

**Little & Associates Architects**

8813 Westpark Drive  
Charlotte, NC 28217  
704-535-6358  
704-561-9700 Fax

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Little and Associates Architects, Inc.

**Crosland Retail**

THE CROSLAND GROUP, INC.

125 Savellybark Road  
Charlotte, NC 28209  
(704) 533-0272

Project: **OLDE TOWNE VILLAGE CENTER CHARLOTTE, NORTH CAROLINA**

Sheet Title: **FRONT ELEVATION HARRIS TEETER**

V. P. in Charge  
GOPPOLD  
Project Architect/Job Captain  
D. G. HALL

Drawn By  
J. HART

Date Drawn  
10-2-98

CADD Dwg. Name  
5249A2-4

Revisions

No.	Date
No.	Date
No.	Date
No.	Date

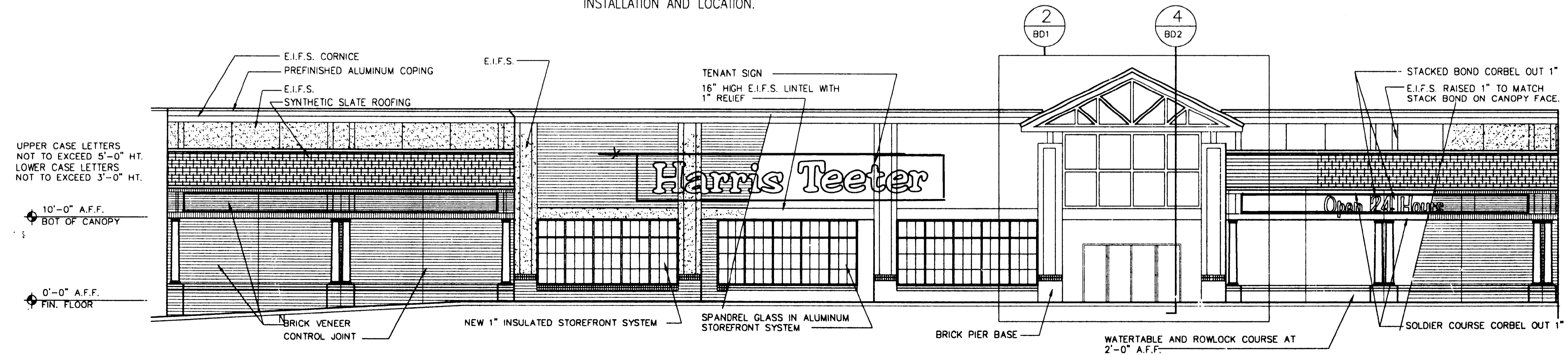
Issue Date **10-02-98**

Project Number  
**03-5249-03**

Sheet Of  
**BD3**

**THIS DRAWING SHALL REPLACE ELEVATION DETAIL 1/A3.2**

COORDINATE WITH THE TENANT AND OWNER ON SIGNAGE INSTALLATION AND LOCATION.



ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: *March 18, 1999*  
BY: *MARTIN R. CIGANTON, JR.*  
99-02

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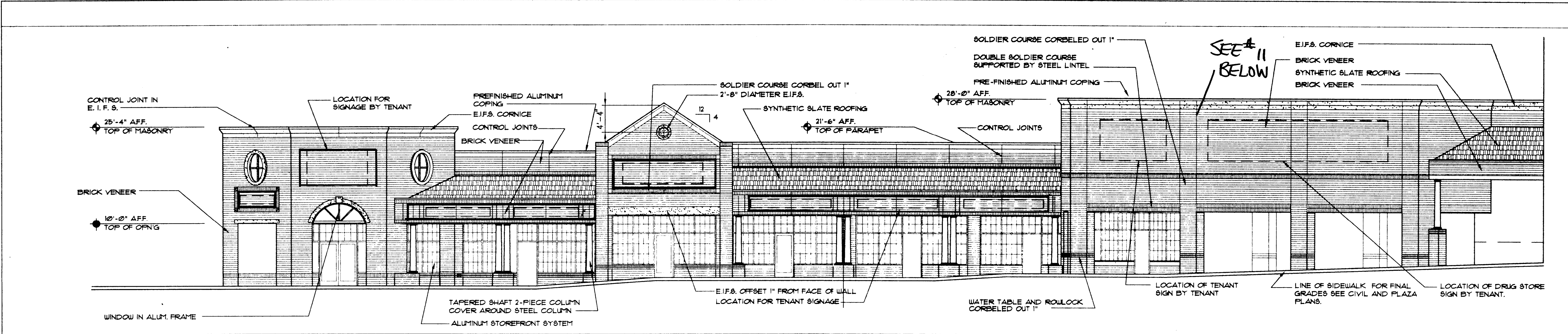
V. P. In Charge  
 COPPOLDO  
 Project Architect/Job Captain  
 D. G. HALL  
 Drawn By  
 D. G. HALL  
 Date Drawn  
 12/23/97  
 CADD Draw Name  
 03524900 ARCH A3-1R  
 Revisions  
 No. 1 Date 2/5/98  
 No. 2 Date 2/16/98  
 No. 3 Date  
 No. 4 Date  
 Issue Date 01-21-98

Project Number  
**03-5249-00**  
 Sheet Of  
**A3.1**

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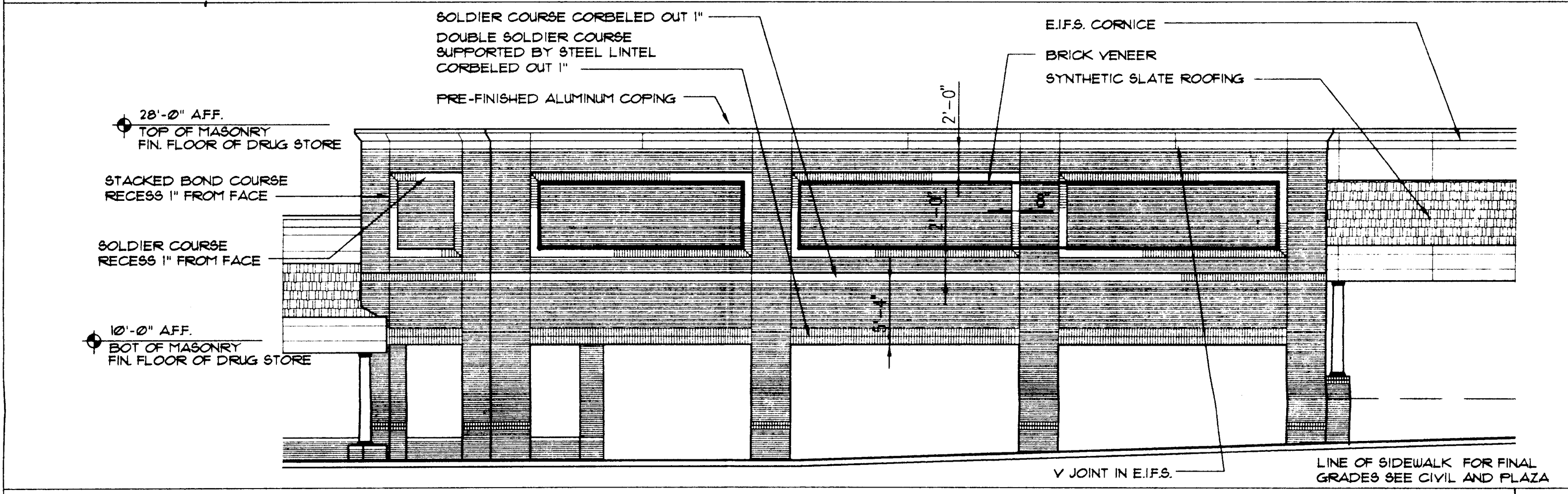
V. P. In Charge  
 COPPOLDO  
 Project Architect/Job Captain  
 D. G. HALL  
 Drawn By  
 D. G. HALL  
 Date Drawn  
 12/23/97  
 CADD Draw Name  
 03524900 ARCH A3IR  
 Revisions  
 No. 1 Date 2/5/98  
 No. 2 Date 2/16/98  
 No. 3 Date  
 No. 4 Date  
 Issue Date 01-21-98

Project Number  
**03-5249-00**  
 Sheet Of  
**A3.2**

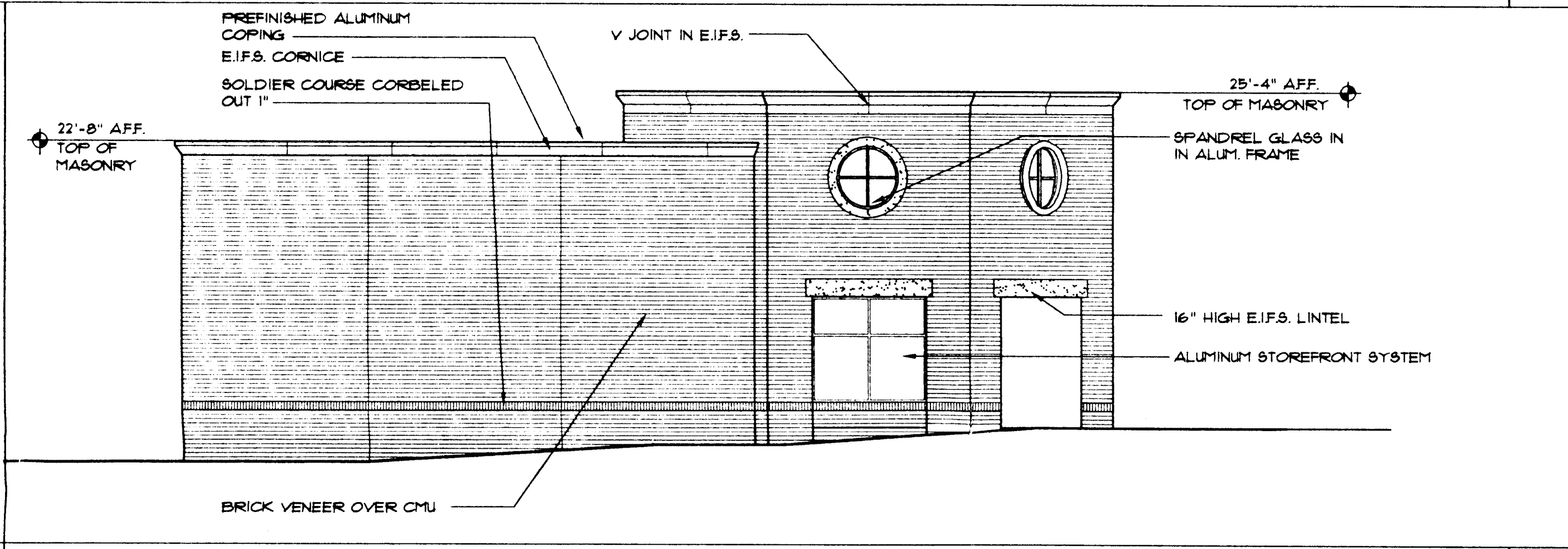


**FRONT ELEVATION BUILDING A**

1/8"=1'-0" 4



**ELEVATION OF CANOPY IN FRONT OF EXISTING DRUG STORE**

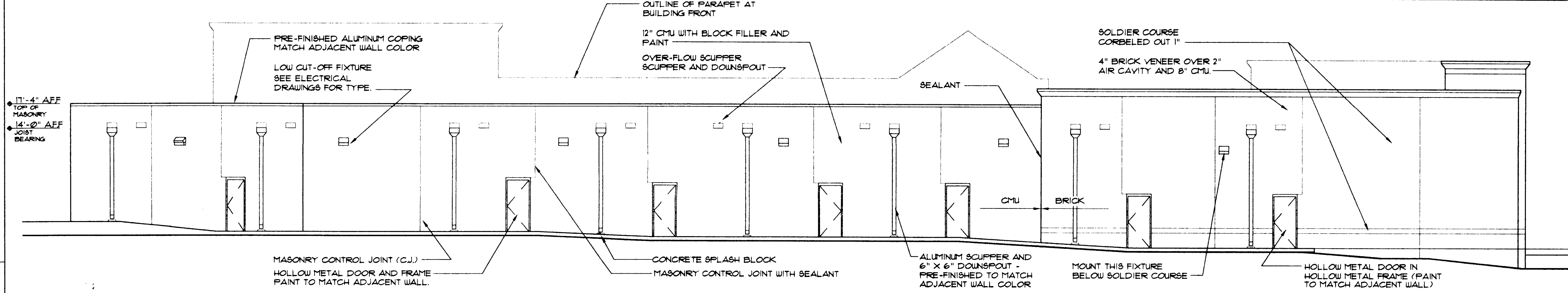


**11 SIDE ELEVATION BUILDING A**

1/8"=1'-0" 3

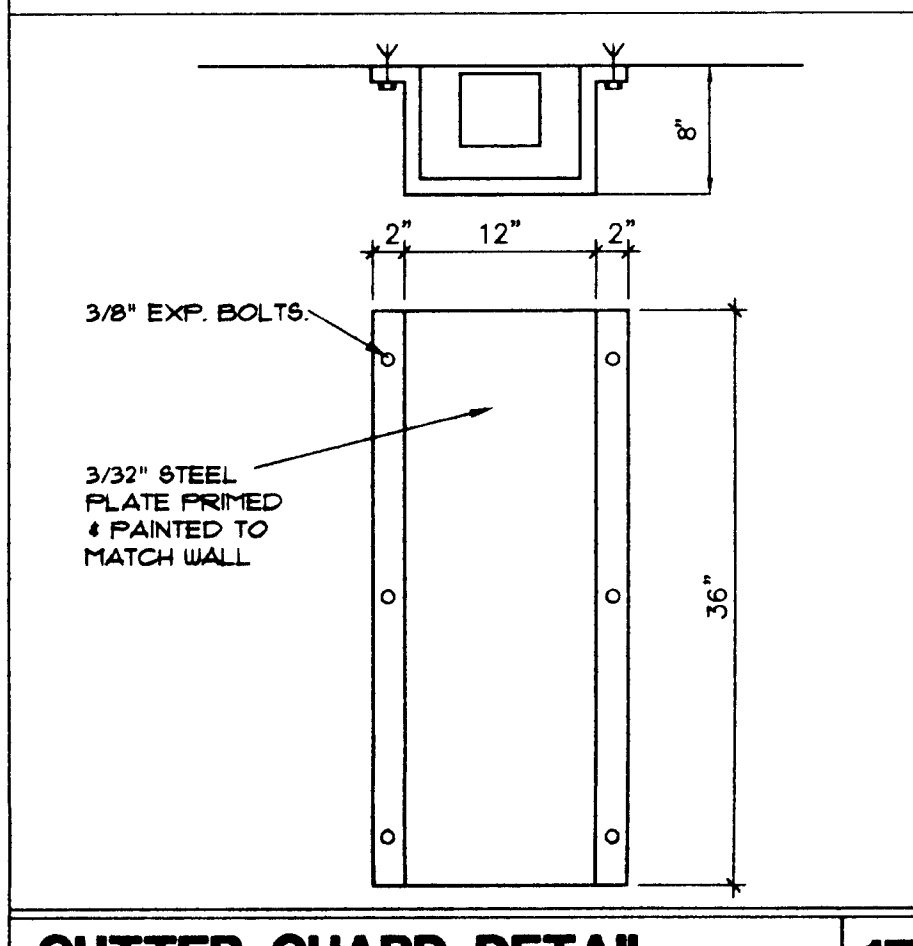
**GENERAL NOTES**

FINISH SCHEDULE:  
 BRICK: "PHOENIX" #14 AS SUPPLIED BY CHEROKEE SANFORD (TELE: 1-800-271-9536)  
 EIFS: "NATURAL WHITE" #203 AS MANUFACTURED BY DRYVIT  
 SYNTHETIC SLATE ROOFING: ULTRA SLATE "BANGOR BLACK" AS MANUFACTURED BY GAP MATERIALS CORP. (TELE: 1-800-223-1848)  
 STOREFRONTS: KAINEER "BONE WHITE" FLUOROPON FINISH  
 MORTAR: NATURAL COLOR (NOTE: BID ALTERNATE FOR COLORED MORTAR)  
 COPING AND FLASHING: MATCH ADJACENT WALL COLOR  
 COLUMNS: PAINT TO MATCH EIFS  
 EXPOSED CHU WALLS: PAINT (COLOR SELECTED BY OWNER)

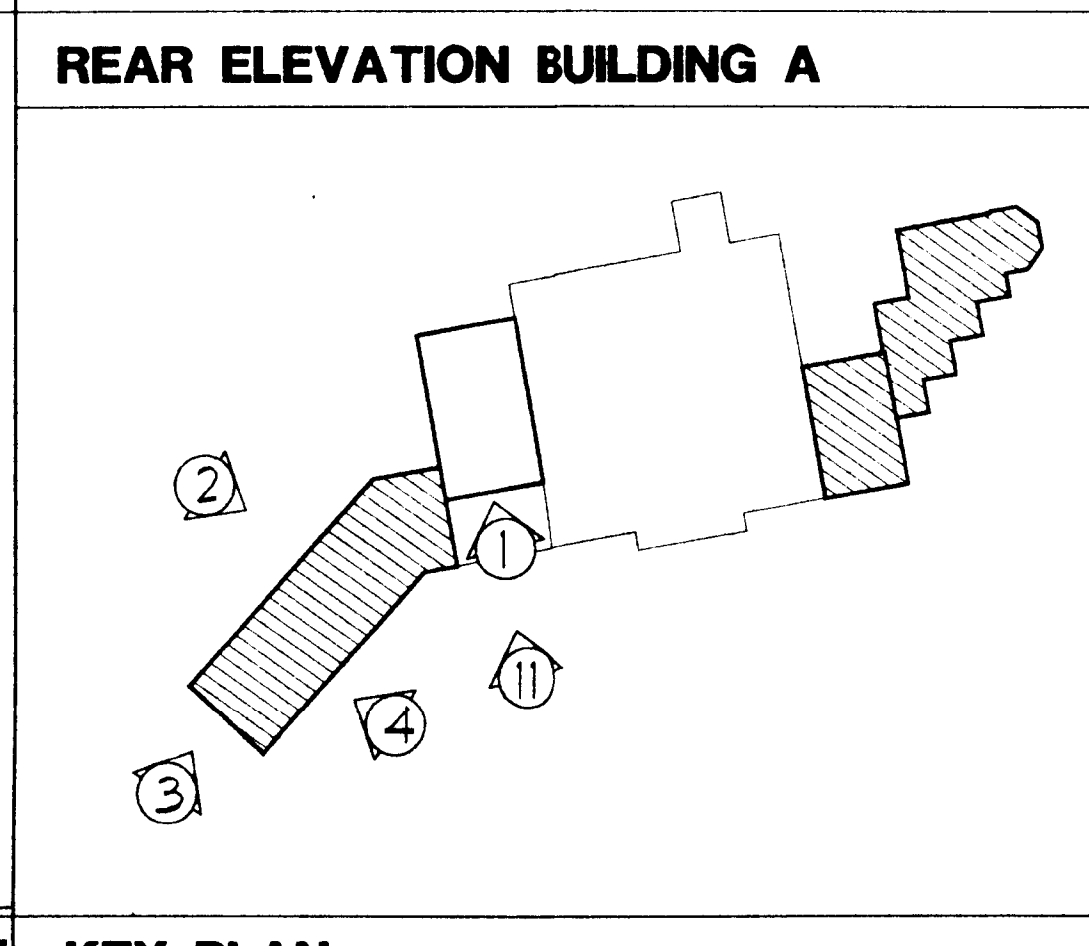


**FRONT ELEVATION FOR DRUG STORE**

1/8"=1'-0" 2



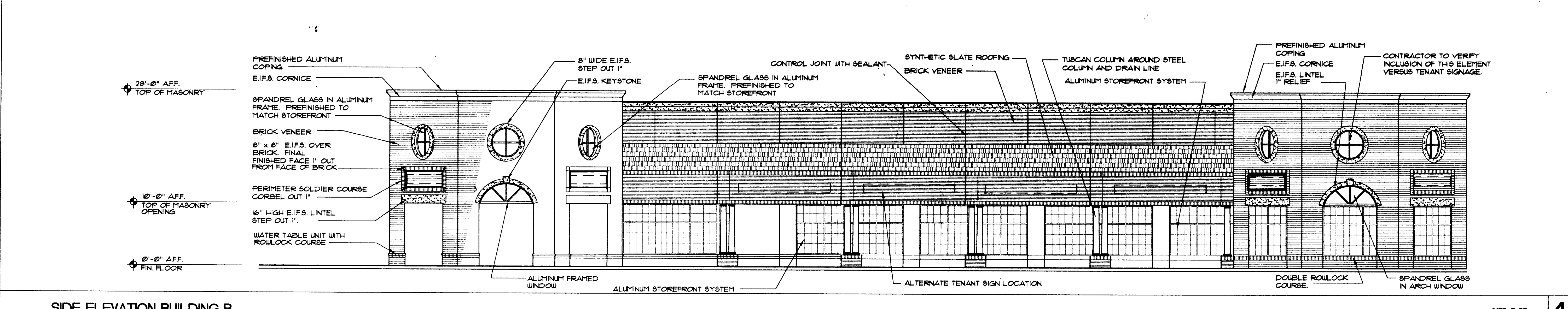
**GUTTER GUARD DETAIL**



**KEY PLAN**

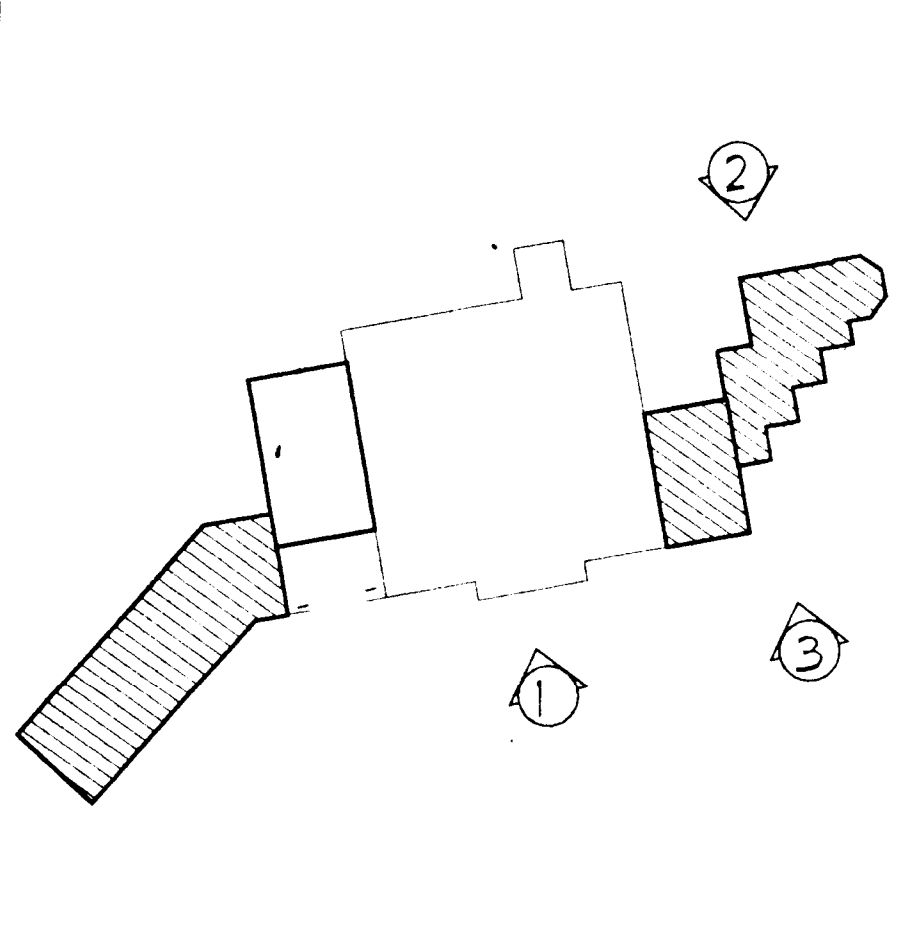
**FRONT ELEVATION FOR DRUG STORE**

1/8"=1'-0" 1



**SIDE ELEVATION BUILDING B**

1/8"=1'-0" 4

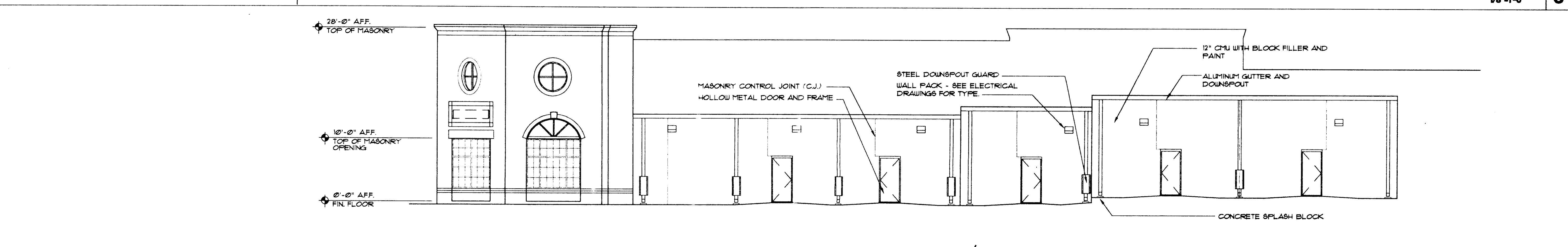


**KEY PLAN**



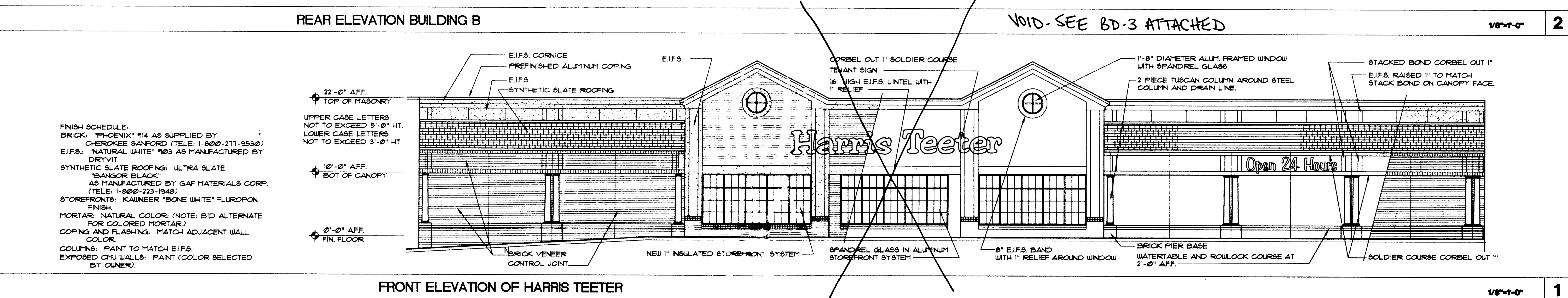
**FRONT ELEVATION BUILDING B**

1/8"=1'-0" 3



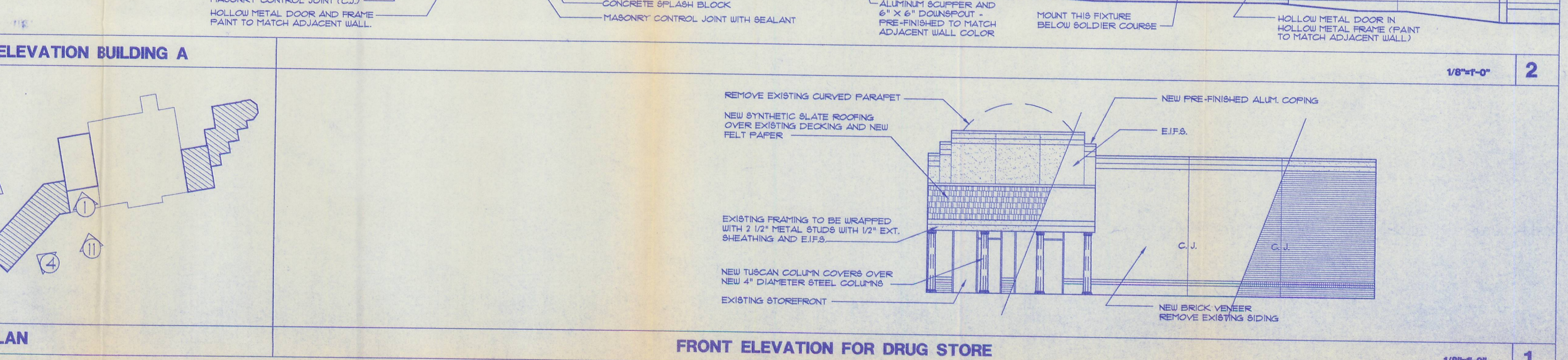
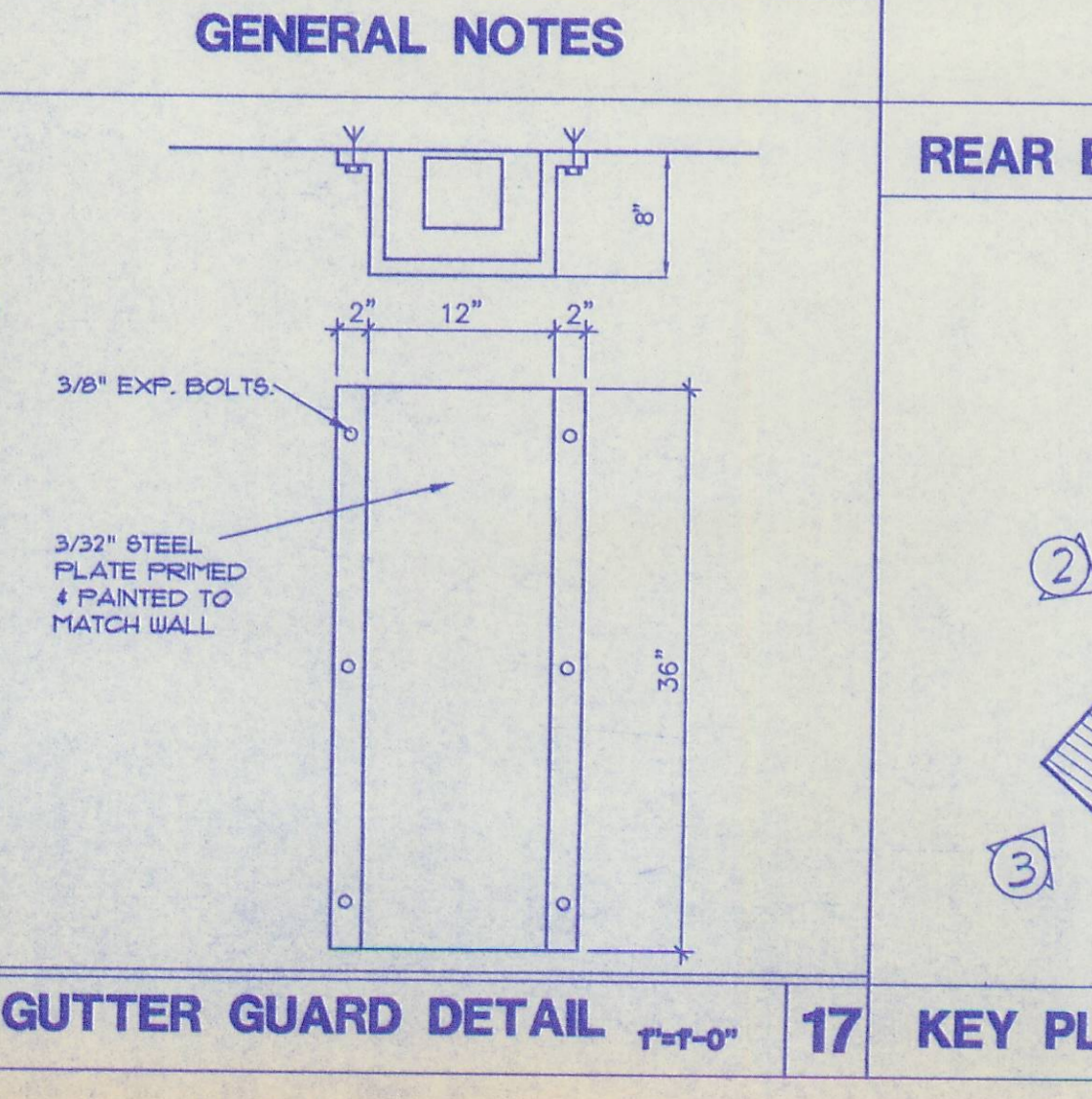
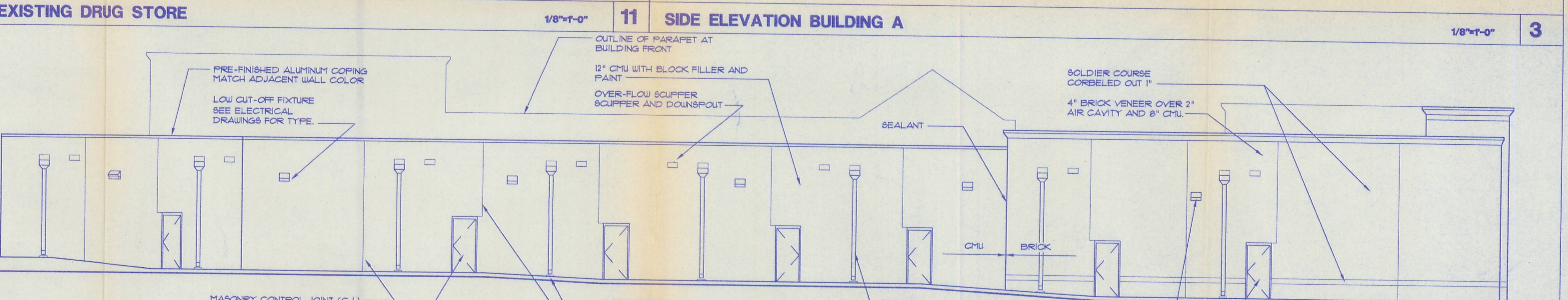
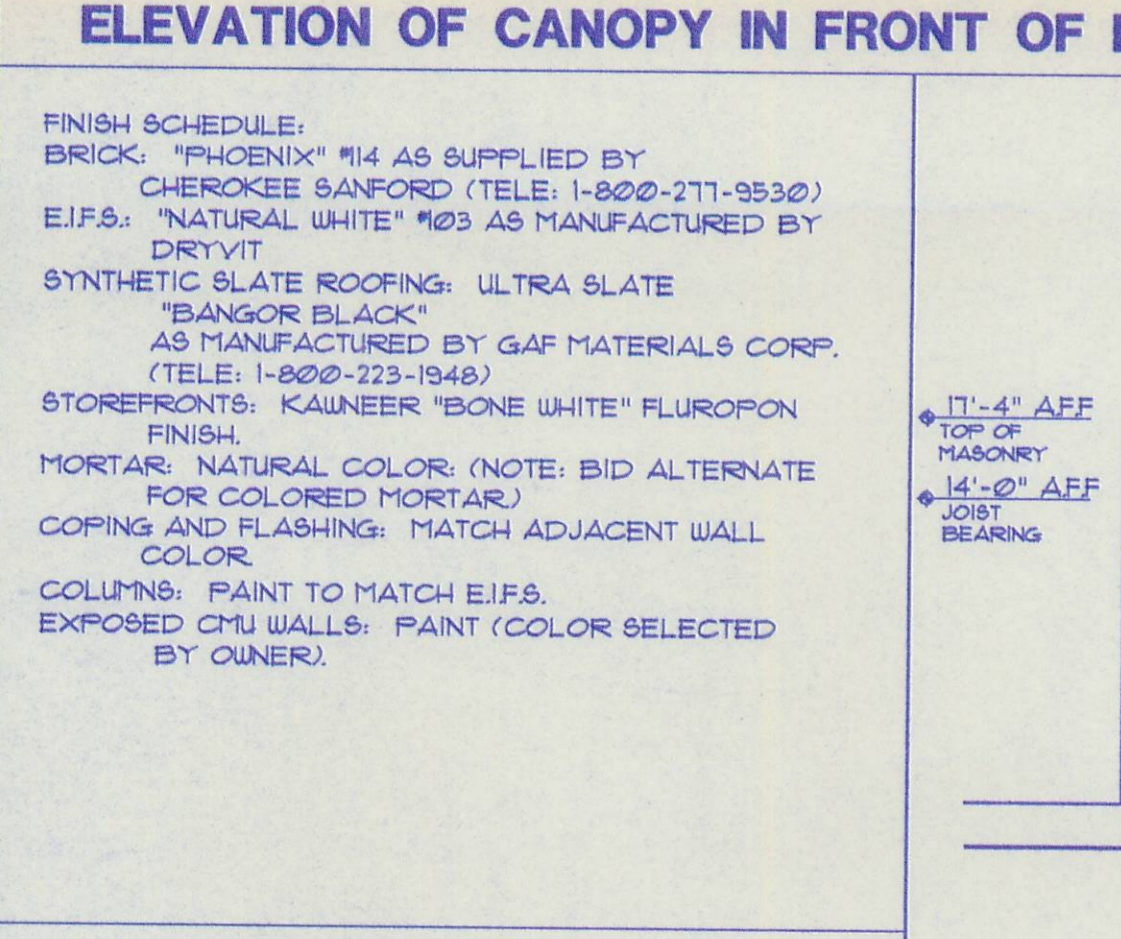
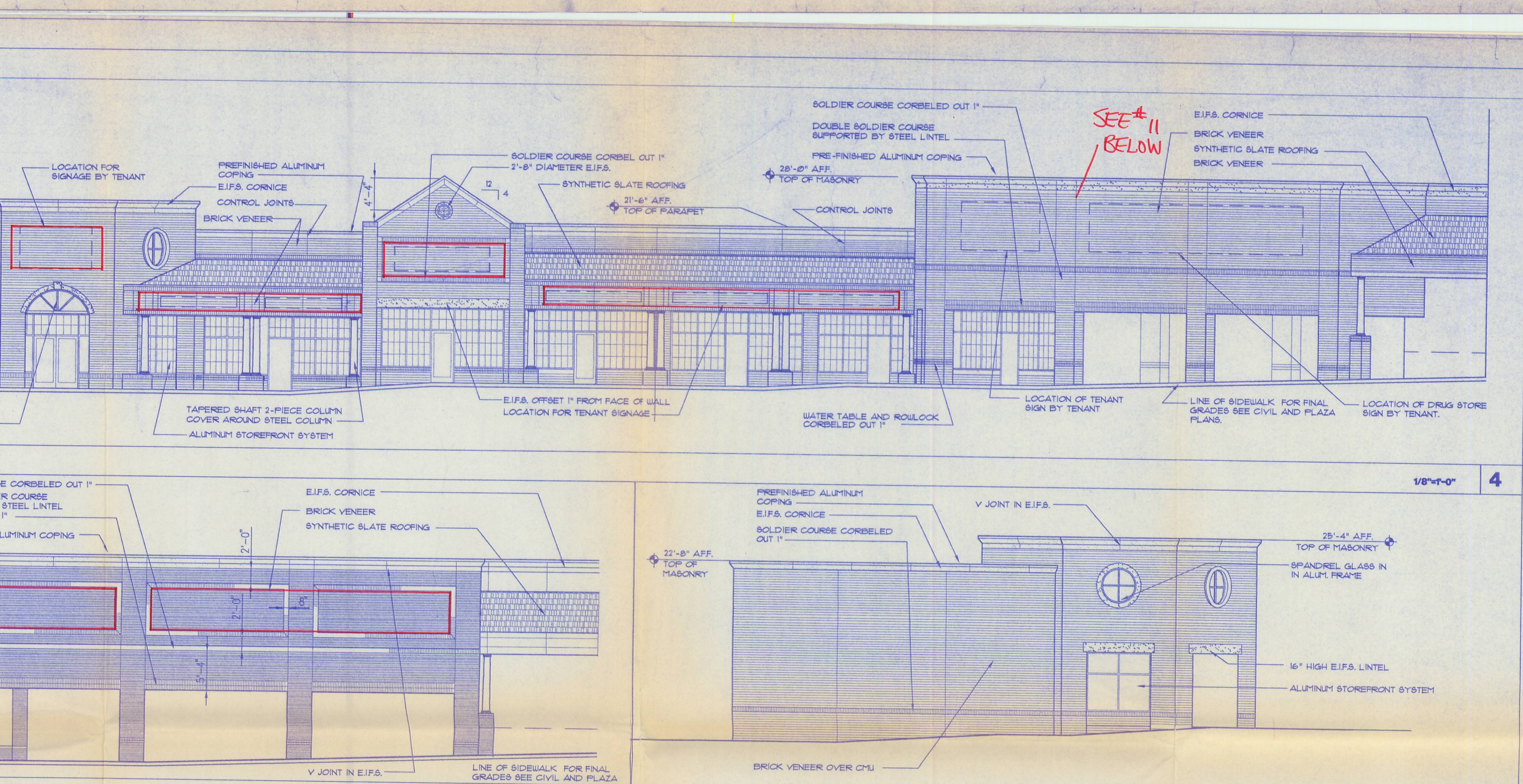
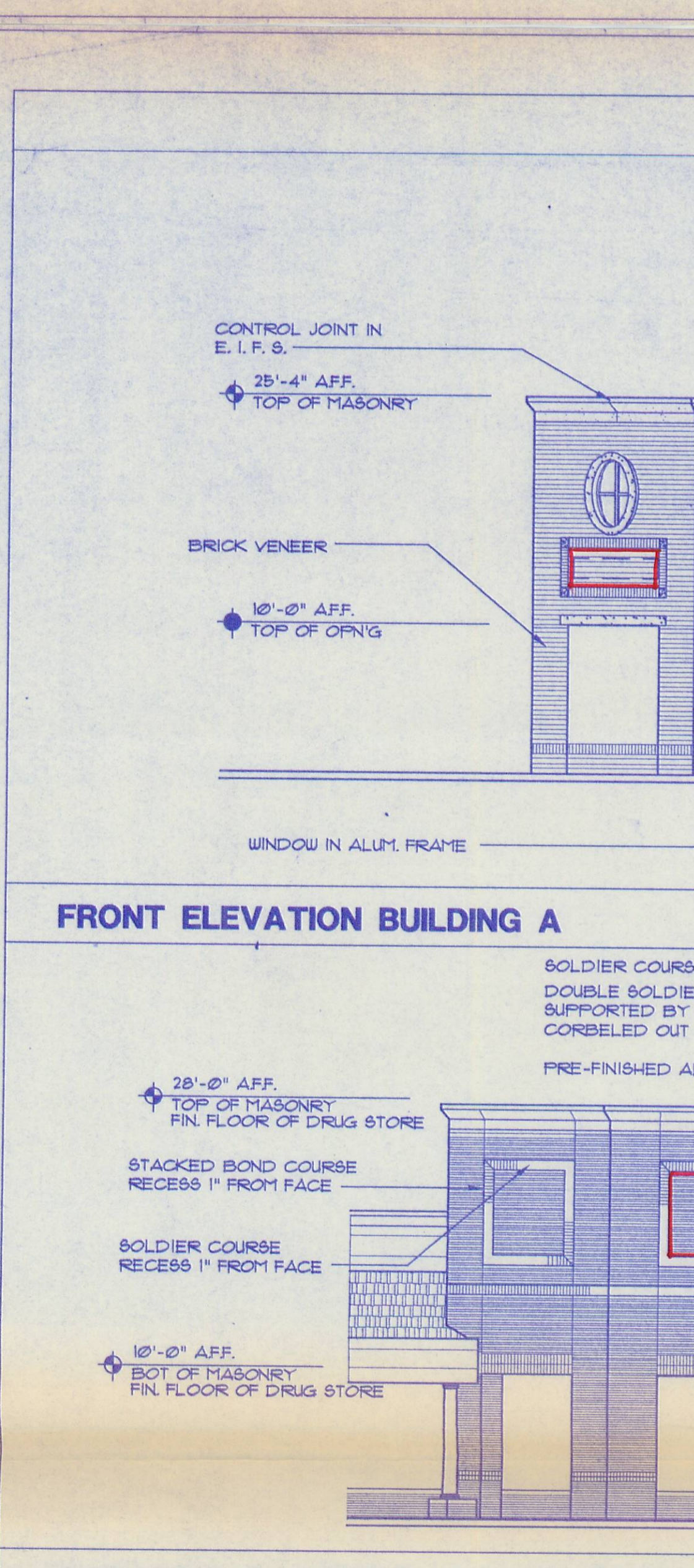
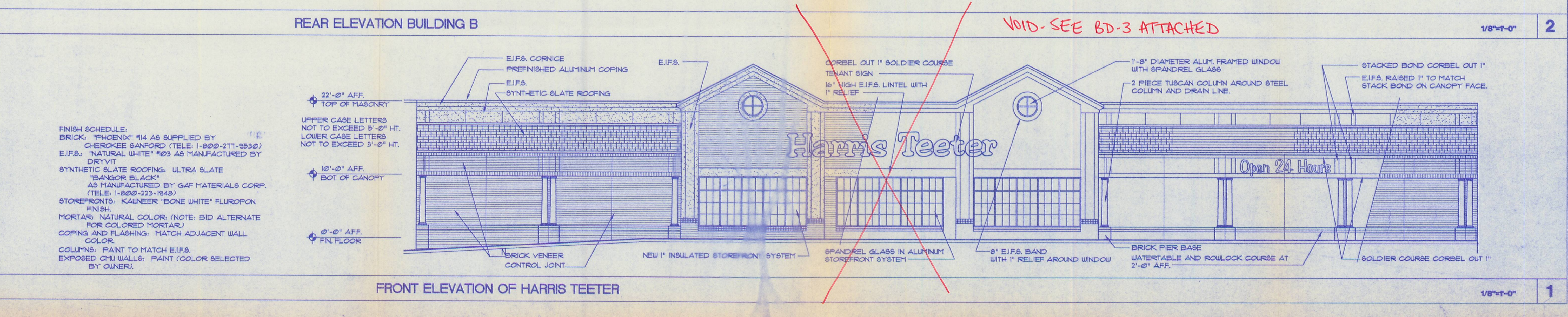
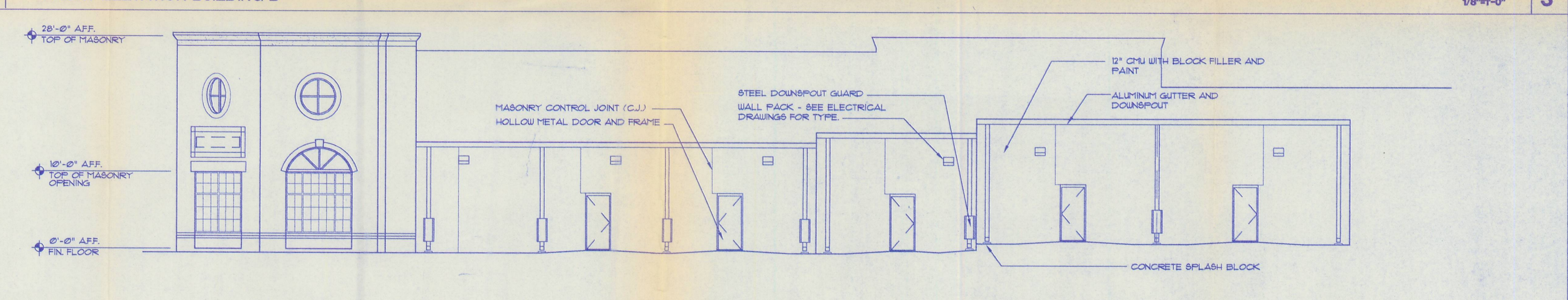
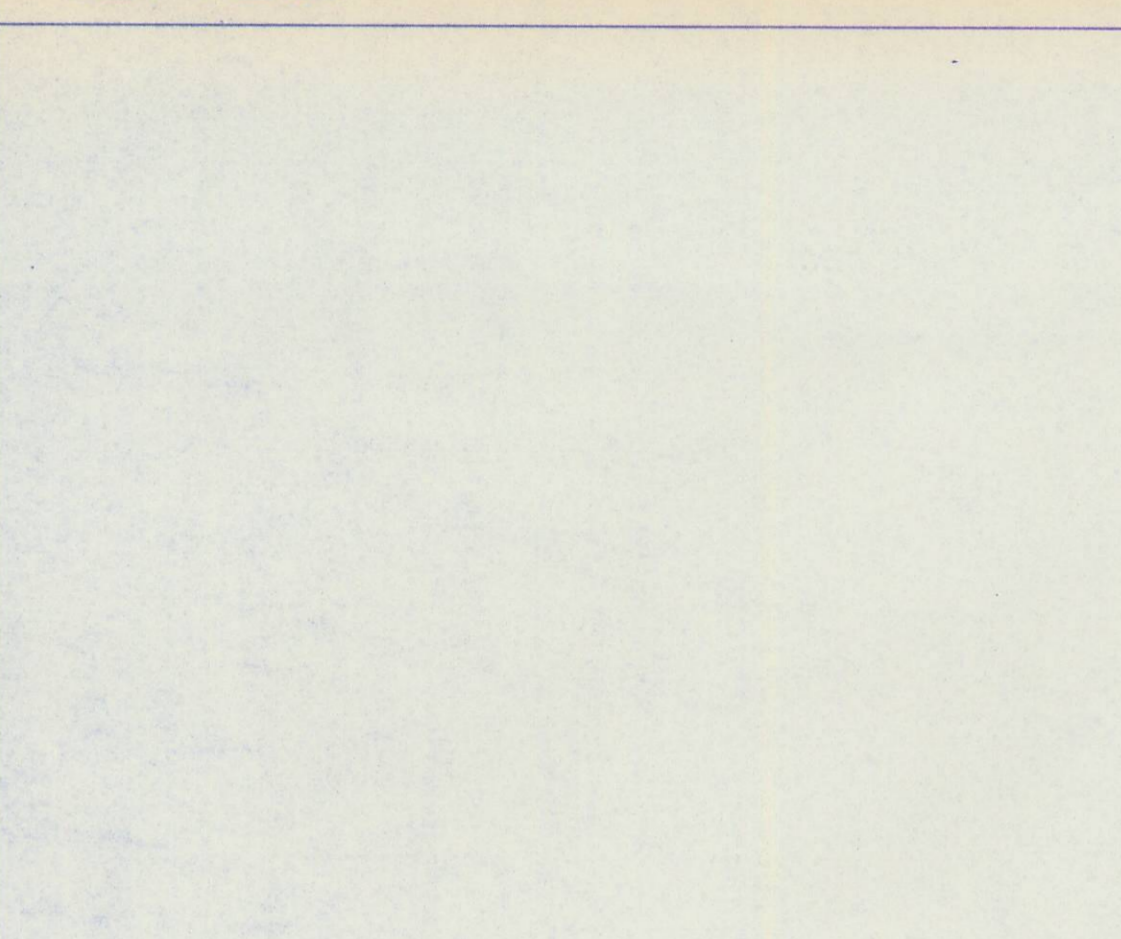
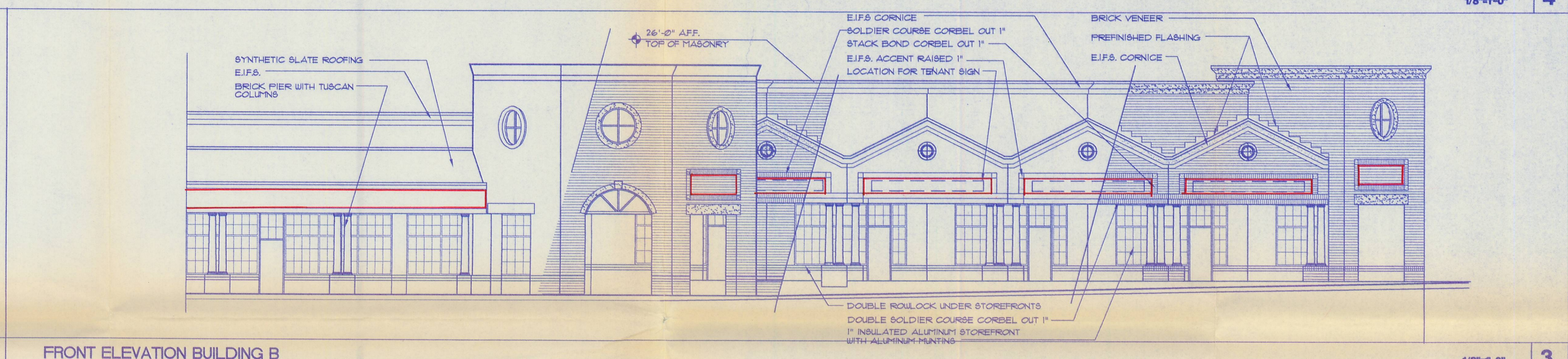
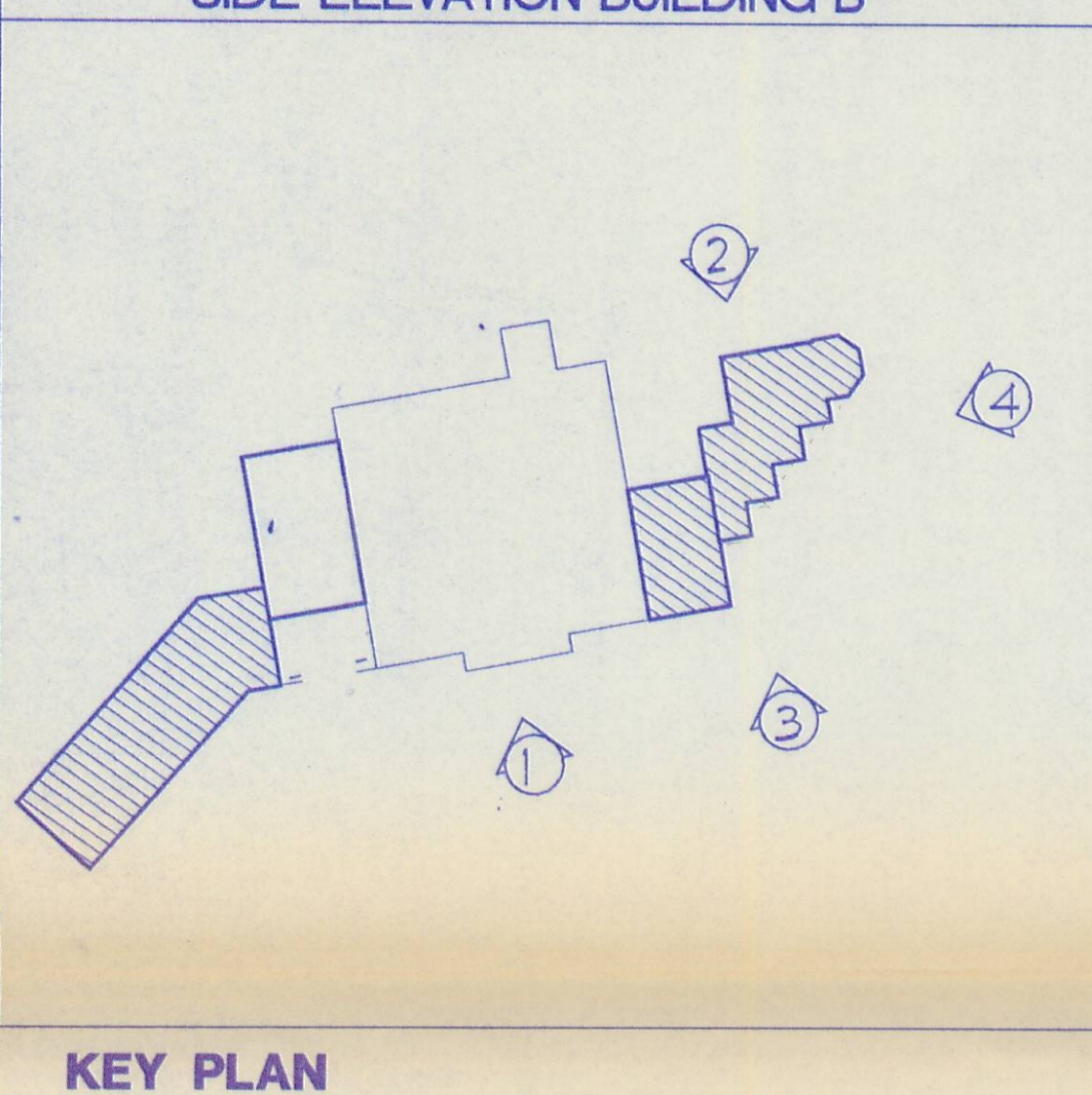
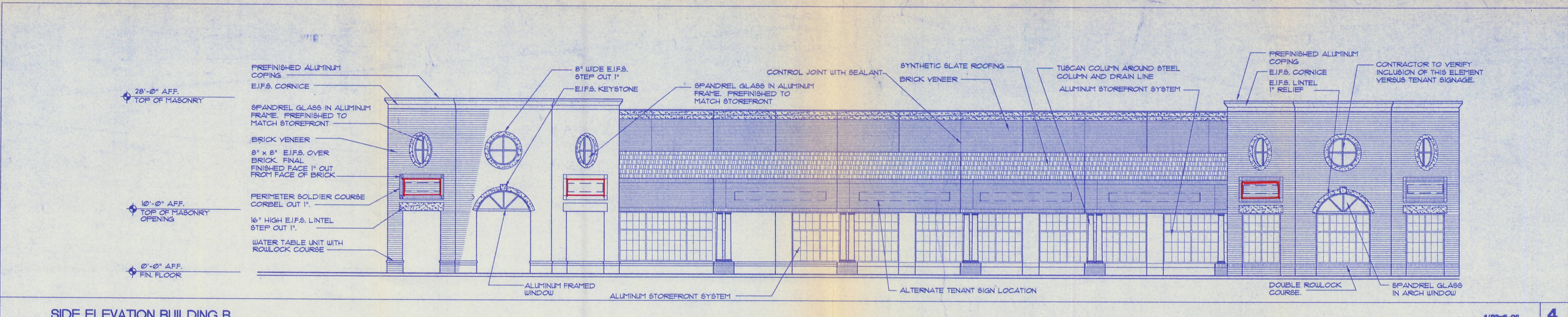
**REAR ELEVATION BUILDING B**

1/8"=1'-0" 2



**FRONT ELEVATION OF HARRIS TEETER**

1/8"=1'-0" 1



Little & Associates Architects  
285 Westpark Drive  
Charlotte, NC 28217  
704-524-4000  
704-524-1888 fax

Crosland Retail  
THE CROSLAND GROUP, INC.  
1225 Stanley Park Road  
Charlotte, NC 28209  
704-524-0272

Project: OLDE TOWNE VILLAGE CENTER CHARLOTTE, NORTH CAROLINA  
Sheet Title: BUILDING B AND HARRIS TEETER EXTERIOR ELEVATIONS  
Sheet No: 03-5249-00  
A3.2

Little & Associates Architects  
285 Westpark Drive  
Charlotte, NC 28217  
704-524-4000  
704-524-1888 fax

Crosland Retail  
THE CROSLAND GROUP, INC.  
1225 Stanley Park Road  
Charlotte, NC 28209  
704-524-0272

Project: OLDE TOWNE VILLAGE CENTER CHARLOTTE, NORTH CAROLINA  
Sheet Title: BUILDING A EXTERIOR ELEVATIONS  
Sheet No: 03-5249-00  
A3.1

V. P. In Charge  
CORPOLD  
Project Architect/Job Captain  
D. G. HALL  
Drawn By  
D. G. HALL  
Date Drawn  
12/23/91  
CADD Draw Name  
03524900\_ARCH A3-1R  
Revisions  
1 Date: 2/5/98  
2 Date: 2/5/98  
3 Date: 2/5/98  
Issue Date: 01-21-98  
Project Number  
03-5249-00  
Sheet  
A3.1

**CHARLOTTE - MECKLENBURG  
PLANNING COMMISSION**

**INTER - OFFICE COMMUNICATION**

**DATE:** March 18, 1999

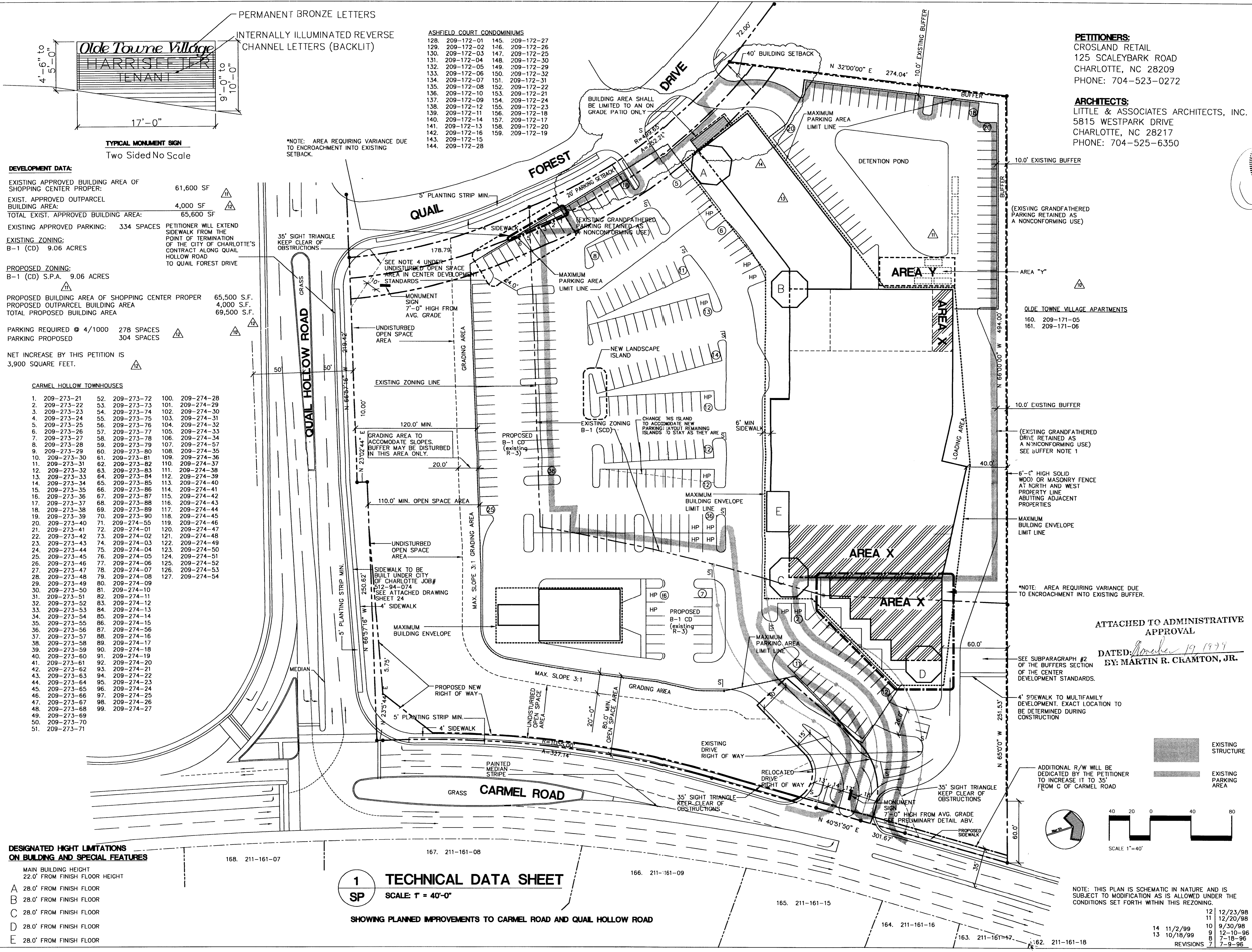
**TO:** Robert Brandon  
Zoning Administrator

**FROM:** Martin R. Cramton, Jr.  
Planning Director

**SUBJECT:** Conditional Plan for Petition No. 99-02 The Crosland Group, Inc. Tax Parcel 209-171-03 and 209-171-02.

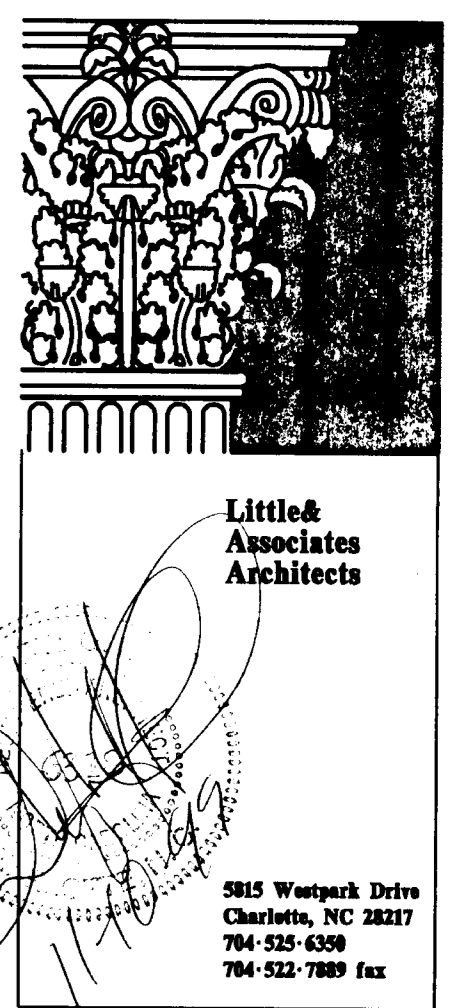
Attached is a specific site plan for the above site showing building elevations and sign locations. The size and color of these signs is still subject to sheet SP-2, from the rezoning approval, guidelines. This request meets the guidelines as outlined on the approved conditional plan therefore, I am administratively approving this specific plan. Please use this plan when evaluating the site for building permits and certificates of occupancy.

Approved March 18, 1999



**PETITIONERS:**  
 CROSLAND RETAIL  
 125 SCALEYBARK ROAD  
 CHARLOTTE, NC 28209  
 PHONE: 704-523-0272

**ARCHITECTS:**  
 LITTLE & ASSOCIATES ARCHITECTS, INC.  
 5815 WESTPARK DRIVE  
 CHARLOTTE, NC 28217  
 PHONE: 704-525-6350



**Crosland Retail**  
 THE CROSLAND GROUP, INC.  
 125 Scaleybark Road  
 Charlotte, NC 28209  
 (704) 523-0272

**OLDE TOWNE VILLAGE CENTER**  
**TECHNICAL DATA SHEET**  
 FOR PUBLIC HEARING  
 Project Title

V. P. in Charge  
 VRETTOS  
 Project Architect/Job Captain  
 VRETTOS  
 Drawn By  
 ASHANTI  
 Date Drawn  
 2-9-96  
 CADD Dwg. Name  
 P:\99\3378600\SP3A 1'-40'

Revisions  
 No. 1 Date 2-22-96  
 No. 2 Date 3-23-96  
 No. 3 Date 4-19-96  
 No. 4 Date 6-10-96  
 No. 5 Date 6-13-96  
 No. 6 Date 6-20-96  
 No. 7 Date 9-28-96  
 Issue Date

Project Number  
**3789**

Sheet Of  
**SP-3 5**

12 12/23/98  
 11 12/20/98  
 10 9/30/98  
 9 12-10-96  
 8 7-18-96  
 7 7-9-96

**1 TECHNICAL DATA SHEET**  
 SP SCALE: 1" = 40'-0"

SHOWING PLANNED IMPROVEMENTS TO CARMEL ROAD AND QUAIL HOLLOW ROAD

**CHARLOTTE - MECKLENBURG PLANNING COMMISSION**  
 INTER - OFFICE COMMUNICATION

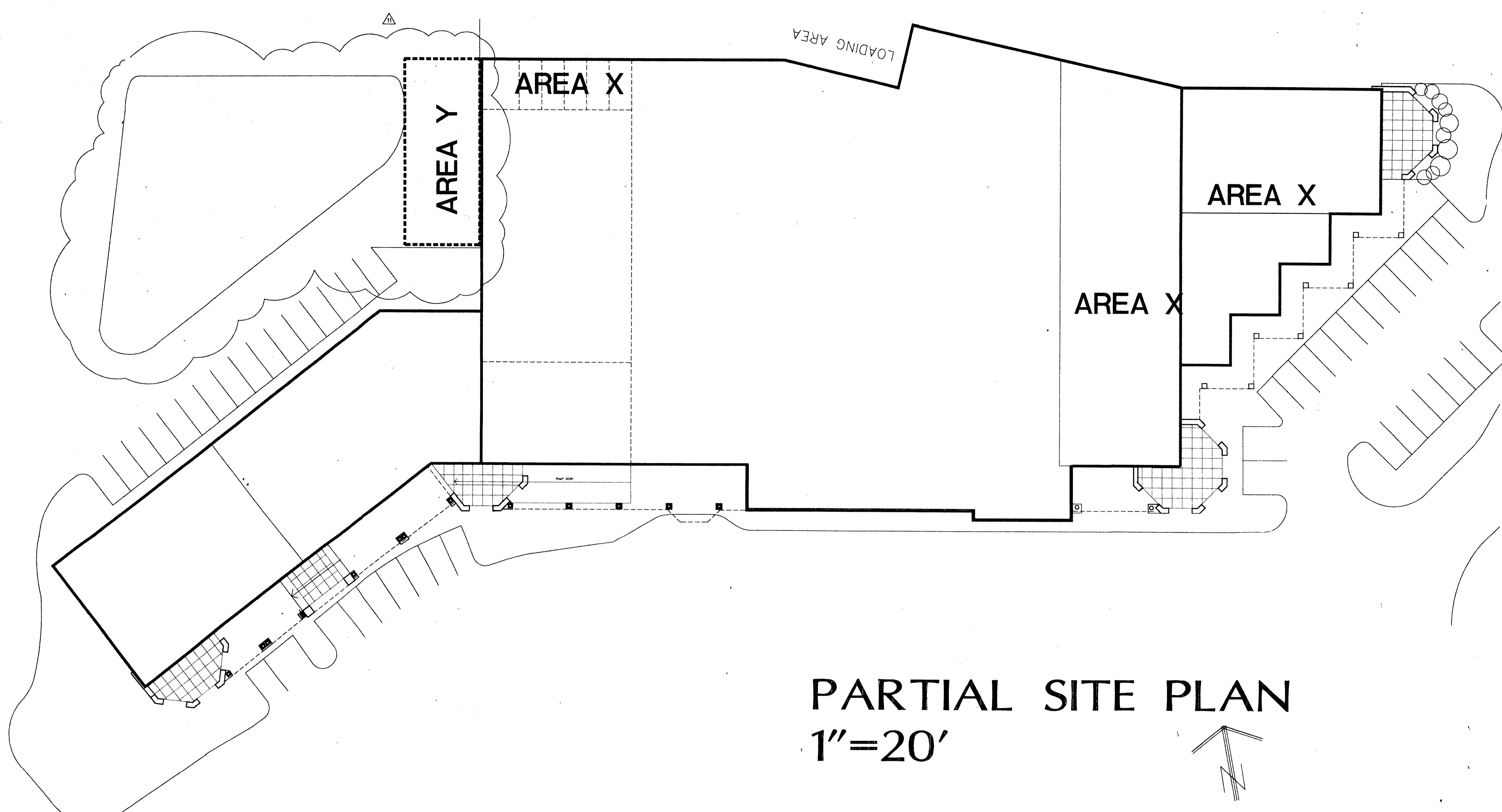
DATE: November 19, 1999

TO: Robert Brandon  
 Zoning Administrator

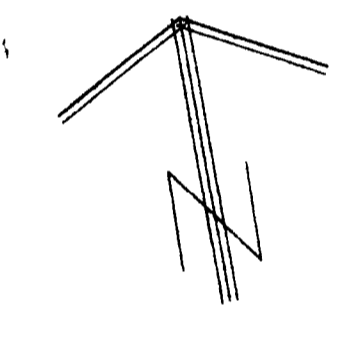
FROM: Martin R. Cramton, Jr.  
 Planning Director

SUBJECT: Conditional Plan for Petition No. 99-02 The Crosland Group, Inc. Tax Parcel 209-171-03 and 209-171-02.

Attached are revised site plans for the above petition. The plans have been revised to allow an on grade patio in the setback along Quail Forest Drive and additional signage on the shops along Carmel Road. This signage will be similar in size (16") and design as the existing signage. Since these changes are minor, I am administratively approving this specific plan. Please use this plan when evaluating the site for building permits and certificates of occupancy.



**PARTIAL SITE PLAN**  
1"=20'



**PRELIMINARY ELEVATION**  
1"=20'

ATTACHED TO ADMINISTRATIVE APPROVAL

DATE: *January 4, 2000*  
BY: MARTIN R. CRAMTON, JR.

15	1/3/00
11	12/20/96
6	7/8/96
REVISIONS	

**Little & Associates Architects**  
5815 Westpark Drive  
Charlotte, NC 28217  
704-522-4300  
704-522-7889 fax

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**Crosland Retail**  
THE CROSLAND GROUP, INC.  
128 Sweeneybark Road  
Charlotte, NC 28209  
(704) 522-0272

Project: **OLDE TOWNE VILLAGE CENTER**  
Sheet Title: **SCHEMATIC ELEVATIONS**  
FOR PUBLIC HEARING

V. P. in Charge	
VRETTO	
Project Architect/Job Captain	
VRETTO	
Drawn By	
OLSSON	
Date Drawn	
JAN 18 1998	
CADD Dwg. Name	
PLOW/02578600/SP2	
Revisions	
No. 1	Date 3-22-98
No. 2	Date 3-25-98
No. 3	Date 4-29-98
No. 4	Date 5-20-98
No. 5	Date 6-23-98
Issue Date	

Project Number: **3789**  
Sheet: **SP-2** Of: **5**

PETITION NO. 99-02

**CHARLOTTE - MECKLENBURG PLANNING COMMISSION**  
INTER - OFFICE COMMUNICATION

DATE: January 4, 2000  
FROM: Martin R. Cramton, Jr. Planning Director  
TO: Robert Brandon Zoning Administrator

SUBJECT: Conditional Plan for Petition No. 99-02 The Crosland Group, Inc. Tax Parcel 209-171-03 and 209-171-02.

Attached is a revised site plan sheet SP-2 of 5 for the above petition. The plan has been revised to allow CVS to erect 24-inch letters on the wall sign. This request only covers this minor change for the size of lettering on the CVS. Since this change is minor, I am administratively approving this specific plan. Please use this plan when evaluating the site for building permits and certificates of occupancy.

16'-8"

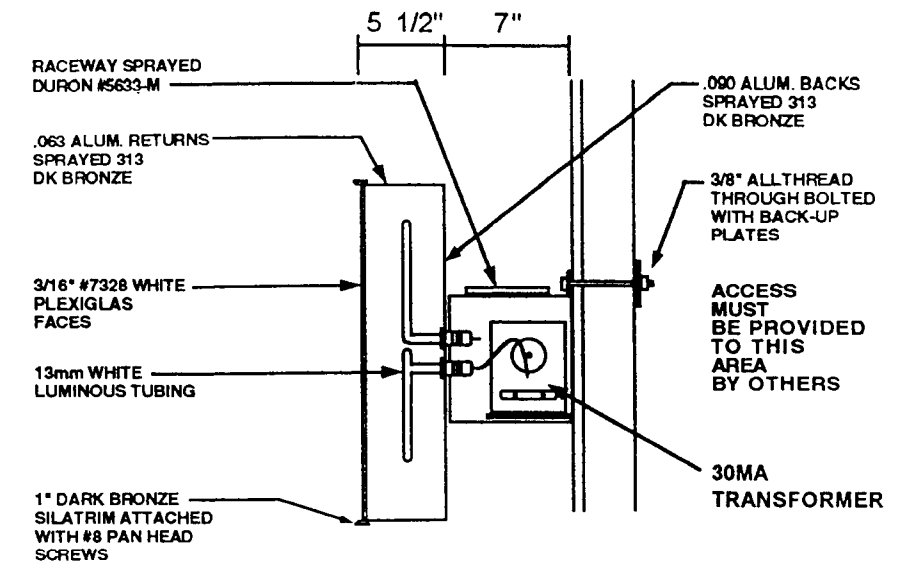
2'-0"

# CVS/pharmacy

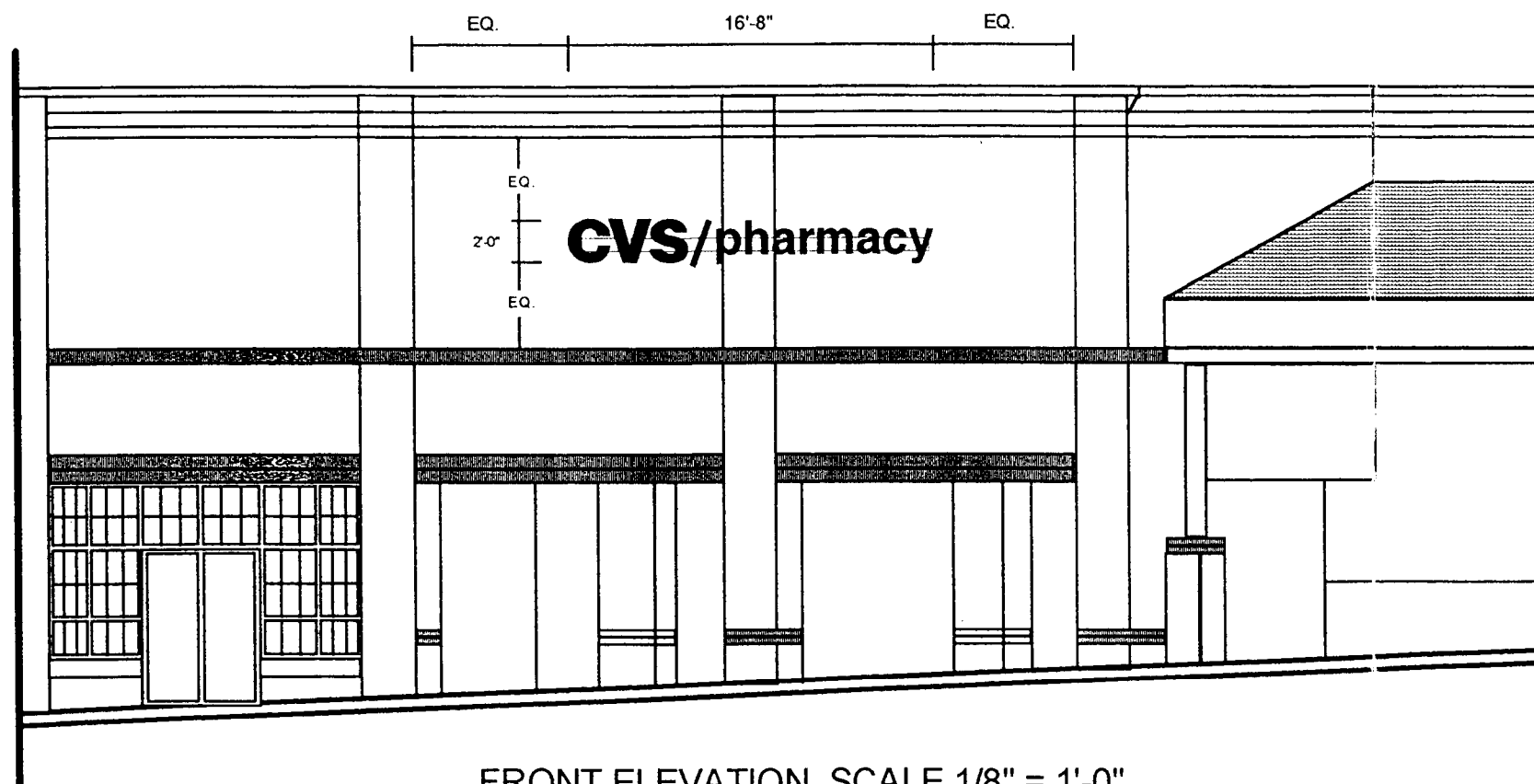
1'-7"

7" RACEWAY

**SIGN (A) LAYOUT**  
SCALE 1/4" = 1'-0"



**SECTION 1" = 1'-0"**



**FRONT ELEVATION SCALE 1/8" = 1'-0"**

**DESCRIPTION OF WORK:**

SIGN A  
MANUFACTURE AND INSTALL ONE (1) 24" PLASTIC FACED CHANNEL LETTERS MOUNTED ON 7" X 7" RACEWAY AS SHOWN ON OUR DRAWING.

MESSAGE: CVS/pharmacy

**MATERIALS:**

- PLASTIC FACED LETTERS TO BE ALL ALUMINUM CONSTRUCTION WITH A FACTORY FINISH 313 DARK BRONZE ON ALL EXTERIOR SURFACES AND INTERIOR SURFACES SPRAYED WITH WHITE ENAMEL.
- LIGHTING FROM AN INTERNAL SOURCE OF 13MM 6500 WHITE LUMINOUS TUBING POWERED BY 30 MA REMOTE TRANSFORMERS HOUSED IN RACEWAY.
- RACEWAY TO BE 7" X 7" DEEP ALUMINUM SPRAYED DURON #5633-M ON EXTERIOR SURFACES.
- FACES OF LETTERS TO BE 3/16" 7328 WHITE PLEXIGLAS WITH DARK BRONZE RETAINERS.
- MOUNTING INSTALL SIGN FLAT AGAINST BRICK WALL WITH 3/8" ALTHREAD THROUGH BOLTED WITH BACK-UP PLATES THRU CONTINUOUS TOP FLANGE.
- NOTE: ACCESS MUST BE PROVIDED BEHIND BUILDING FACIA FOR INSTALLATION OF SIGN.
- ELECTRICAL RUN TO SIGN LOCATION BY OTHERS. ONE (1) 20AMP, 120 VOLT, ELECTRIC CIRCUITS REQUIRED.
- NOTE: ALL WIRING AND MATERIALS TO BE U.L APPROVED AND ALL THROUGH THE WALL PENETRATIONS TO BE SEALED.

**SERVICE NEON SIGNS NC**

6611 IRON PLACE  
SPRINGFIELD, VA.  
22151  
(703) 354-3000 TELEPHONE  
(703) 354-5810 FAX

CUSTOMERS NAME #2561  
**CVS/pharmacy**

LOCATION  
4104 CARMEL ROAD  
CHARLOTTE, N.C.

DRAWING # 11-99-391 DATE 11-24-99  
SALESPERSON **RICK PEPPER**

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CUSTOMER APPROVAL