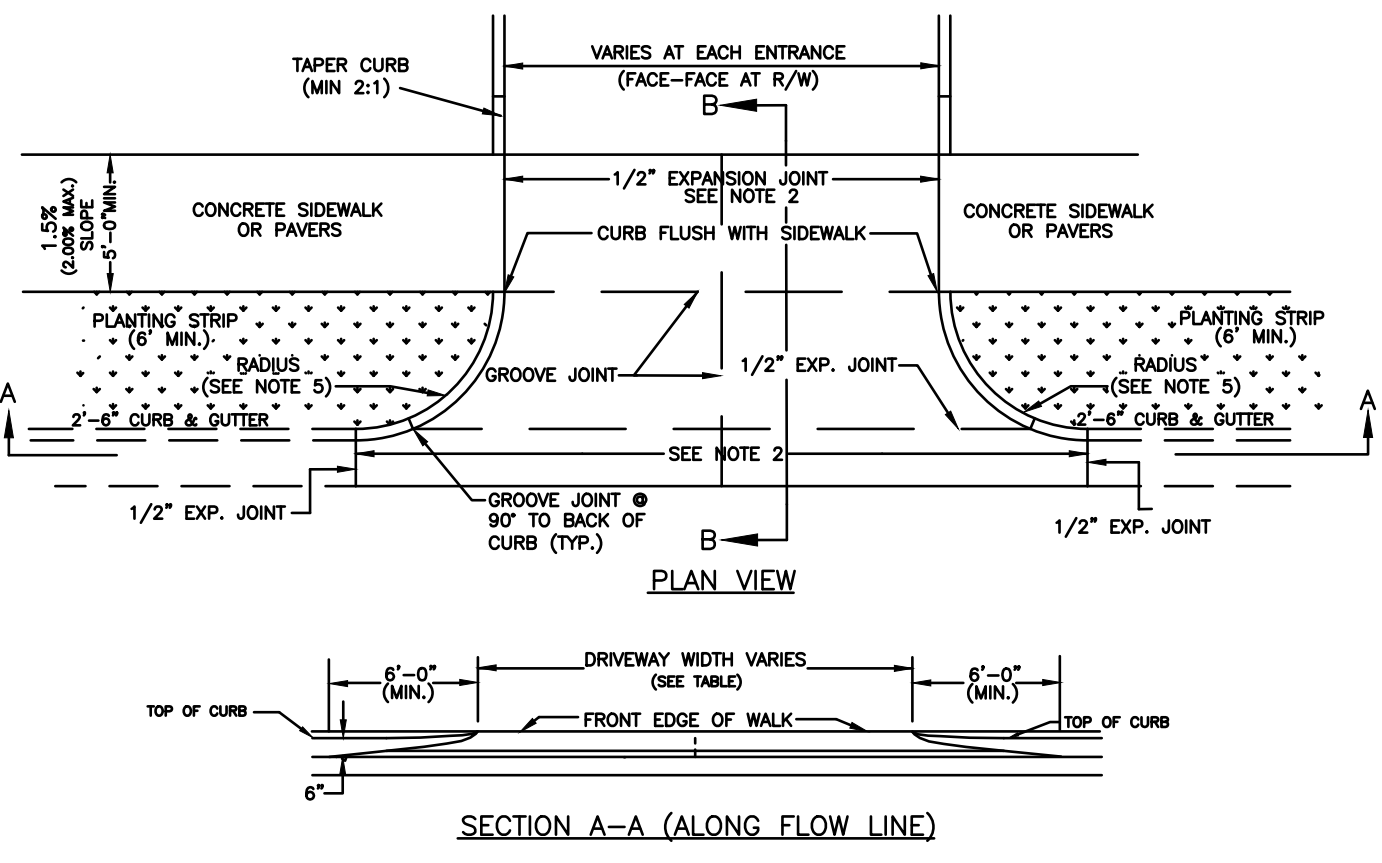
DATE: 8/17/17

SEAL 13037  
10/23/17

SHEET NO. C-4  
OF 8 SHEETS

R:\Projects\17004\Drawings\Latest\17004-BASE.dwg

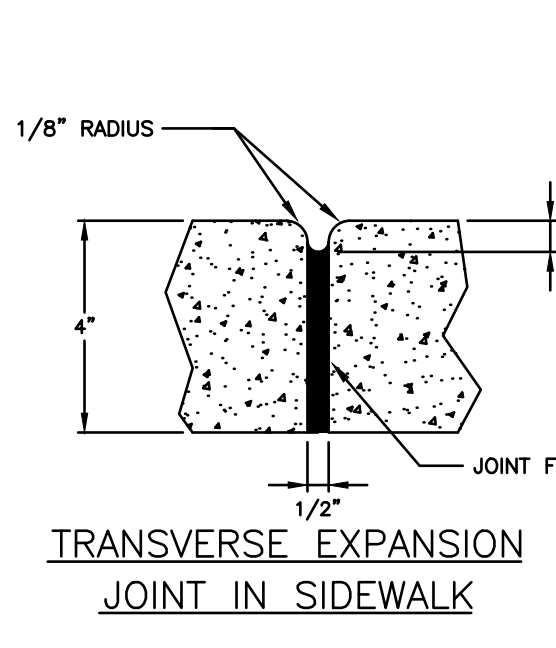
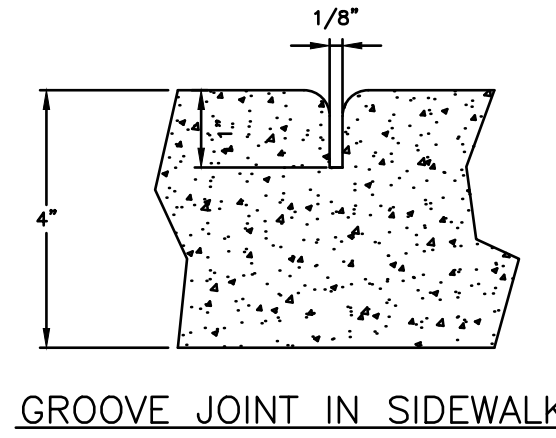
- NOTES:**
- ALL CONCRETE TO BE 3600 P.S.I. COMPRESSIVE STRENGTH.
  - AT ALL DRIVEWAYS, SIDEWALKS TO BE REMOVED TO THE NEAREST JOINT BEYOND NEW CONSTRUCTION OR CUT WITH A SAW AND REMOVED. SAW CUT OR JOINT TO BE PERPENDICULAR TO EDGE OF EXISTING PAVEMENT. SEE STD. NO. 10.17 FOR JOINT DETAIL. PAY LIMITS FOR WORK DONE UNDER CITY OF CHARLOTTE CONTRACTS ARE FROM EXPANSION JOINT TO EXPANSION JOINT, FROM LIP OF CURB TO BACK OF SIDEWALK.
  - ALL DRIVEWAYS MUST MEET THE CURRENT CITY DRIVEWAY REGULATIONS AND NC DOT REQUIREMENTS FOR SPACING, SIGHT DISTANCE, AND OFFSETS FROM PROPERTY LINES AND INTERSECTIONS.
  - ALGEBRAIC DIFFERENCE IN GRADE ("A") BETWEEN SLOPES SHALL BE 8% OR LESS.
  - RADI MUST BE MINIMUM 6 FEET OR THE WIDTH OF THE PLANTING STRIP, WHICHEVER IS GREATER. RADI GREATER THAN THESE MINIMUMS MAY BE REQUIRED BY CDOT ON A CASE-BY-CASE BASIS. FOR RADI GREATER THAN 6 FEET, THE RADI ARE TO CONTINUE AS A BAND AT GRADE THROUGH THE SIDEWALK.
  - PER NC IFC SECTION D103.2, FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE.
  - JOINTS USED IN DRIVEWAY MUST HAVE A THICKNESS OF 3 INCHES.
  - JOINT MATERIAL SHOULD BE PLACED FLUSH WITH CONCRETE.
  - THE DRIVEWAY MUST RISE 6" FROM THE GUTTER LINE TO PREVENT RUNOFF FROM ENTERING DRIVEWAY.



**DRIVEWAY DIMENSIONS**

OPERATION/RADIUS	MINIMUM	MAXIMUM
ONE-WAY WITH 12' FT. RADI	20'	30'
ONE-WAY WITH 15' FT. RADI	15'	25'
TWO-WAY WITH 6-12 FT. RADI	26'	50'
TWO-WAY WITH 15' FT. RADI	22'	40'

**1 MODIFIED TYPE II DRIVEWAY ENTRANCE**  
CITY OF CHARLOTTE LAND DEVELOPMENT STANDARD 10.25E  
SCALE: NONE



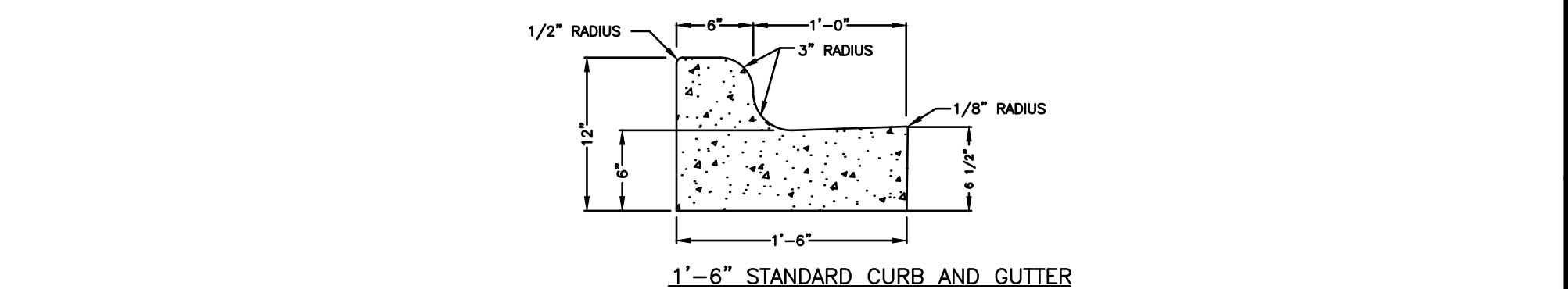
**GENERAL NOTES:**

- A GROOVE JOINT 1" DEEP WITH 1/8" RADI SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 45' INTERVALS NOT TO EXCEED 50' AND MATCHING EXPANSION/CONSTRUCTION JOINT IN ADJACENT CURB. A SEALED 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
- SIDEWALK AT DRIVEWAY ENTRANCES TO BE 6" THICK.
- WIDTH OF SIDEWALK ON THOROUGHFARE STREETS SHALL BE A MINIMUM OF 6'. WIDTH OF SIDEWALKS IN THE CENTRAL BUSINESS DISTRICT WILL BE DETERMINED BY THE CDOT.
- WIDTH OF SIDEWALKS ON NON-THOROUGHFARE STREETS SHALL BE BASED ON TYPICAL STREET SECTION, A MINIMUM OF 5'. SIDEWALK TO BE POURED TO END OF RADI AT INTERSECTING STREETS.
- CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI. IN 28 DAYS.
- ZONING CONDITIONS MAY REQUIRE ADDITIONAL WIDTH SIDEWALKS WHICH SHALL SUPERSEDE THESE STANDARD DIMENSIONS SHOWN.
- LIDS FOR JUNCTION BOXES AND UTILITY VAULTS SHALL BE NON-SKID AS SPECIFIED BY ENGINEER.
- JOINT MATERIALS SHALL LIMIT SHRINK/SWELL SO POST CONSTRUCTION INSTALLATION RESULTS IN A MAXIMUM OF 1/4" FROM FLUSH.

**EXAMPLE SIDEWALK CONSTRUCTION DIMENSIONS:**

WIDTH	RISE	CROSS-SLOPE
4'	1"	1.56%
5'	1"	1.67%
6'	1-1/4"	1.56%
8'	1-1/2"	1.56%

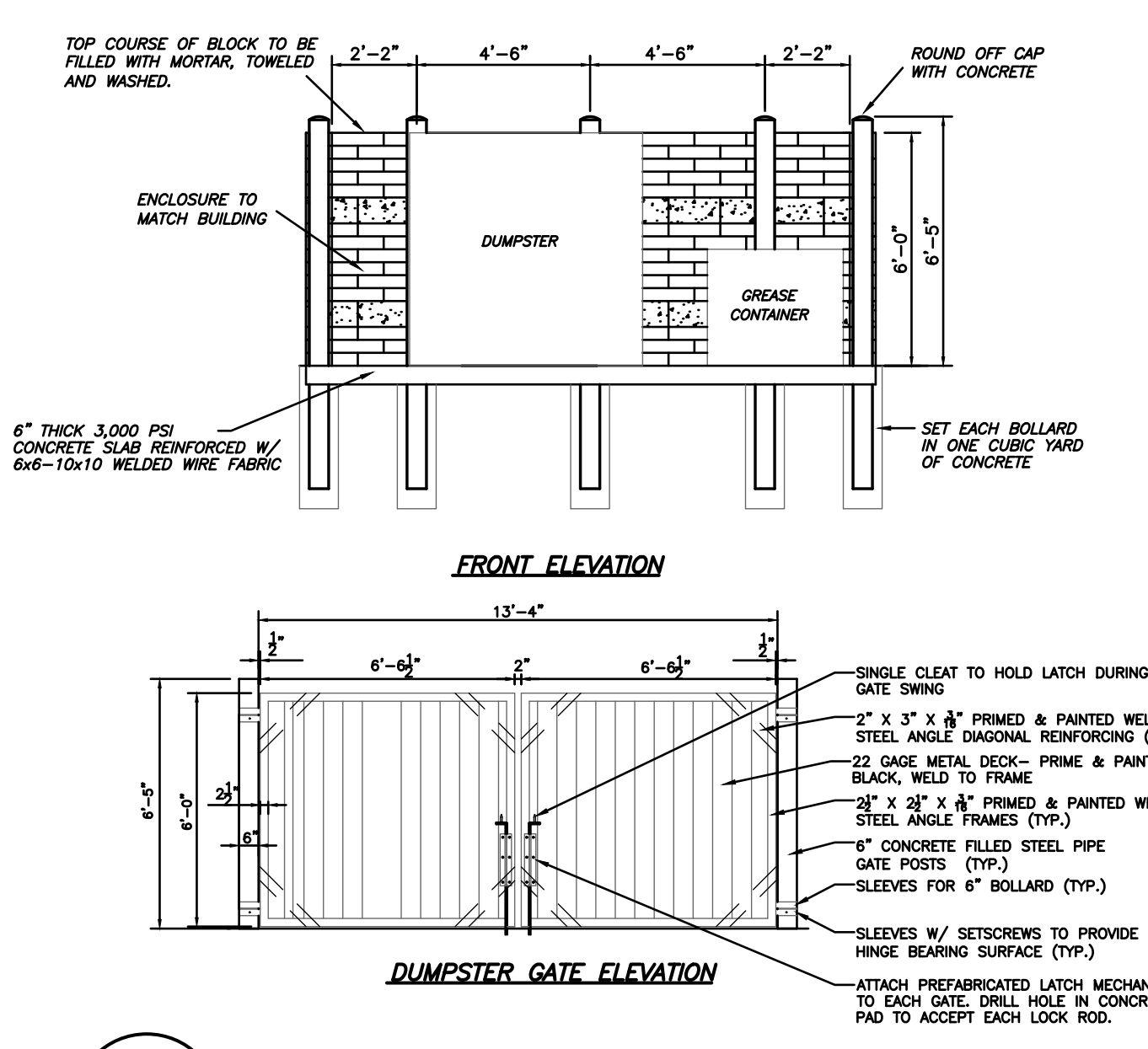
**2 CONCRETE SIDEWALK**  
CITY OF CHARLOTTE LAND DEVELOPMENT STANDARD 10.22  
SCALE: NONE



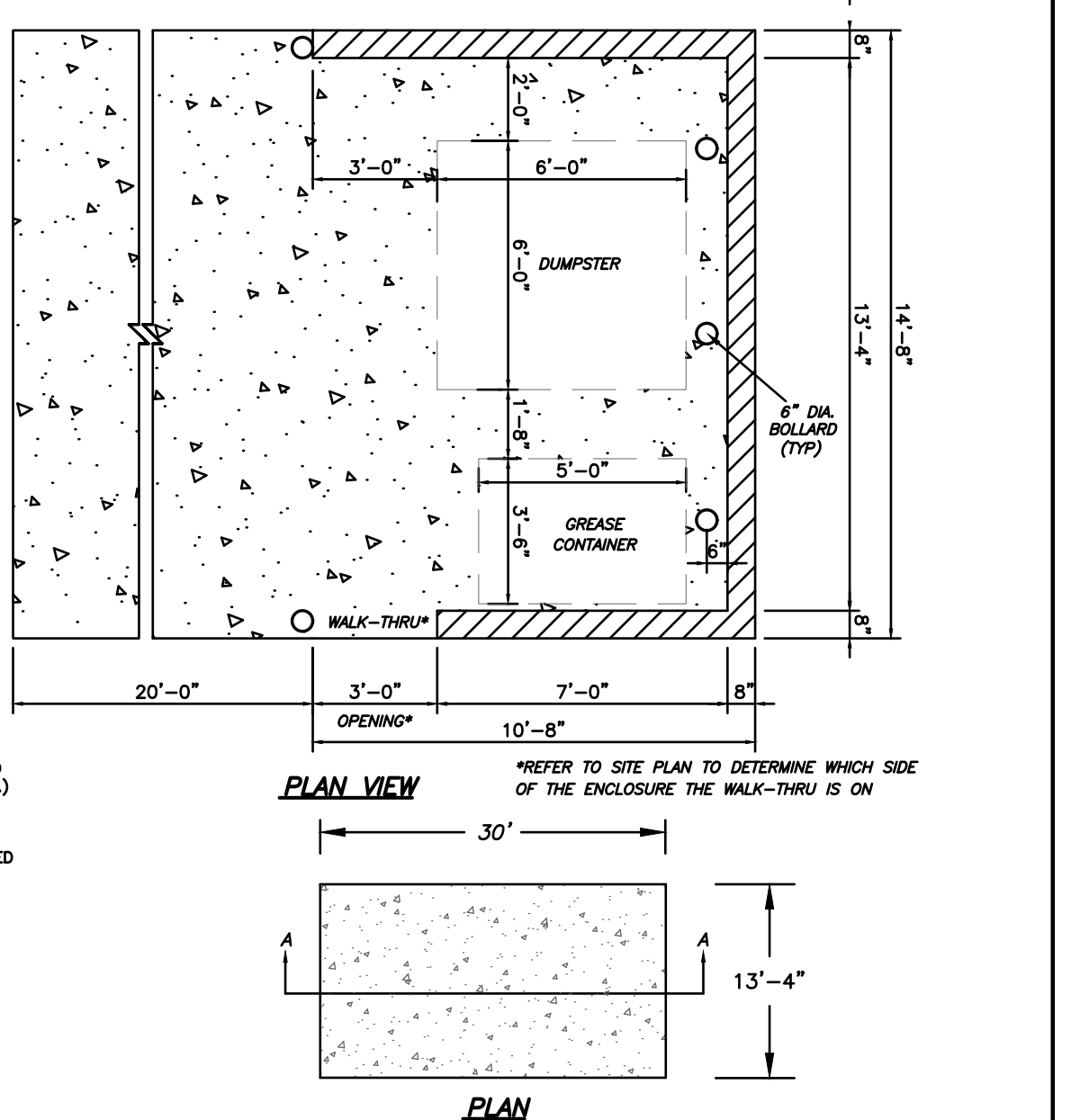
**3 18" CURB & GUTTER**  
C-5

**4 TYPICAL PAVEMENT SECTIONS**  
C-5

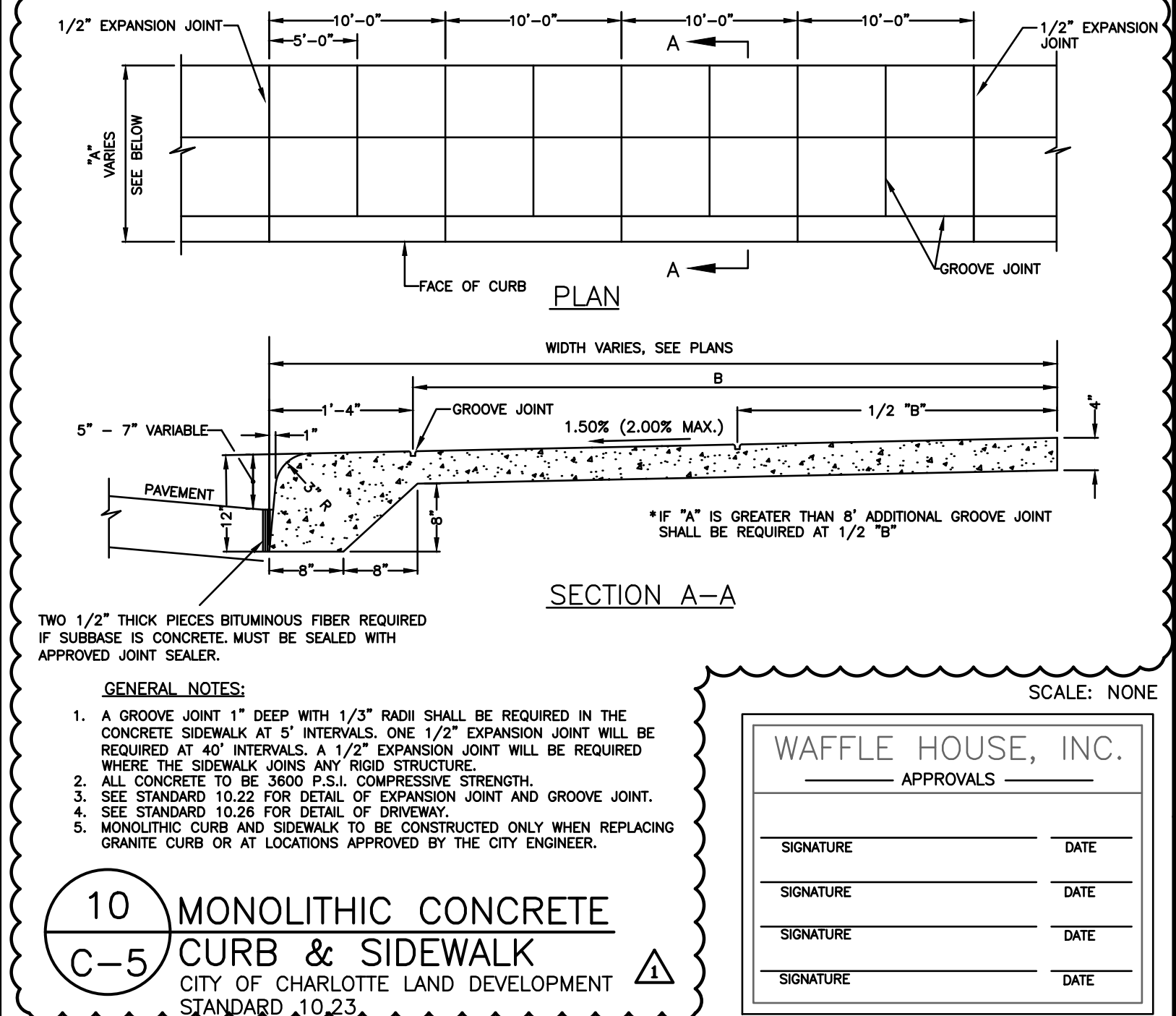
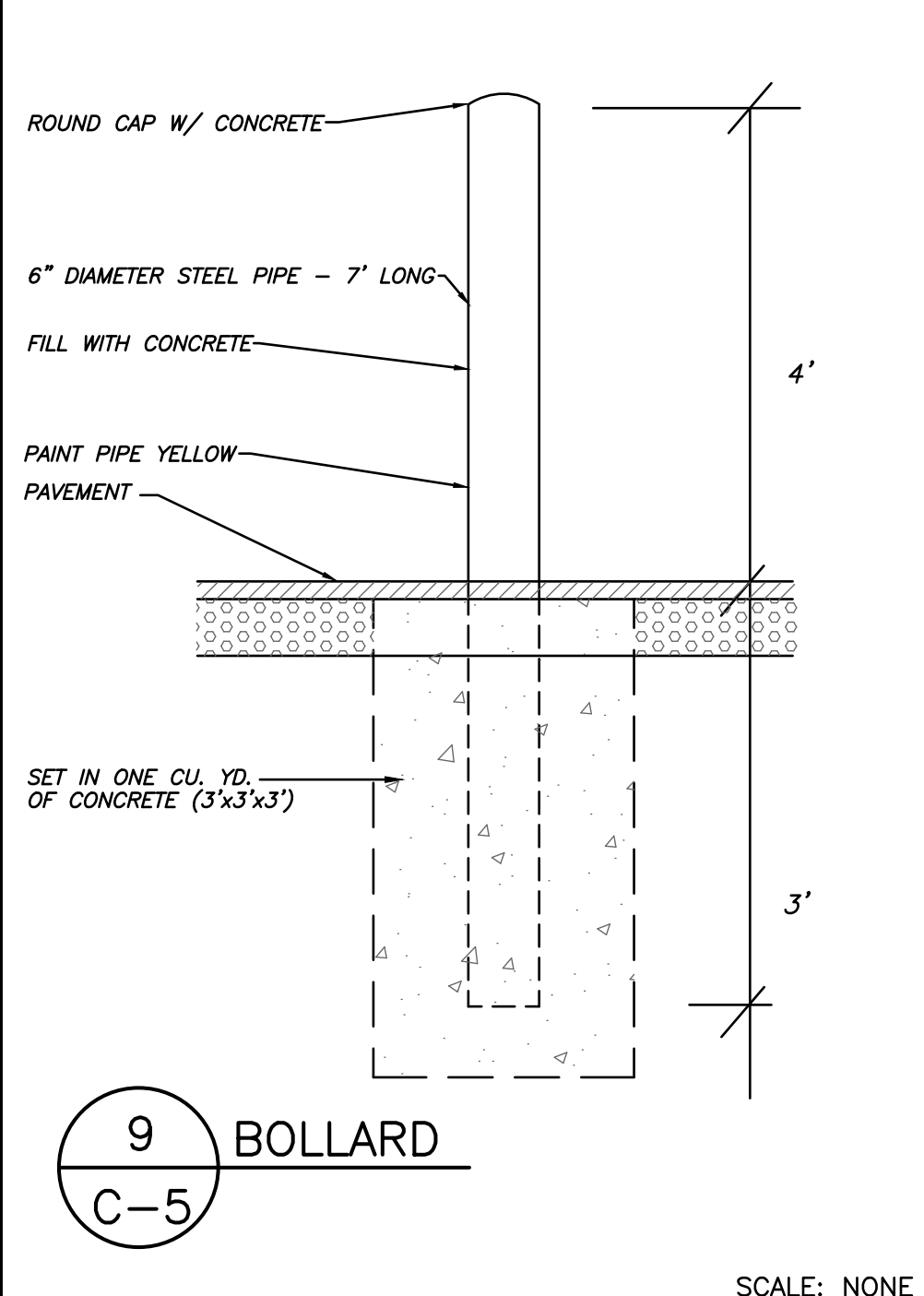
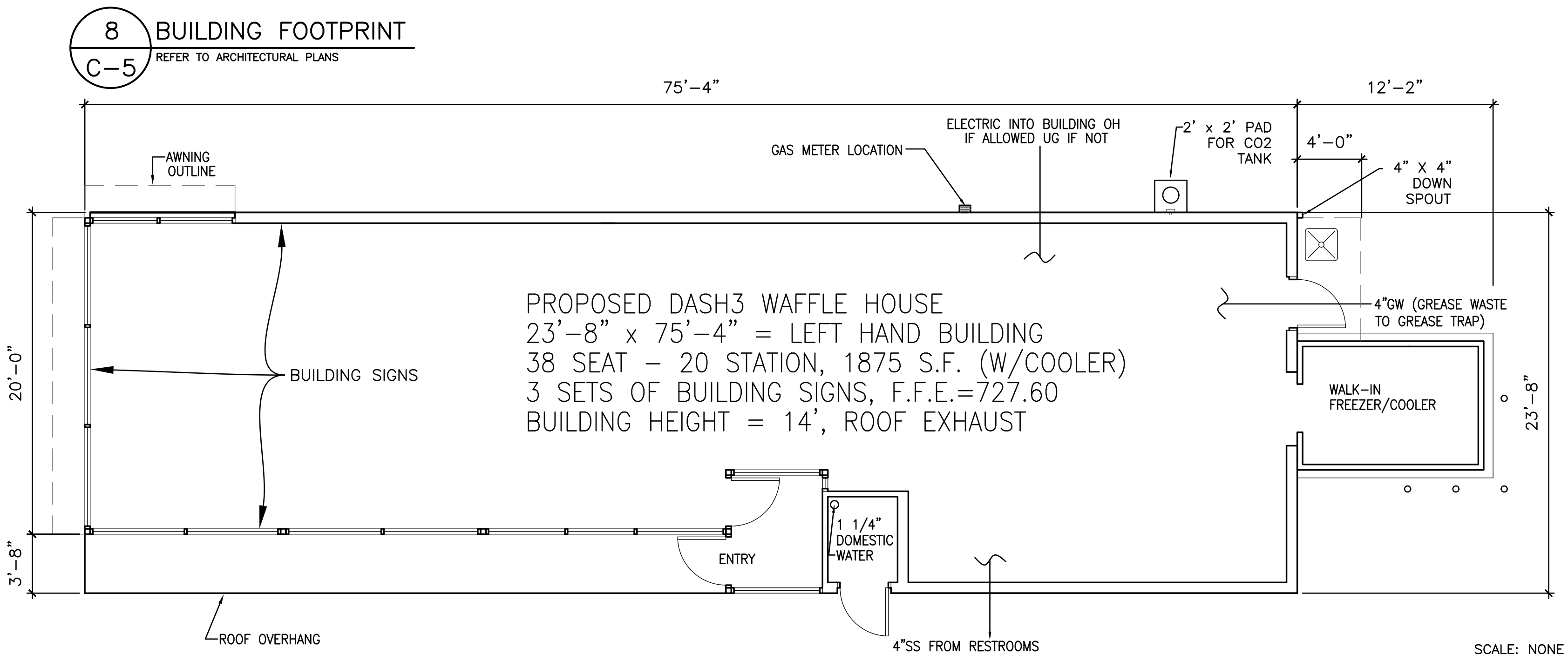
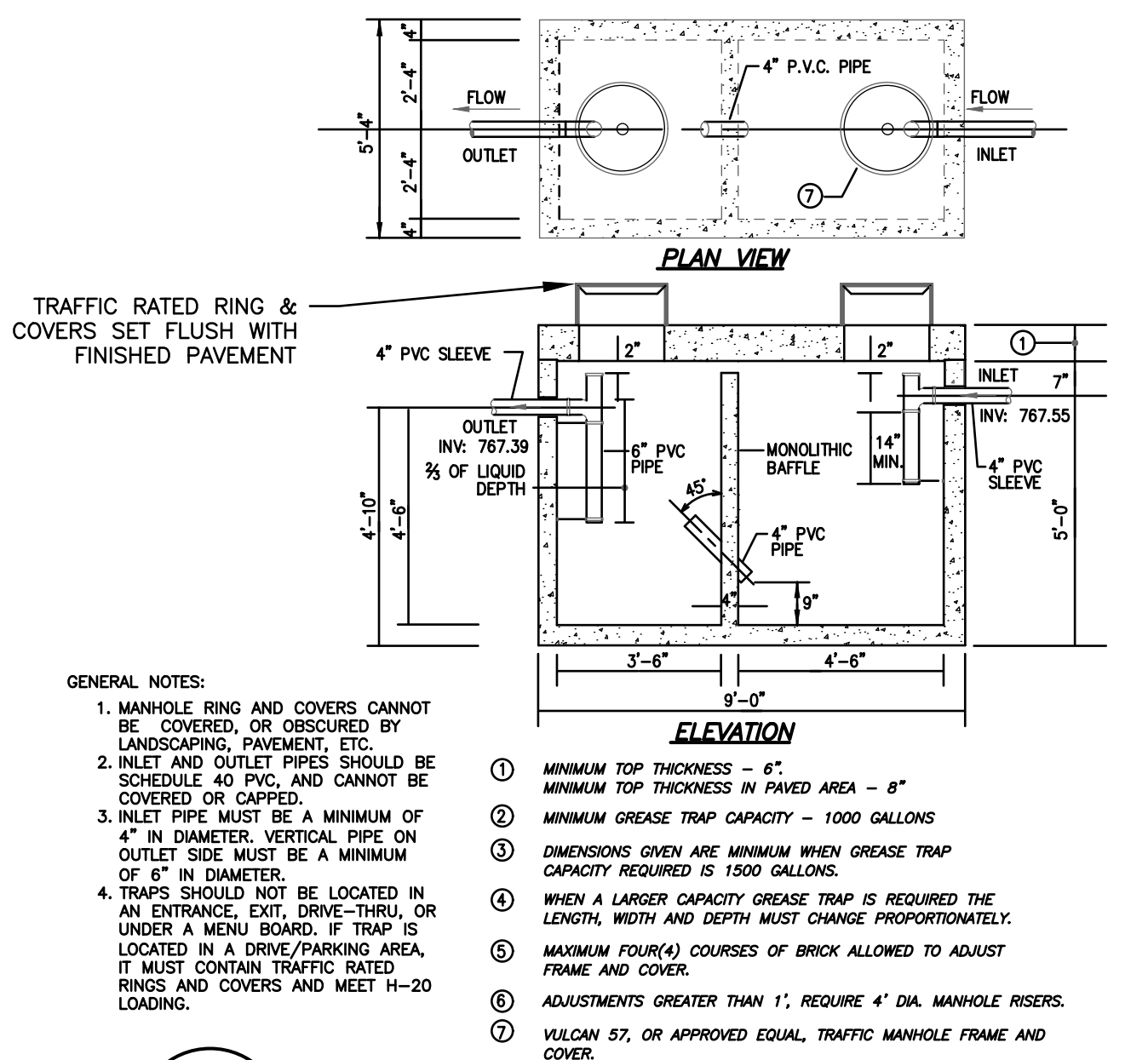
SCALE: NONE



**5 DUMPSTER PAD AND ENCLOSURE**  
C-5  
SCALE: NONE



**6 1000 GALLON GREASE TRAP**  
C-5  
SCALE: NONE



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EST. 1962

PROJECT NO. 17004.01  
FILE NO. 4545-B  
SCALE: NONE  
DRAWN BY: MCW  
CHECKED BY: DDS

**WAFFLE HOUSE, INC.**  
10910 WOODLAND BEAVER RD.  
MECKLENBURG CO., NORTH CAROLINA

**DETAILS**

DATE: 8/17/17

10/23/17 CITY/OWNER COMMENTS

8/17/17 PERMITTING SET

DATE

REVISION

DATE

COMMENT

DATE: 8/17/17

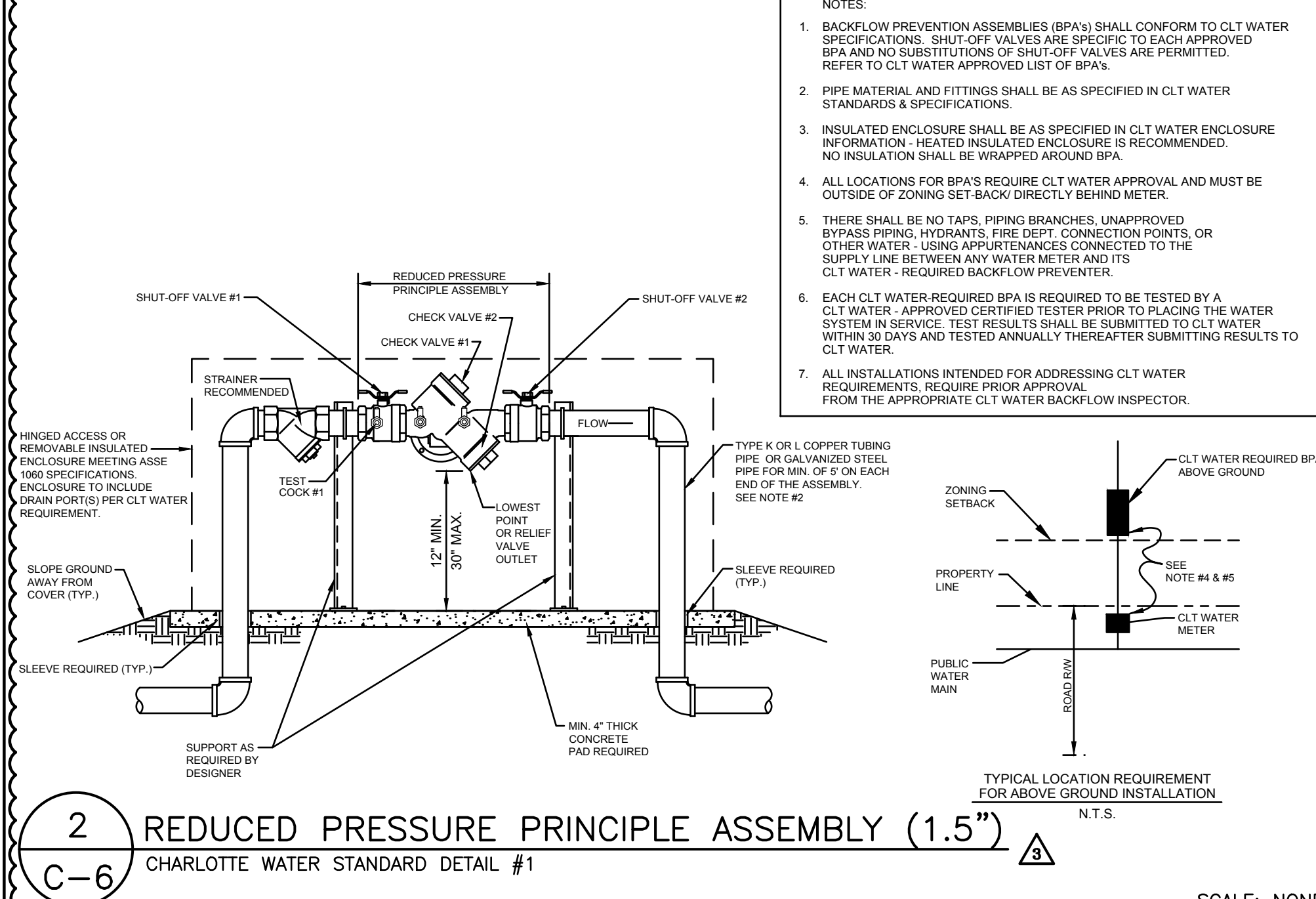
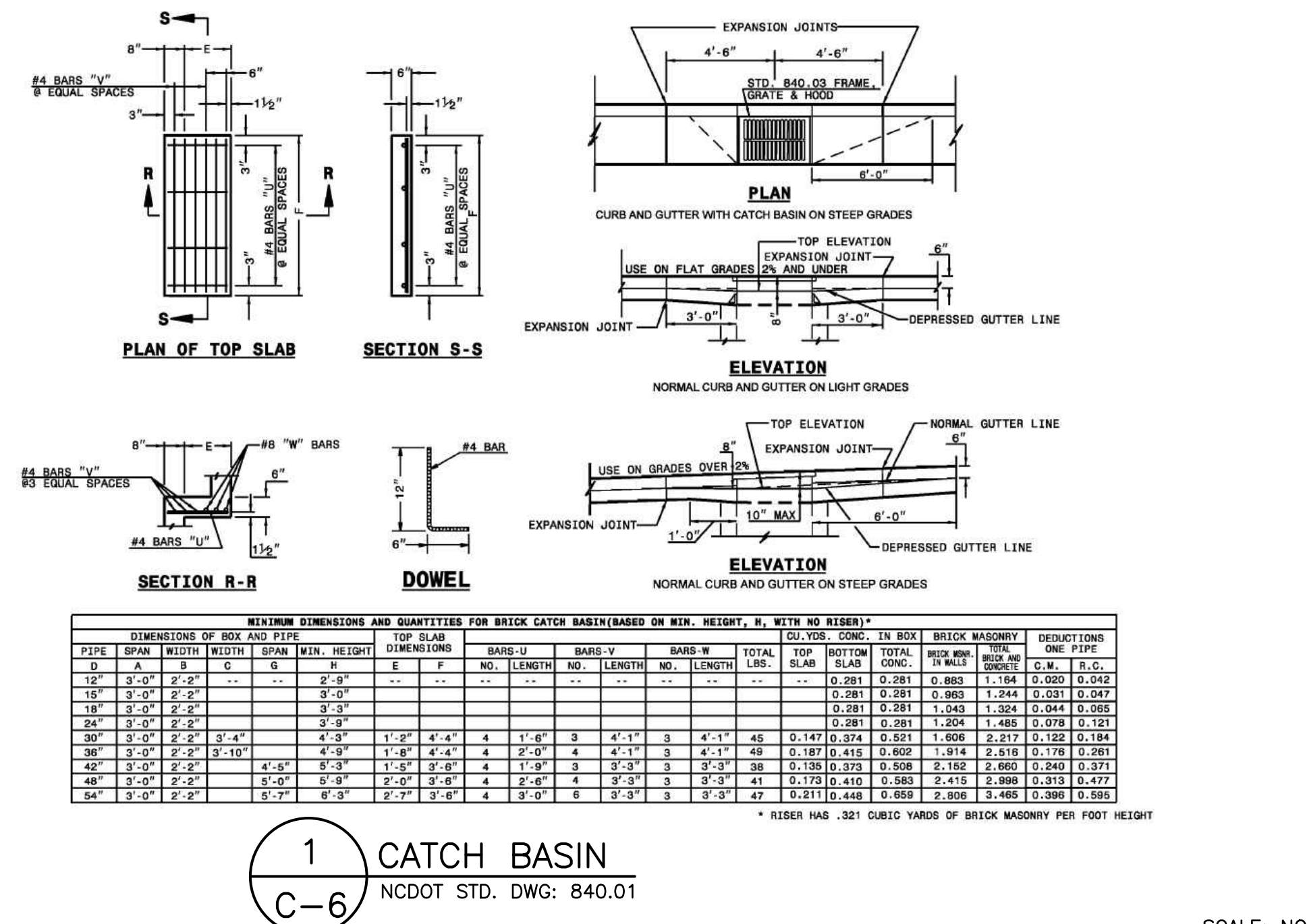
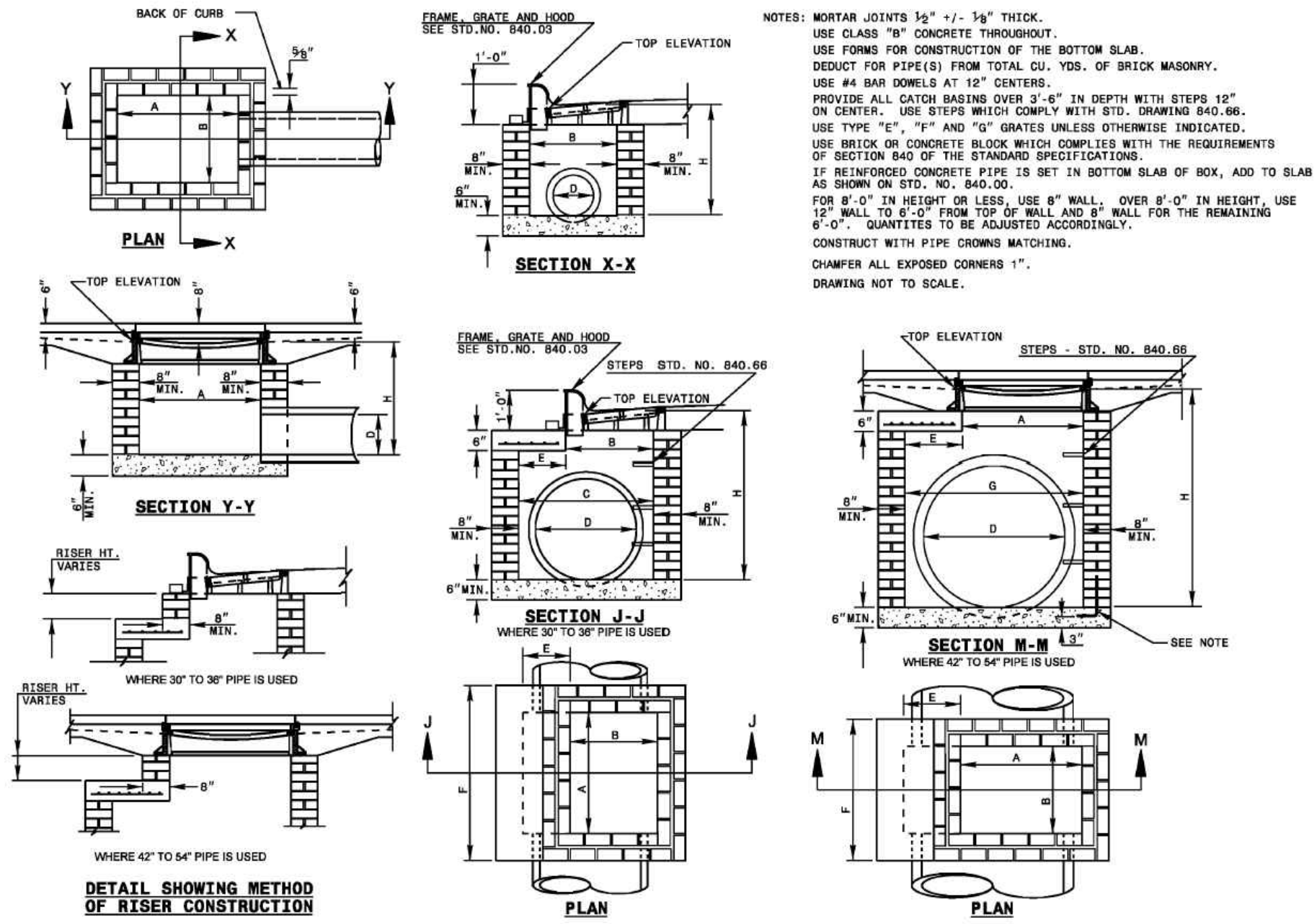
SEAL 13037

10/23/17

SHEET NO.

**C-5**

OF 8 SHEETS



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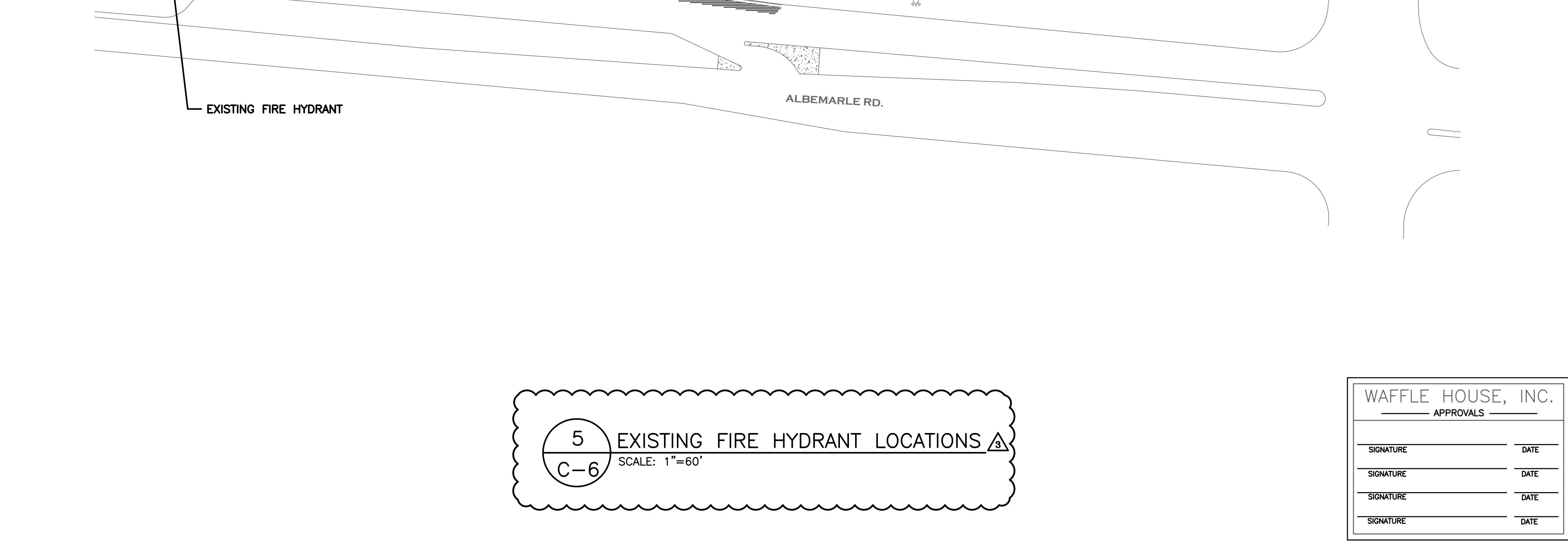
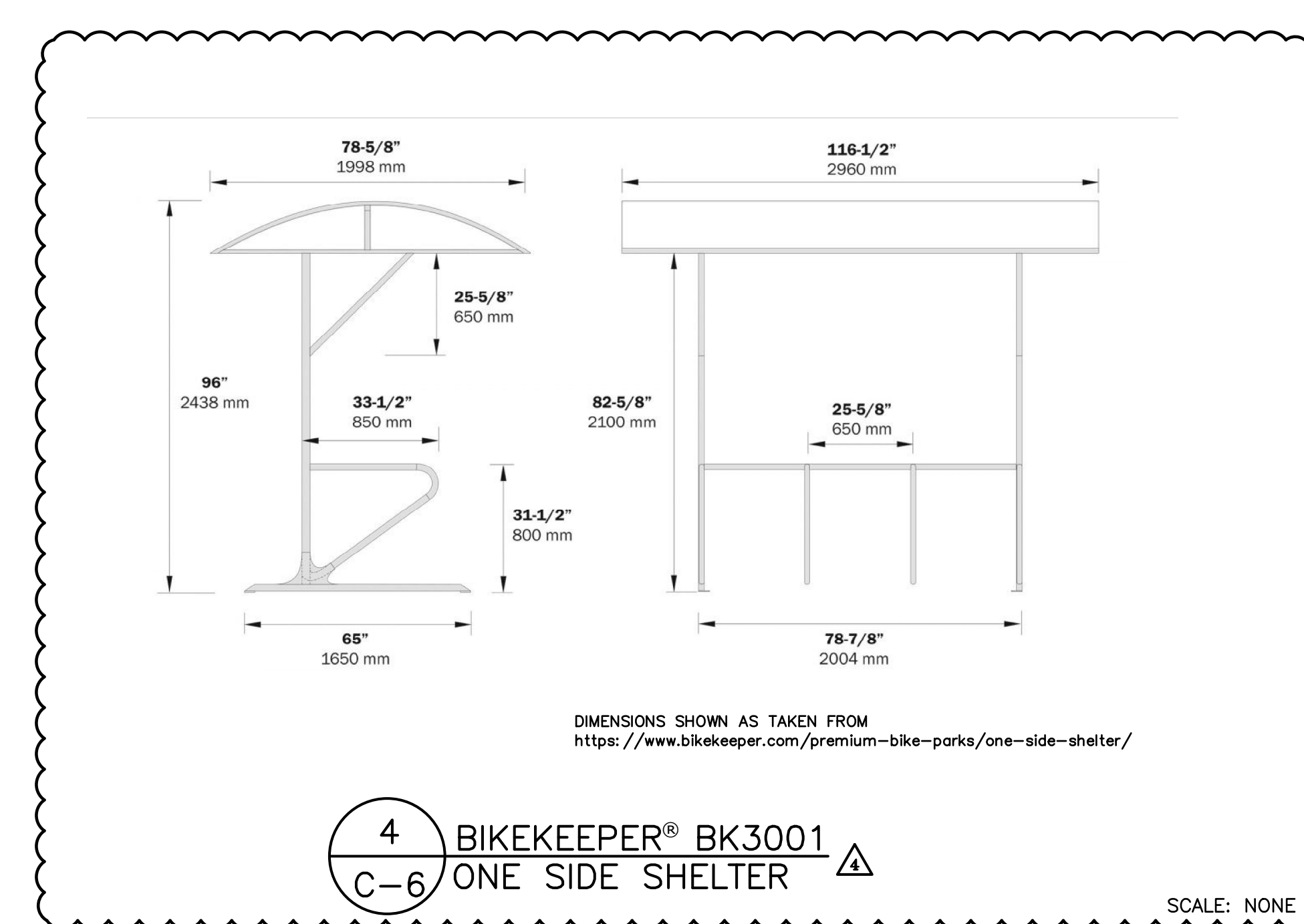
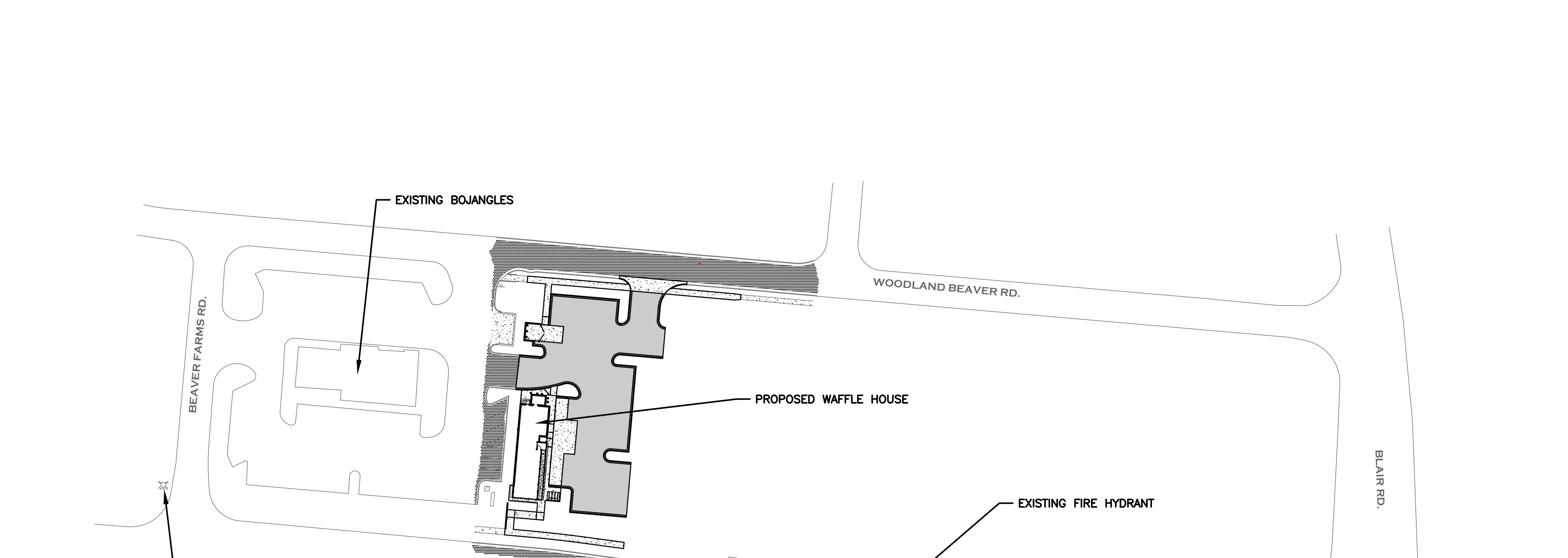
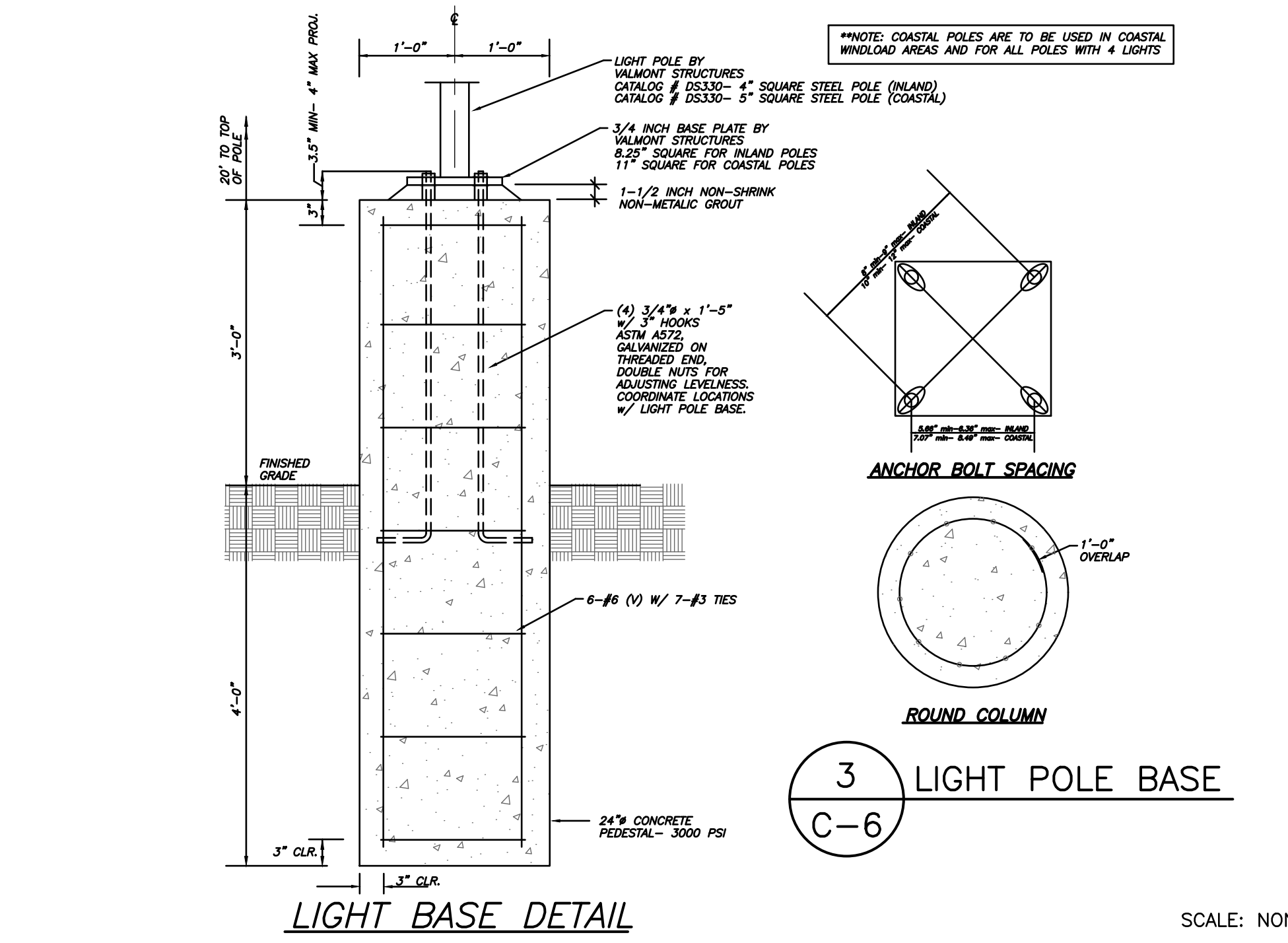
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PROJECT NO. 17004.01  
 FILE NO. 4545-B  
 SCALE: NONE  
 DRAWN BY: MCW  
 CHECKED BY: DDS

WAFFLE HOUSE, INC.  
 10910 WOODLAND BEAVER RD.  
 MECKLENBURG CO., NORTH CAROLINA

**DETAILS**



WAFFLE HOUSE, INC. APPROVALS

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

DATE: 8/17/17

4/29/18 BICYCLE PARKING SHELTER ADDED  
 2/7/18 BUILDING STDs COMMENTS  
 8/17/17 PERMITTING SET

DATE: 8/17/17

RETRY DATE COMMENT

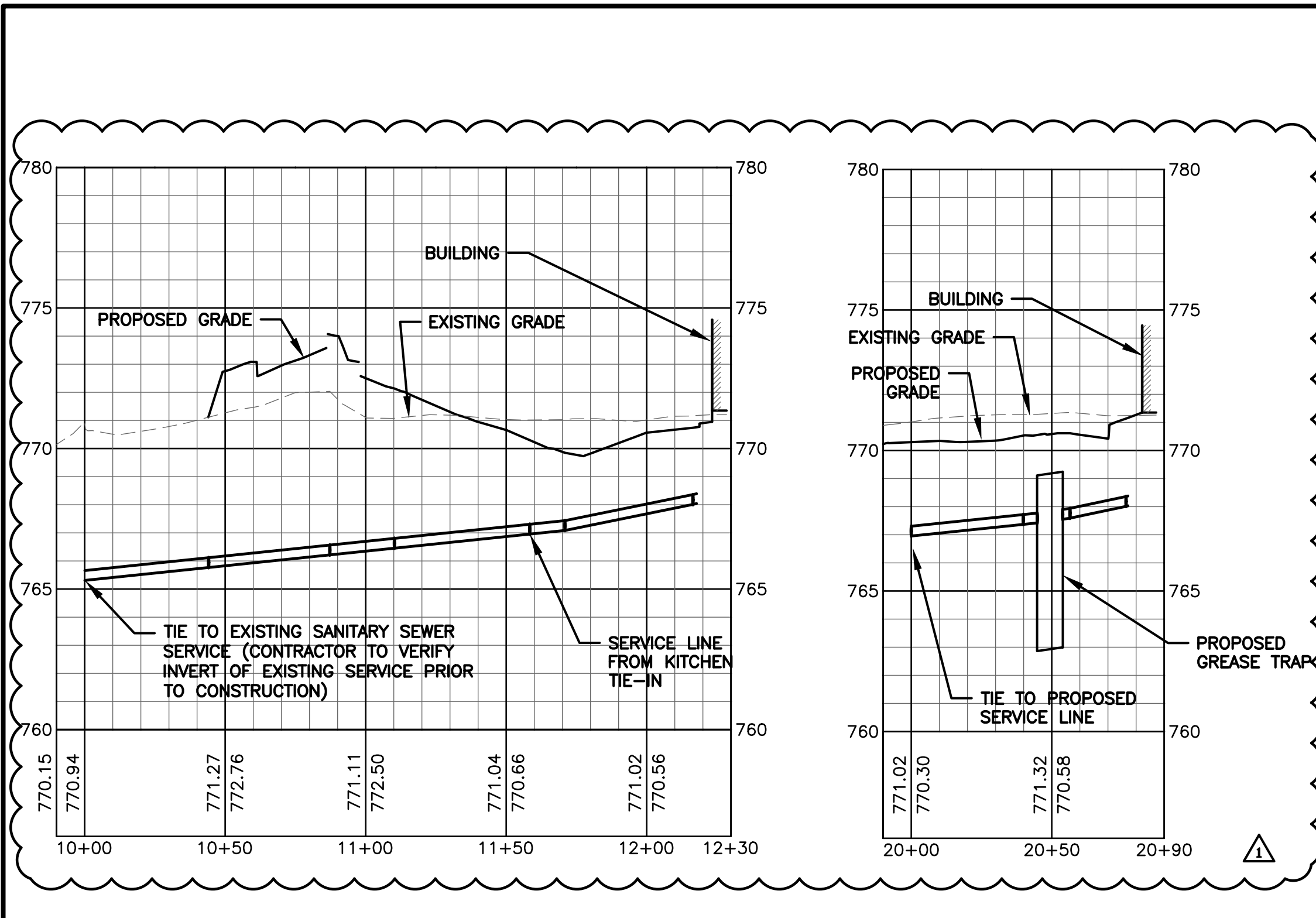
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4/23/18

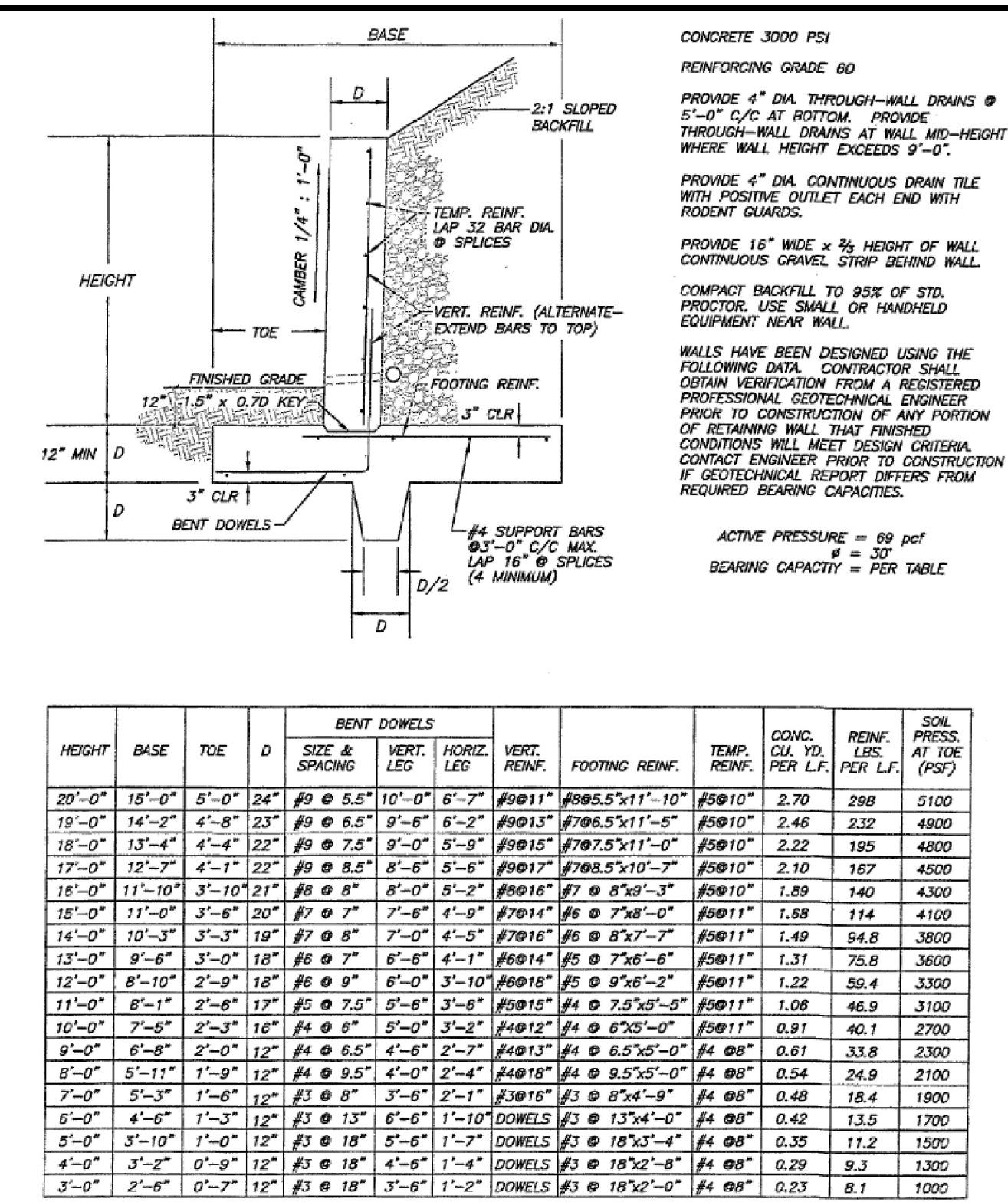
SHEET NO. **C-6**

OF 8 SHEETS

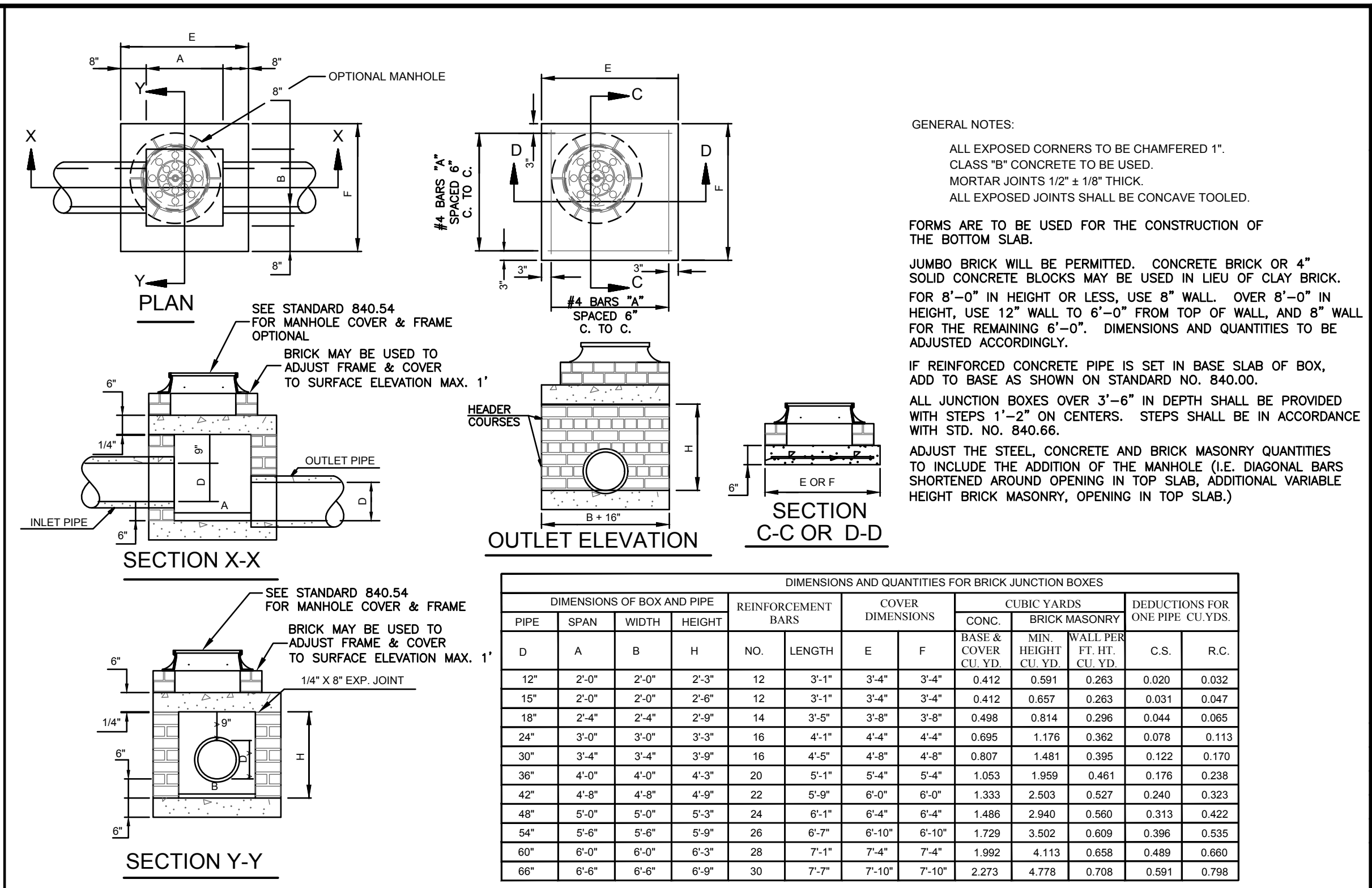
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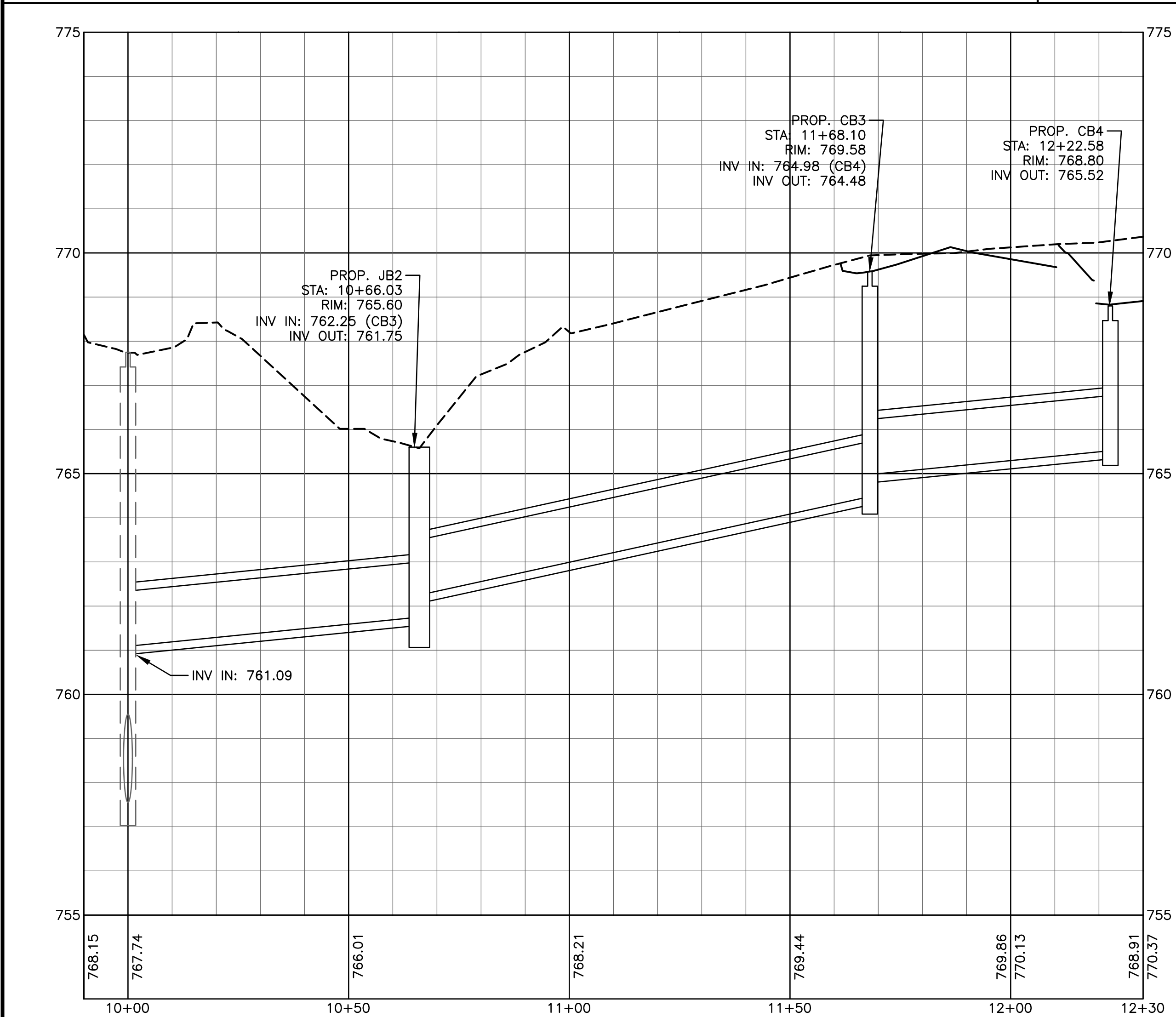
**1 SANITARY SEWER SERVICE PROFILES**  
 C-7 HOR: 1"=40', VERT: 1"=4'



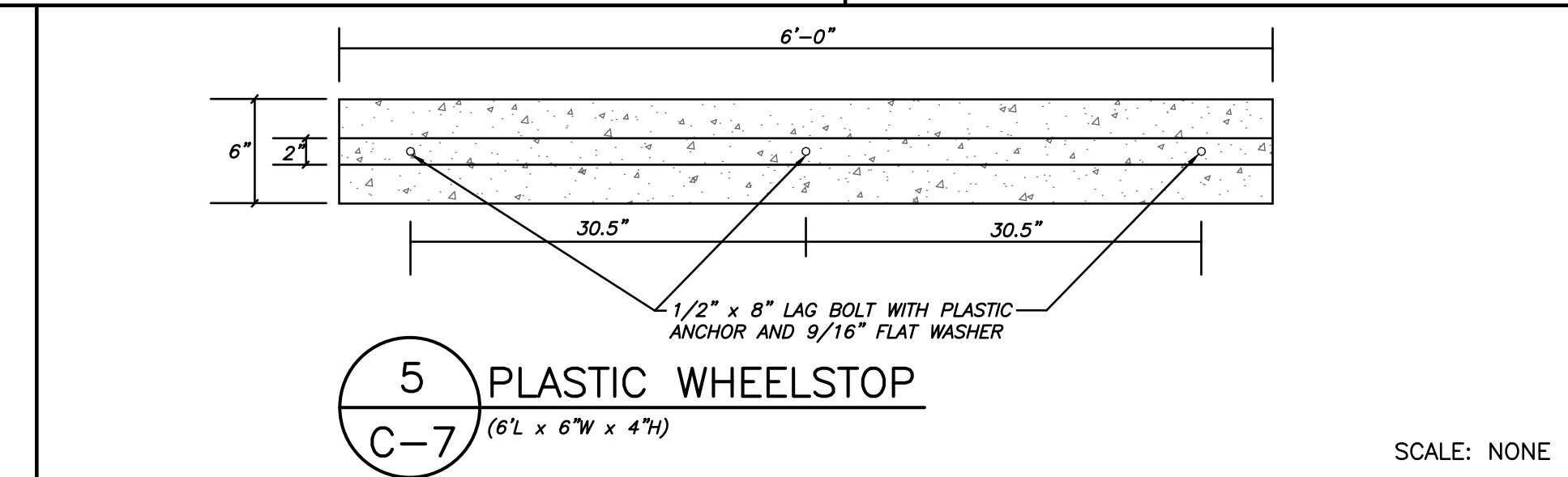
**2 CONCRETE RETAINING WALL**  
 C-7 NOT TO SCALE



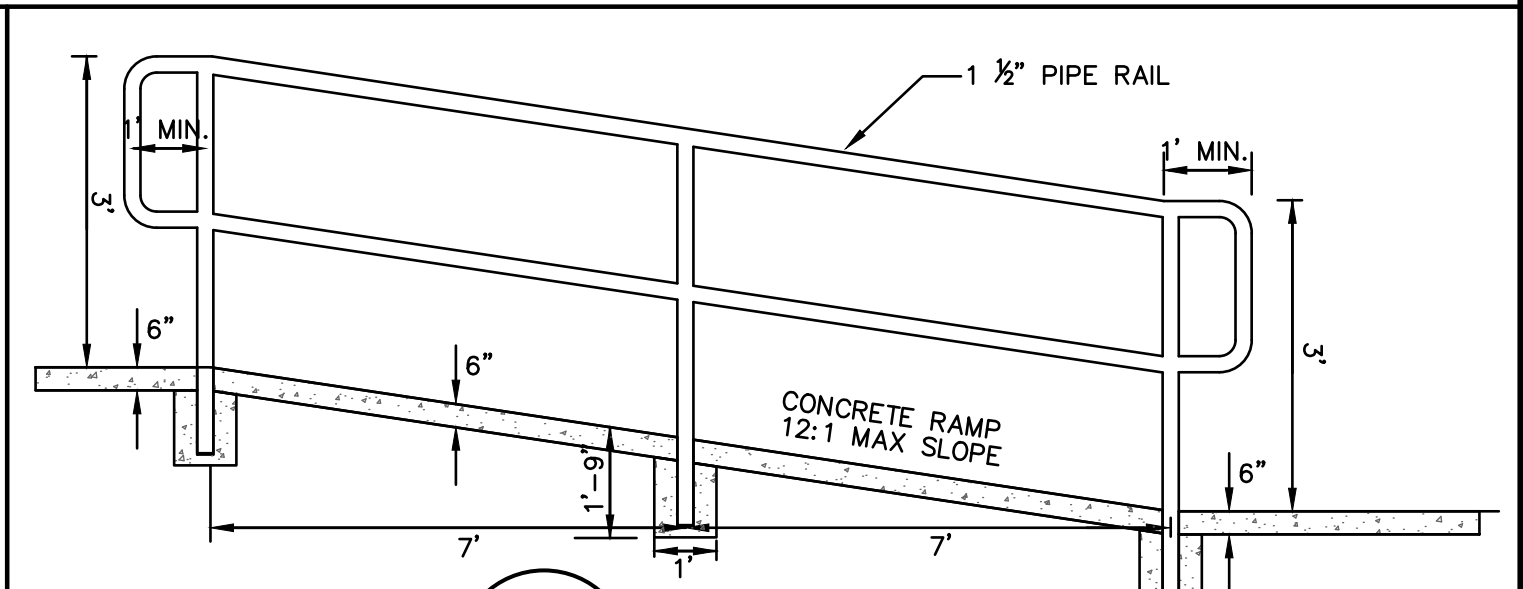
**3 BRICK JUNCTION BOX**  
 C-7 NCDOT STD. #: 840.32 SCALE: NONE



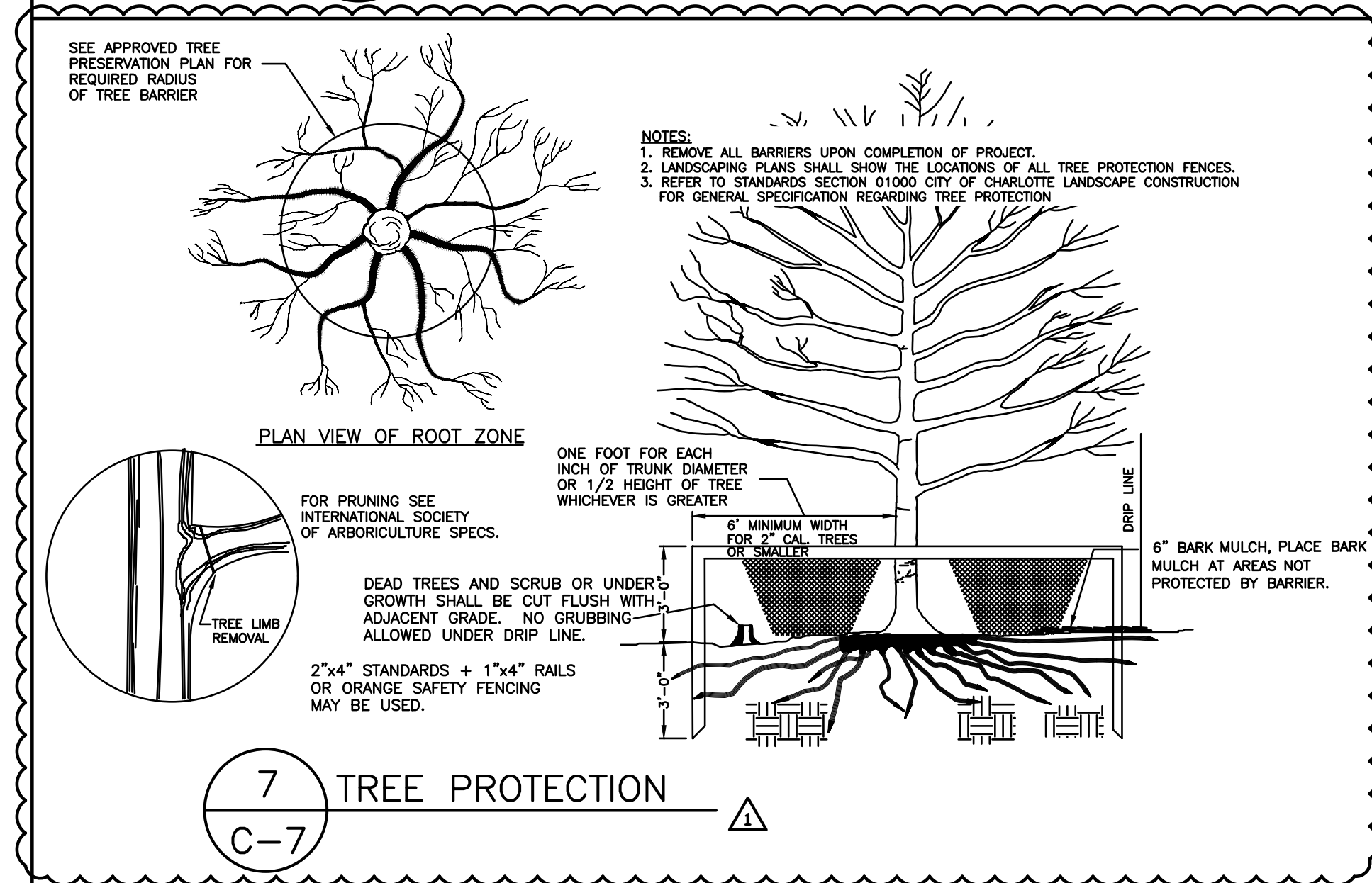
**4 STORM DRAINAGE PROFILE**  
 C-7 HOR: 1"=20', VERT: 1"=2'



**5 PLASTIC WHEELSTOP**  
 C-7 (6'L x 6"W x 4"H) SCALE: NONE



**6 HANDRAIL**  
 C-7 SCALE: NONE



**WAFFLE HOUSE SITE MATERIAL QUANTITY CHART**

A. ASPHALT:	1,078	sq. yds.	DI 4-C-5
B. CONCRETE:	147	sq. yds.	DI 4-C-5
C. OFFSITE PAVING:	81	sq. yds.	Spec: DI 4-C-5
D. DRIVEWAY / CURB-CUT:	55	sq. yds.	Spec: DI 1-C-5
E. DRAINAGE:			
2	ca.	Catch Basin	9 v.f.
0	ca.	Gate Inlet	v.f.
1	ca.	Junction Box	v.f.
222	lf	Pipe	HOPE material 15 Inch-Dia.
	lf	Pipe	material Inch-Dia.
F. SANITARY:			
335	lf	Sanitary lateral	PVC material 4 Inch-Dia.
0	lf	Sanitary sewer Main	N/A material N/A Inch-Dia.
0	ca.	Manhole	N/A v.f.
11	ca.	Clean-outs	
1	ca.	Grease Trap	2000 Gallons
G. WATER LINE:			
	On Site	82	lf
	Off Site	0	lf
	Meter	1	ca.
H. CURBING:			
	On-Site	506	lf
	Off-Site	69	lf
			DI 3-C-5
I. PARKING STALLS:	26	Total, including -	2 Handicap (2 minimum)
J. CUT:	228	cu. yds. + 15% expansion =	262 total cu. yds.
FILL:	227	cu. yds. + 20% shrinkage =	272 total cu. yds.

**WAFFLE HOUSE, INC. APPROVALS**

SIGNATURE	DATE
SIGNATURE	DATE
SIGNATURE	DATE
SIGNATURE	DATE

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PROJECT NO. 17004.01  
 FILE NO. 4545-B  
 SCALE: NONE  
 DRAWN BY: MCW  
 CHECKED BY: DDS

WAFFLE HOUSE, INC.  
 10910 WOODLAND BEAVER RD.  
 MECKLENBURG CO., NORTH CAROLINA

**DETAILS**

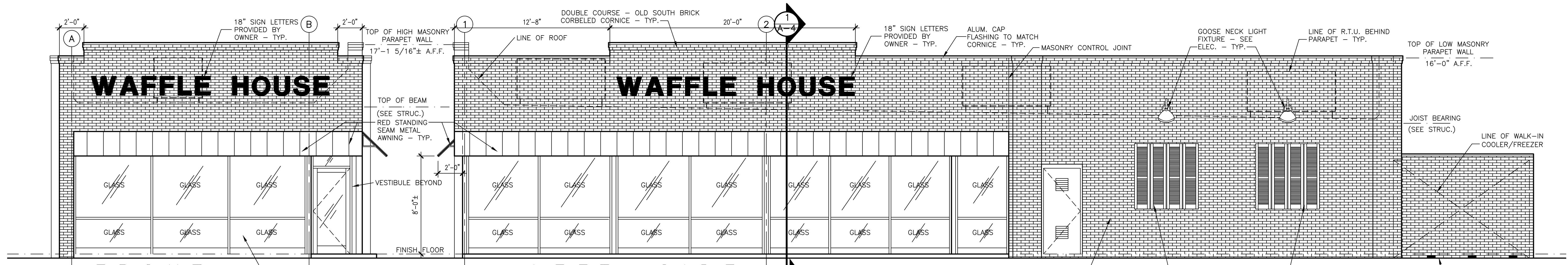
DATE: 8/17/17

10/23/17 PROFESSIONAL SEAL 13037

SHEET NO. **C-7**

OF 8 SHEETS



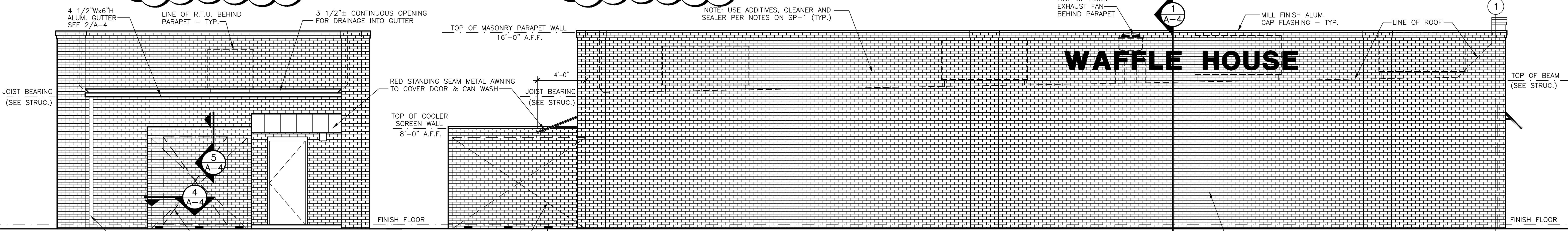


**MASONRY AREA CALCULATIONS**

BRICK VENEER	186 S.F.	80%
TOTAL WALL AREA	233 S.F.	

**MASONRY AREA CALCULATIONS**

BRICK VENEER	904 S.F.	91%
TOTAL WALL AREA	996 S.F.	



**MASONRY AREA CALCULATIONS**

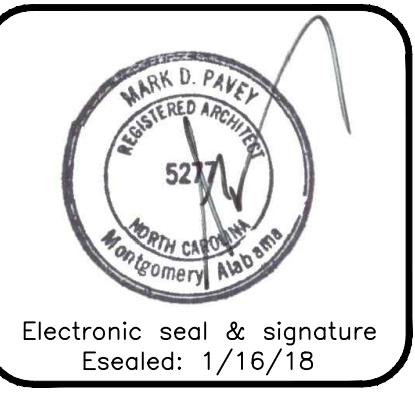
BRICK VENEER	368 S.F.	88%
TOTAL WALL AREA	420 S.F.	

**MASONRY AREA CALCULATIONS**

BRICK VENEER	1,321 S.F.	99%
TOTAL WALL AREA	1,335 S.F.	

**EXTERIOR ELEVATIONS**

SCALE: 1/4"=1'-0"



**MARK D. PAVET, AIA - ARCHITECT**  
 P.O. BOX 1365  
 GULF SHORES, AL. 36547  
 (334)-546-3624 (206)-350-0593 (FAX)

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**REVISIONS**

#	DATE	REVISIONS	BY
1	5/1/18	P&Z COMMENTS	JAC

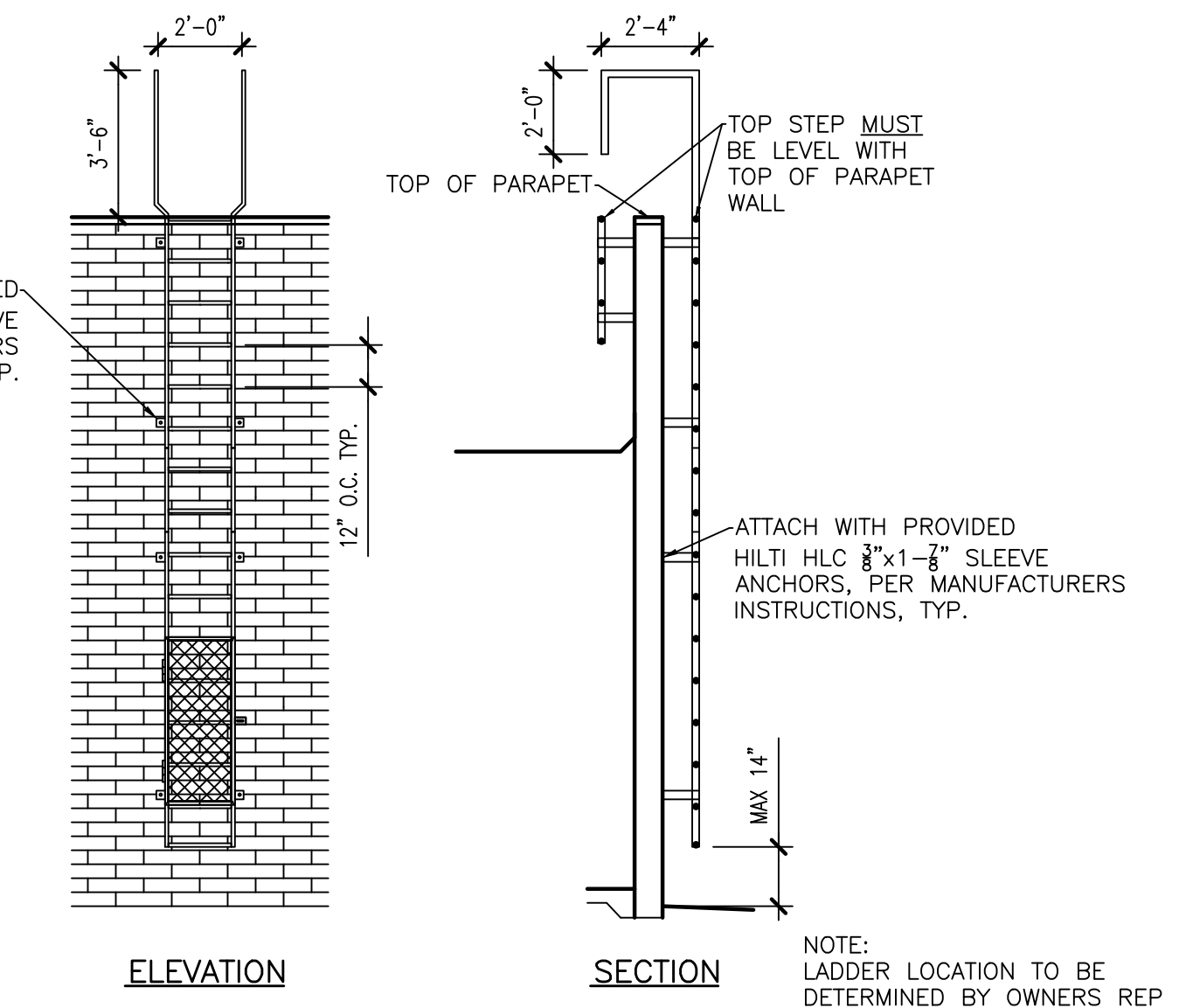
**'A UNIQUE AMERICAN PHENOMENON'**  
**WAFFLE HOUSE**  
**'AMERICA'S PLACE TO EAT, AMERICA'S PLACE TO WORK'**  
 5986 Financial Drive, Norcross, GA 30071  
 (770) 729-5700

**EXTERIOR/TOILET ELEVATIONS**  
 38 SEAT/ 20 STATION/ LH, BRICK, MEDIUM PARAPET  
 LOCATION: 10910 WOODLAND BEAVER RD. CHARLOTTE, NORTH CAROLINA

CHECKED BY: MDP  
 DRAWN BY: DS

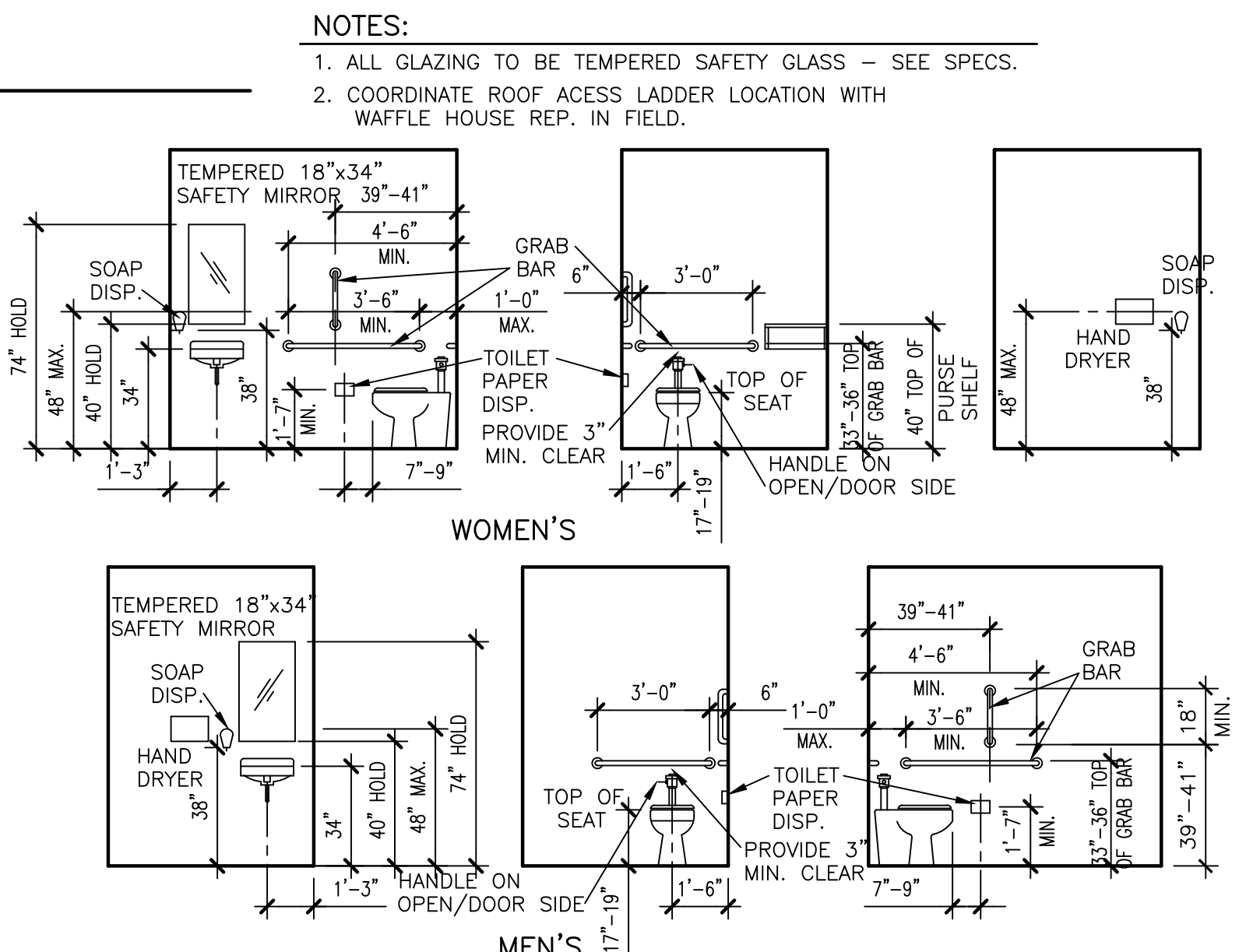
ARCHITECTURAL  
 JOB NO: 30247 SHEET **A-3**  
 DATE: 9/21/17 OF 29 SHEETS

DASH 3.9



**ACCESS LADDER DETAILS**

SCALE: 1/4"=1'-0"



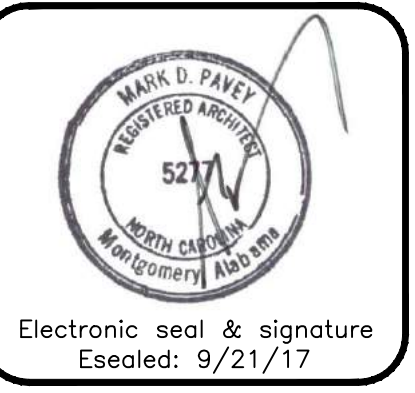
**TOILET ELEVATIONS**

SCALE: 1/4"=1'-0"

- NOTES**
- ALL WALL MOUNTED FIXTURES AND ACCESSORIES SHALL BE BACKED WITH 1/2" OSB OR CDX PLYWOOD.
  - LAVATORIES SHALL BE MOUNTED WITH A MINIMUM CLEARANCE OF 29" FROM THE FINISH FLOOR TO BOTTOM OF THE APRON.
  - PLUMBING SHALL BE ARRANGED TO PROVIDE 8" DEEP KNEE CLEARANCE, 9"Hx6"D TOE CLEARANCE AND A 17" CLEAR FLOOR SPACE FROM THE FRONT PLANE OF THE LAVATORY TO THE WALL.
  - INSULATE ALL EXPOSED PIPES AND CONTROLS UNDER LAVATORY.

**Attached to Administrative Approval**

*Solomon A. Fortune* \$F  
**Solomon A. Fortune**



**MARK D. PAVEY, AIA - ARCHITECT**  
 P.O. BOX 1365  
 GULF SHORES, AL 36547  
 (334)-546-3624 (206)-350-0593 (FAX)

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#	DATE	REVISIONS	BY

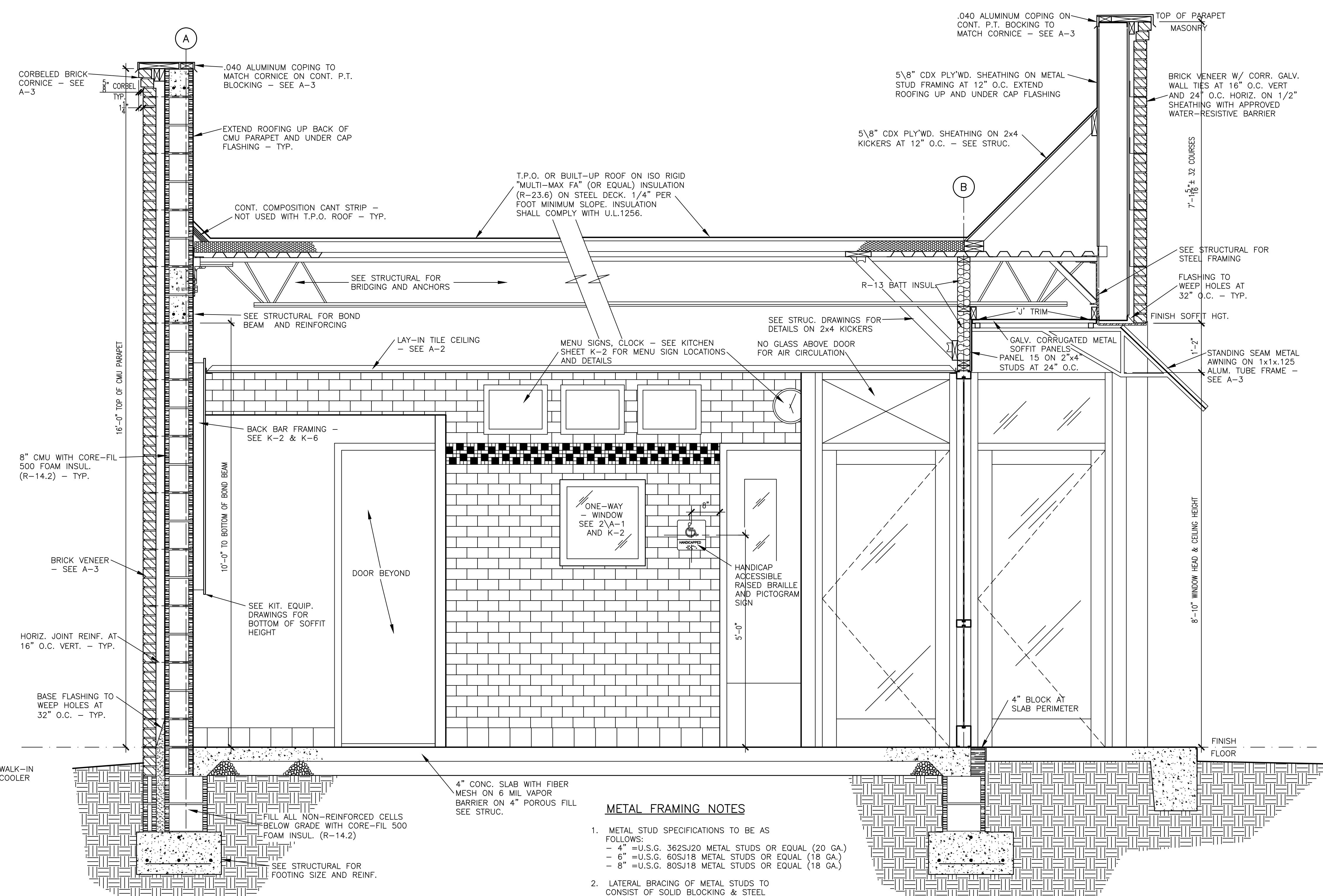
**W A F F L E HOUSE**  
 "A UNIQUE AMERICAN PHENOMENON"  
 "AMERICA'S PLACE TO EAT, AMERICA'S PLACE TO WORK"  
 5986 Financial Drive, Norcross, GA 30071  
 (770) 729-5700

**WALL SECTION AND DETAILS**  
 38 SEAT / 20 STATION / LH, BRICK, MEDIUM PARAPET  
 LOCATION: 10910 WOODLAND BEAVER RD., CHARLOTTE, NORTH CAROLINA

CHECKED BY: MDP  
 DRAWN BY: KELLY

ARCHITECTURAL  
 JOB NO: 30247 SHEET **A-4**  
 DATE: 9/21/17 OF 29 SHEETS

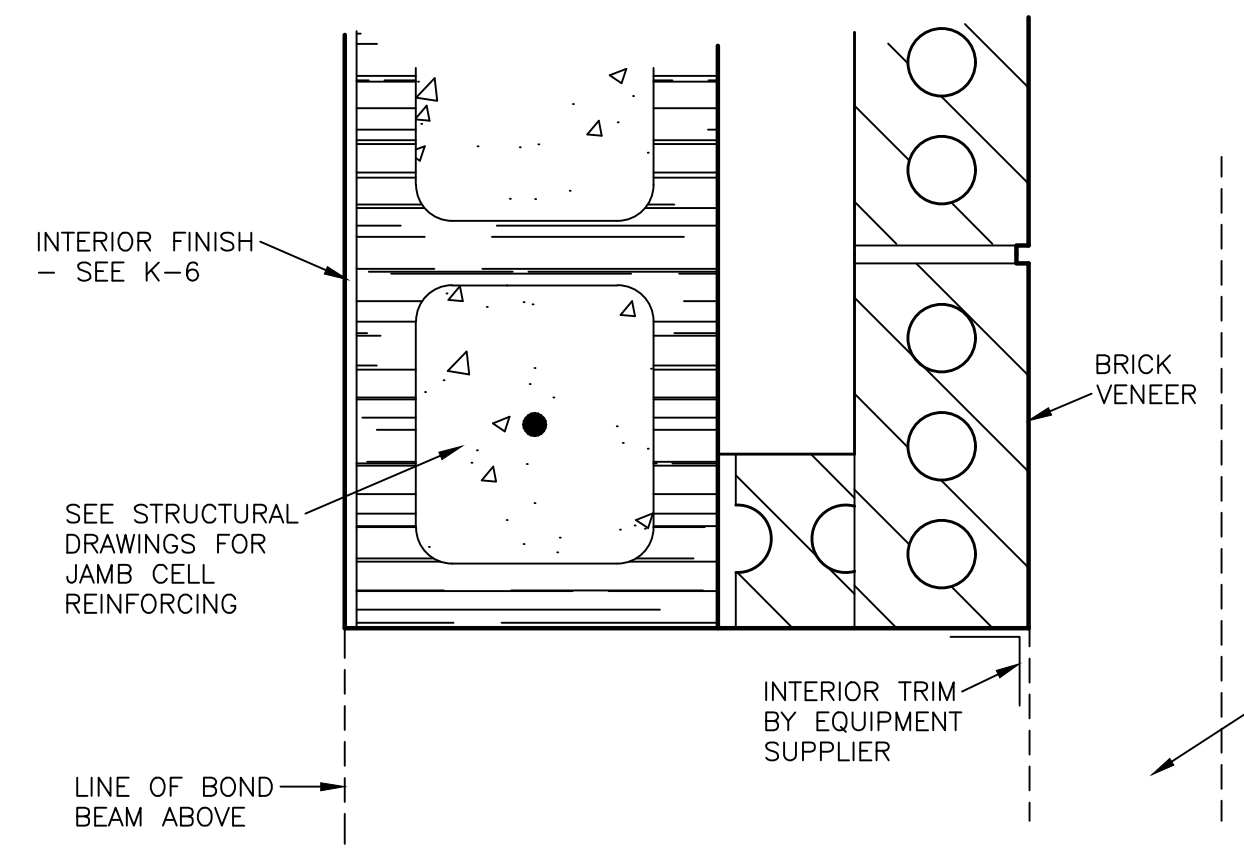
DASH 3.9



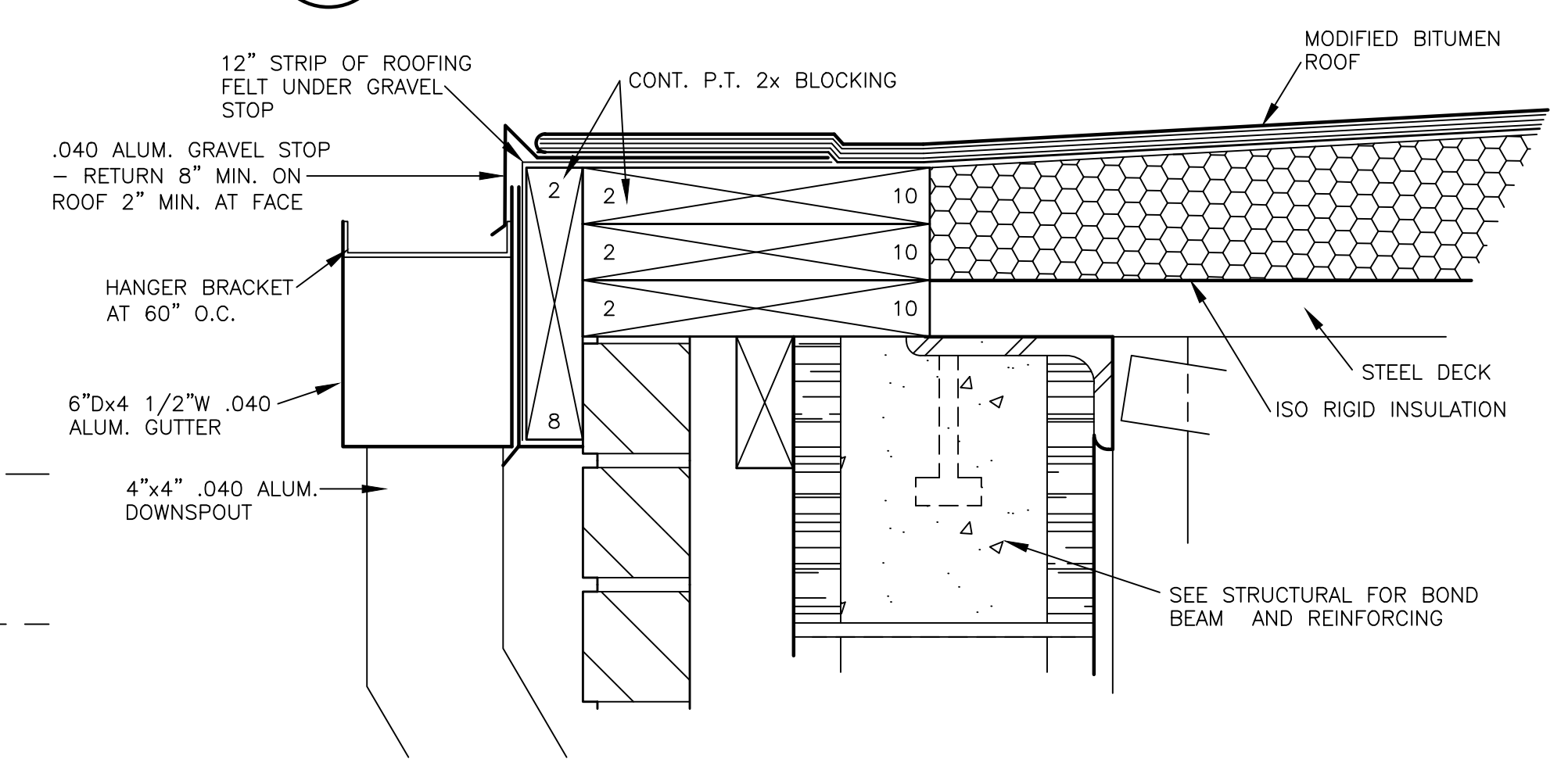
**METAL FRAMING NOTES**

- METAL STUD SPECIFICATIONS TO BE AS FOLLOWS:
  - 4" = U.S.G. 362S20 METAL STUDS OR EQUAL (20 GA.)
  - 6" = U.S.G. 60S118 METAL STUDS OR EQUAL (18 GA.)
  - 8" = U.S.G. 80S118 METAL STUDS OR EQUAL (18 GA.)
- LATERAL BRACING OF METAL STUDS TO CONSIST OF SOLID BLOCKING & STEEL STRAPS OR 1 1/2" COLD ROLLED CHANNELS INSERTED THROUGH & FASTENED TO STUD WEBS PER U.S.G. STANDARD DETAILS.

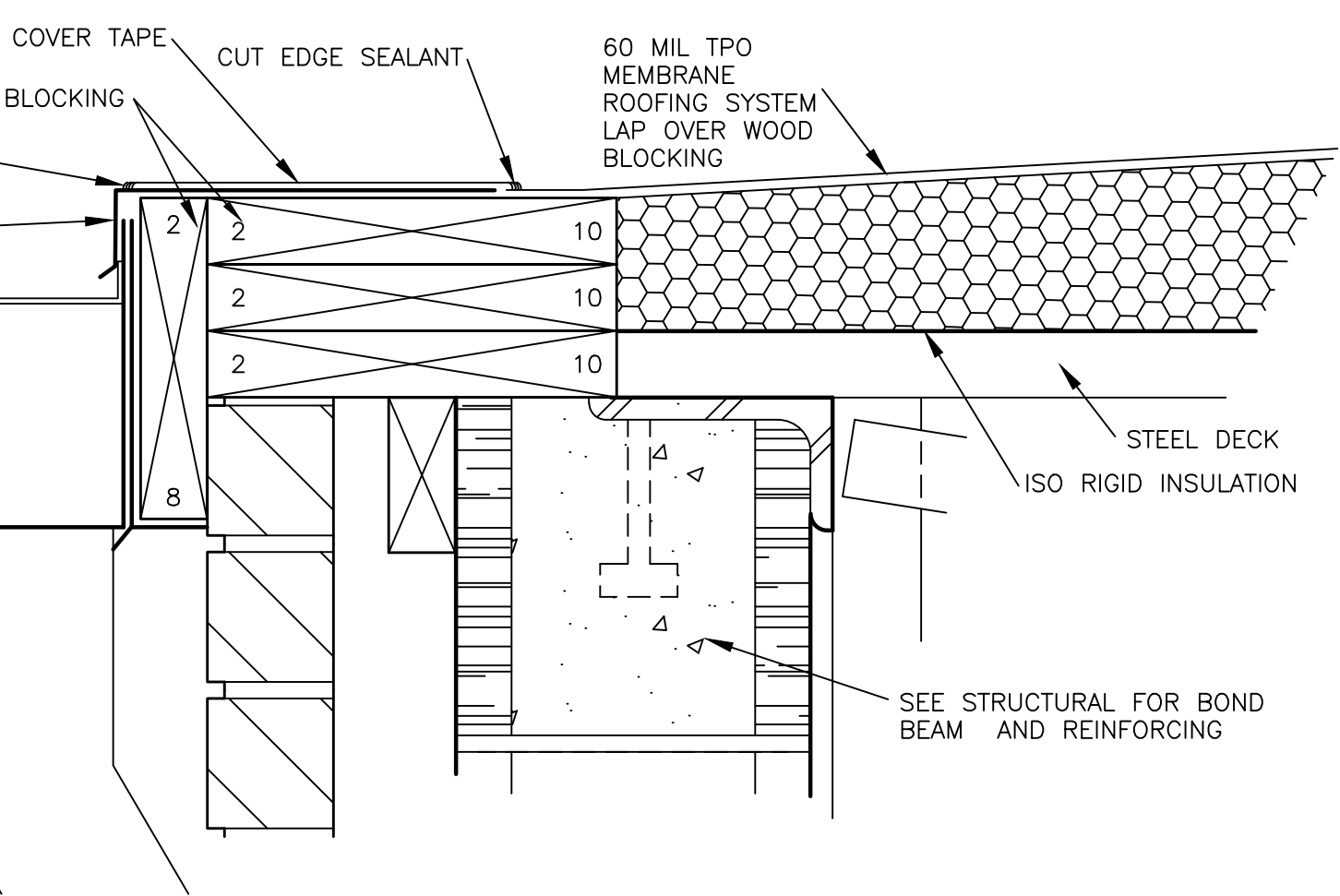
**4 DETAIL AT W.I.C. JAMB**  
 SCALE: 3" = 1'-0"



**1 TRVERSE BUILDING SECTION**  
 SCALE: 3/4" = 1'-0"



**2 DETAIL AT BUILT-UP ROOF EDGE**  
 SCALE: 3" = 1'-0"



**2A DETAIL AT T.P.O. ROOF EDGE**  
 SCALE: 3" = 1'-0"

**5 DETAIL AT W.I.C. HEAD**  
 SCALE: 3" = 1'-0"

