

VICINITY MAP N.T.S.

DEVELOPMENT STANDARDS
Mallard Creek Church Road Site (Revised 12/14/98)

General Provision
Unless more stringent standards are established by the Technical Plan of these Development Standards, all development standards established under the Mecklenburg County Zoning Ordinance (the "Ordinance") for the O-1 zoning district classification shall be followed in connection with development taking place on the Site.

Permitted Uses
The Site may be used for general or medical office, including a branch bank and any accessory use which is permitted under the Ordinance by right or under prescribed conditions in an O-1 Zoning District.

Square Footage Restrictions
The gross floor area of all buildings constructed on the Site may not exceed, in the aggregate, 20,000 square feet.

- Buffers**
1. Buffer areas established on this Technical Plan shall conform to the standards of Section 12.302 of the Ordinance, subject, however, to the provisions of Section 12.304 thereof.
 2. Buffer areas shall remain as open space, subject to the provisions of Paragraph (3) below. Buffer will be left undisturbed where significant existing vegetation exists.
 3. No buildings, parking spaces, maneuvering areas or storm water detention facilities may be located within buffer areas.
 4. Where existing trees and natural vegetation have been cleared to accommodate pedestrian sidewalks or pathways or the installation of utilities, the cleared, unimproved areas will be landscaped with trees and shrubs.
 5. The width of the buffer areas depicted on the Technical Plan may be reduced. If a fence is employed to reduce the width of the buffer, it will be located per Sec. 12.302 of the Ordinance.
 6. Should any abutting property subsequently be rezoned to a zoning district classification which would not give rise to a buffer requirement on the Site, Petitioner reserves the right to eliminate the buffer area abutting any such property.

- Setbacks, Side Yards and Rear Yards.**
1. All buildings constructed within the Site shall satisfy or exceed the rear yard and side yard requirements established under the Ordinance for the O-1 Zoning District.
 2. A 70/60 foot building and parking setback will be established along Mallard Creek Church Road, as depicted on the Technical Data Sheet.
 3. Stormwater detention may not be located within setback.

- Screening and Landscaped Areas**
1. The Owner shall install or cause to be installed within the landscaped areas established along Mallard Creek Church Road plants, trees and other materials in accordance with the landscaping specifications established on this Technical Plan and shall thereafter maintain or cause to be maintained all such materials (including replacement of dead or dying plants and trees).
 2. Landscaping areas will be planted and improved in sequences which are keyed to each phase of development taking place on the Site.
 3. Plantings within landscaped areas will meet or exceed the requirements of the Ordinance.
 5. Screening shall conform with the standards and treatments specified in Section 12.303 of the Ordinance.
 6. All trees within the setback which are 6" in cal. and larger will be preserved (except those which must be removed to accommodate drives and sidewalks).

- Public Road Improvements**
The petitioner shall provide a right-turn lane at the eastern-most driveway of Mallard Creek Church Road in accordance with the criteria and requirements of N.C.D.O.T. and Mecklenburg County Engineers. Right-turn lane shall have 150' storage and 180' degree taper. Petitioner shall also install a five-foot sidewalk with a minimum eight-foot planting strip along the frontage of Mallard Creek Church Road. If necessary, the sidewalk may be placed within the setback on a sidewalk easement.

- Parking**
Off street parking will meet the minimum standards established under the Ordinance.

- Lighting**
1. All freestanding lighting fixtures installed within the Site will be uniform in design.
 2. The maximum height of any freestanding lighting fixture, including its base, shall not exceed 20 feet in height. No wall pack type lighting fixtures will be allowed.
 3. All direct lighting within the Site (except street lights which may be erected along Mallard Creek Church Road) shall be designed such that direct illumination does not extend past any property line. Consideration will be given to the impact of lighting both within and without the perimeter of the Site. Items for consideration will include intensity, cutoff angles, color, energy efficiency and shielding of sources of light, the intent being to eliminate glare towards Mallard Creek Church Road and adjacent properties.

- Signs**
All signs placed on the Site will be erected in accordance with the requirements of the Ordinance.

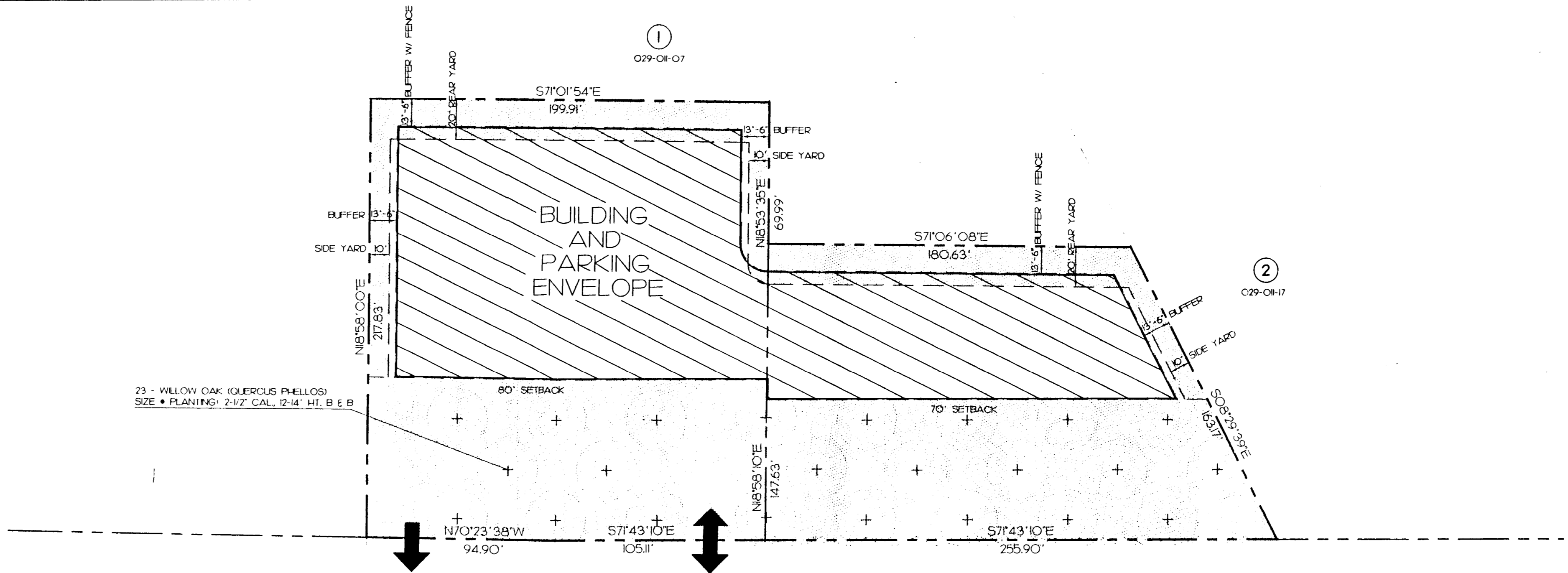
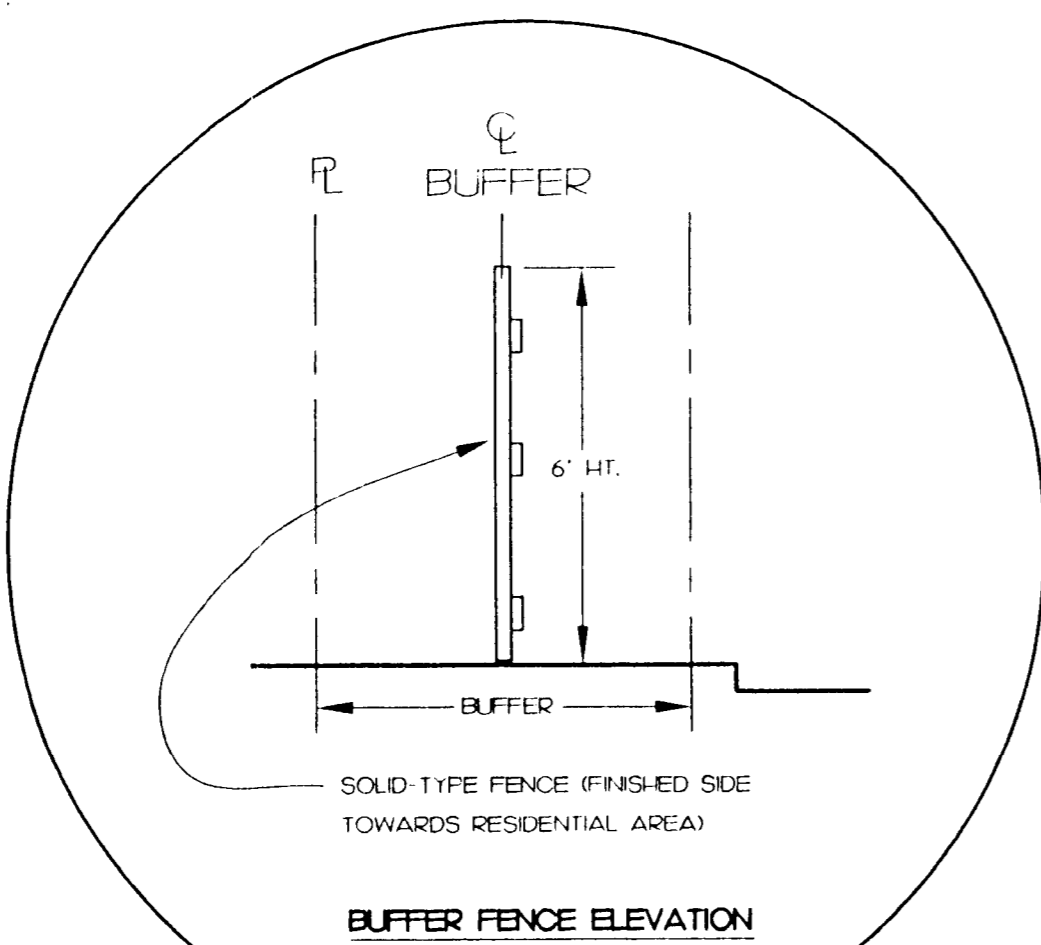
- Access Points (Driveways)**
1. The number of vehicular access points to the Site shall be limited to the number depicted on this Technical Plan. Should this site be developed without a bank use the westernmost access will be eliminated, and the petitioner will only be allowed one access point to Mallard Creek Church Road.
 2. The placement and configuration of each access point are subject to any minor modifications required to accommodate final site and architectural construction plans and designs and to any adjustments required for approval by the County Engineering Department and the North Carolina Department of Transportation.

- Fire Protection**
Adequate fire protection in the form of fire hydrants will be provided to the Mecklenburg County Fire Marshal's specifications. Plans for each building will be submitted to the Fire Marshal's office for approval before the construction of that building commences.

- Architectural Controls and Restrictive Covenants**
1. Dumpster areas will be enclosed on all four sides by a brick wall with one side being a hinged wooden gate. If one or more sides of a dumpster area adjoin a rear wall of a building, the rear wall may be substituted for a side.
 2. All mechanical equipment including roof top equipment shall be screened from view from streets adjoining residential properties.
 3. At least 80% of all the exterior opaque vertical surfaces of the front, side and rear elevations of all buildings constructed on the Site will consist of brick materials.

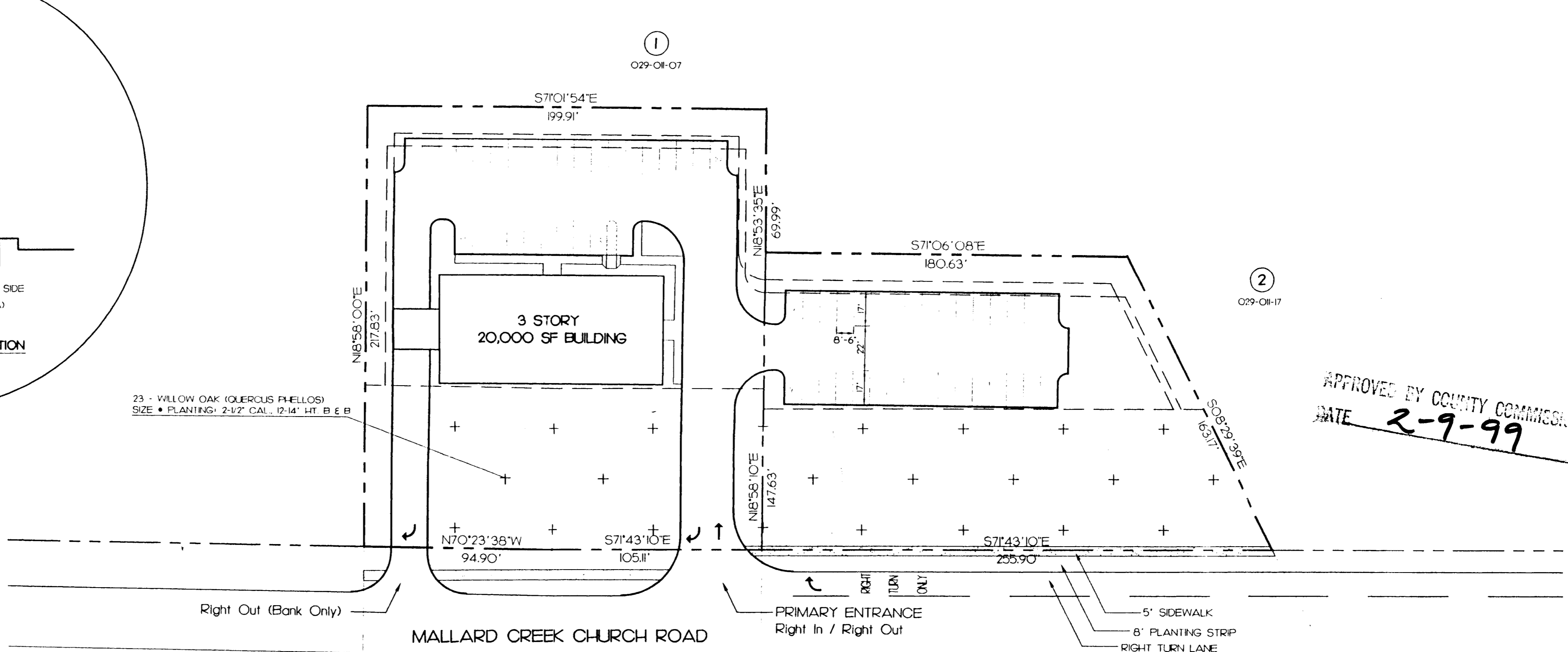
- Storm Water Management**
Storm water runoff from the Site will be managed through proven techniques which satisfy the standards imposed by the Mecklenburg County Engineering Department.

SITE DATA
EXISTING ZONING: R-3
PROPOSED ZONING: O-1 (CD)
TOTAL AREA: 1.73 ACRES
PROPOSED SQUARE FOOTAGE:
20,000 SQUARE FEET



MALLARD CREEK CHURCH ROAD

TECHNICAL PLAN



MALLARD CREEK CHURCH ROAD

SCHEMATIC PLAN

REZONING PETITION FOR
PROPOSED OFFICE BUILDING
MALLARD CREEK TOWNSHIP, MECKLENBURG COUNTY, NORTH CAROLINA
SAHA INTERNATIONAL CORPORATION
385 YORKFORD DRIVE
CHARLOTTE, NORTH CAROLINA, 28209

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PETITION # 99-03(c)
TECHNICAL AND SCHEMATIC PLAN
FOR PUBLIC HEARING

APPROVED BY COUNTY COMMISSIONER
DATE **2-9-99**

Scale: 1" = 40'
Date: 26 OCTOBER 1998

Revisions:
12/14/98 - per county comments of 12/8/98
12/18/98 - rvs. "Develop. Stds." text
1/13/99 - additional Right Turn Lane
1/27/99 - rev. to "Public Road Improvements" notes

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