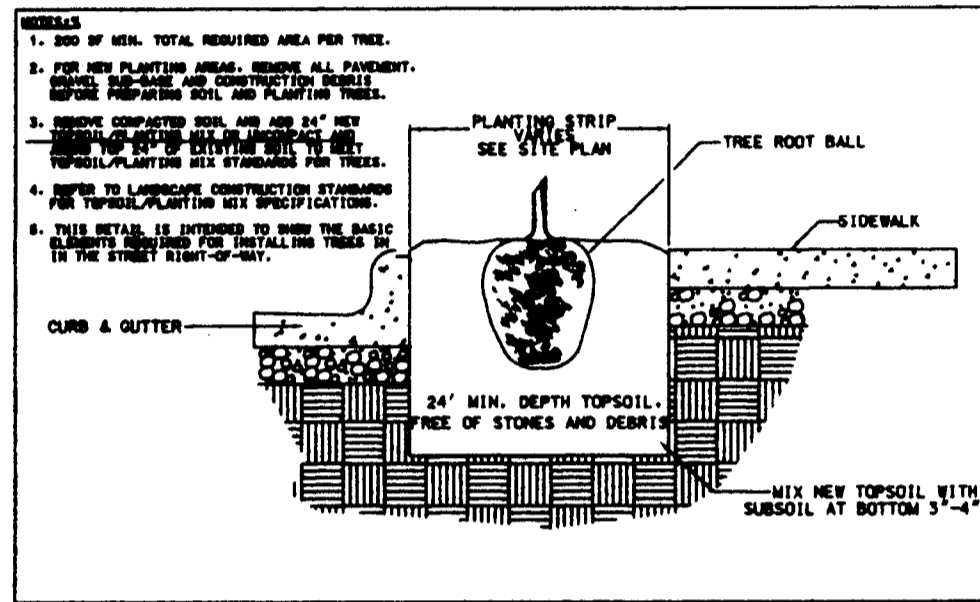
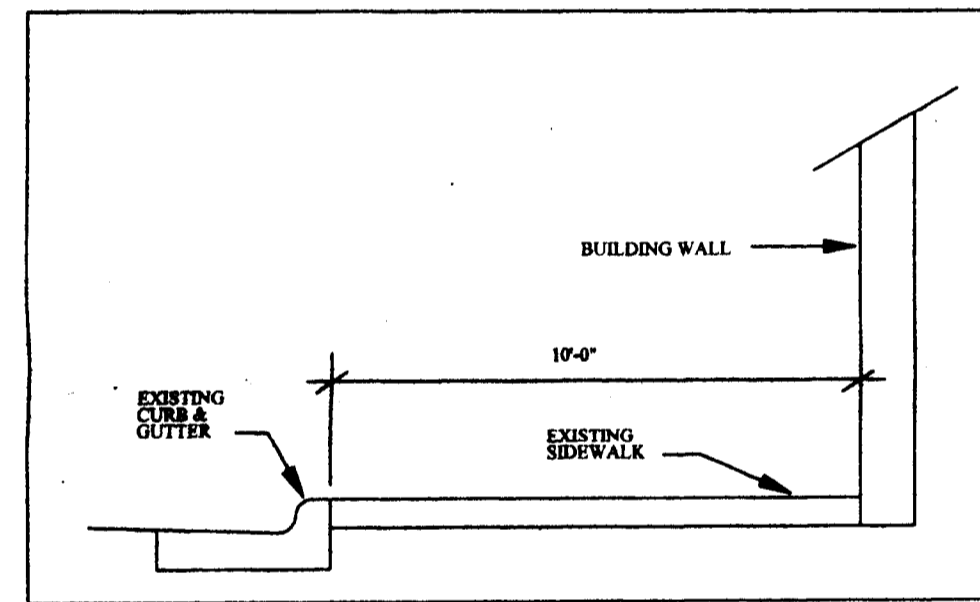


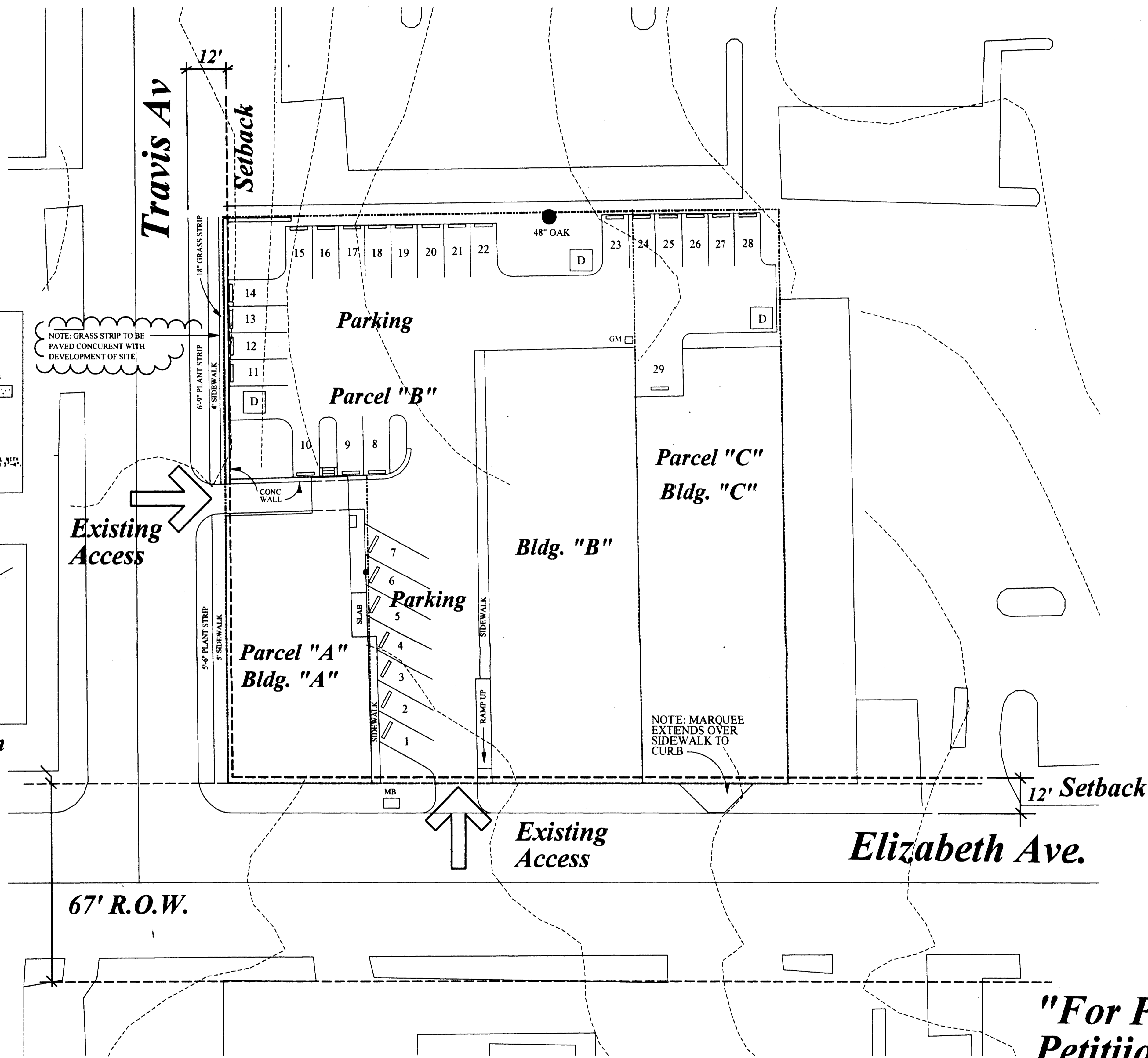
Vicinity Map



Travis Ave. Planting Strip



Elizabeth Ave. Cross Section



Site Data

Existing Zoning: B-2
 Proposed Zoning: MUDD-O(CD)
 Maximum Building Size: 18,649 Sq. Ft. (Existing Building)
 Parking: Will meet or exceed Ordinance requirements
 Required Yard Dimensions: Setback is 12 ft. off of Back of Curb
 Parcel Area #A - .11 AC Bldg. Area - 4309 SF
 Parcel Area #B - .50 AC Bldg. Area - 7380 SF
 Parcel Area #C - .22 AC Bldg. Area - 6960 SF

Conditional Notes

Craver Property
 Elizabeth Ave. at Travis Ave.
 Development Notes

1. This Site Plan represents the arrangement of buildings, access, and parking on this site. The existing buildings are to remain and no new buildings are proposed.
2. The site is proposed to be used for uses allowed in the MUDD district, except that the site will not be used for an automobile service station, pest control, or building materials sales.
3. All dumpsters will be screened with solid enclosures with gates.
4. Access points to the site from Elizabeth Ave. and Travis Ave. will be limited to those shown on this site plan. Inasmuch as the site consists of existing buildings, existing parking lots with isles and spaces already established, and existing driveways, the Petitioner does not propose to add new access points or alter the existing driveways.
5. The development of the site will comply with Sections 9.8505, 9.8056, and 9.8057 as well as other appropriate zoning restrictions.
6. Screening will be provided in accordance with Sections 12.303 and 9.8056(2)(b).
7. If a fire hydrant is not located within 750' of the site, the Petitioner will provide one.
8. The Petitioner will implement the improvements called for by this Petition along Travis Ave. when the buildings and/or parking areas which adjoin Travis Ave. are redeveloped or altered such that a change of use permit is required. Further, it is noted due to the narrowness of the sidewalk area along Elizabeth Ave., that no streetscape improvements will be required unless the buildings which front along Elizabeth Ave. are removed.
9. Parking will be provided, either on site or off site, at a rate that will meet or exceed the requirements of the MUDD district. If a restaurant or private club is established on the site, parking for such use will be provided, either on site or off site, at the rate double that of the MUDD district for area devoted to that use.
10. In conjunction with Notes 8 and 9 above, the Petitioner seeks approval of a MUDD-Optional district to recognize the existing configuration of buildings, driveways, and parking.

December 20, 1998, For Public Hearing.

APPROVED BY CITY COUNCIL
 DATE 2-15-99

NOTE: Parcel Area Acreages and Building Area square footages are based on Tax Map data.

"For Public Hearing"
Petition Number - 99-07
 080 197 05-07

080 197 05-07
Site Plan
 October 26, 1998
 Revised - 12-23-98
 Revised - 1-29-99

Sam Craver, Owner
 PO Box 558
 Waxhaw, NC 28173
 Phone: (704) 843-4857

Visulite Theater Property

Regenbogen Associates
 4112 Old Pineville Rd.
 Charlotte, NC 28217
 Phone: (704) 525-7878
 Fax: (704) 523-3640

