

Landscape Notes (Urban Forestry)

- Utility & Lighting Plan to be provided at construction drawing stage to avoid conflicts with proposed landscaping. Underground utilities to be located minimum 15' from trees.
- Internal Trees to be provided (1/10,000 SF improvements) throughout the site. Parking to be located with must be within 60' of a tree. Tree Islands must be at least 274 sq.ft., minimum width of 8'.
- Required perimeter trees in first 25' of setback, (can use existing trees in setback not R/W).
- Perimeter and internal tree requirements calculations:
 Perimeter Tree = 1 Tree per every 40' of public road frontage (30' if overhead power lines).
 Internal Tree = 1 Tree per 10,000 sq.ft. impervious of entire site. Also show 10% of impervious area is landscape area.
 75% of trees must be larger maturing trees.
 50% should be native; if planting more than 20 trees use three different species.
 Tree species must be from current approved species list.
- Trees 8" DBH or greater within R/W and setback to be protected. Tree protection shown on Erosion Control Plans, along with Tree Protection Detail 40.02 and related notes.
- Trees planted within the setback along W.T. Harris Boulevard shall be from the approved plant list (appendix a) of the ordinance. The trees shall be 2" caliper minimum and 6-8' in height. The trees shall be spaced 40' on center maximum.
- All lighting provided will be in accordance to Section 8 of the approved Zoning Petition # 1999-09.
- Required screening for parking areas from any street ROW or abutting lot will be provided per Section 12.303 of the Zoning Ordinance.

Street Notes

- Private streets internal to the project shall be designed in accordance with the typical private street section as provided in the City of Charlotte's Land Development Standards Manual for this street type.
- Meadow Vista Road- Private connector street connecting the eastern and western reaches of Meadow Vista Drive will include an 8' wide planting strip and 6' sidewalk along one (1) side of the street which abuts the developed area of the property as illustrated on Sheet 1 of the Administrative Amendment Site Plan.
- Private streets are proposed to be gated at entrances, as shown on the plan.
- Cross access easement will be provided in accordance with rezoning Petition # 1999-09 Section 9(B). Location to be provided during the construction document phase.

Parking & Sidewalk Notes

- A 5' wide minimum sidewalk is provided from each unit out to all adjoining public street sidewalks.
- Sidewalks are provided abutting all parking located in front of buildings. The sidewalk is behind the curb, 7' in width total including the curb.
- Bike parking will be provided in accordance with ordinance requirements. Locations to be provided during the construction document phase.
- All portions of residential buildings must be within 400' of a public street. These areas are shaded in gray.

General Notes

- Above ground backflow preventors to be screened and located outside setback areas.
- All utilities will be underground and in accordance with ordinance requirements. Locations to be provided during the construction document phase.
- Street names and addressing will be conducted during final design and platting stages of the project.

Design Guidelines

1. Building design style and exterior materials will be substantially similar in quality and appearance to the character sketch submitted as part of elevations submitted with rezoning Petition # 1999-09.

Solid Waste/Recycling Notes

1. Solid waste and recycling will be provided in accordance with ordinance requirements. Exact locations and enclosure information to be provided during the construction document phase.

Project Schedule/Completion

1. Project schedule is anticipated to be completed in one phase by 2014.

Permitted Use -- Statement of Use

1. Use of the site is devoted to the development of MF Condominiums as specified in Rezoning Petition #1999-09.

Usable Open Space -Amenities

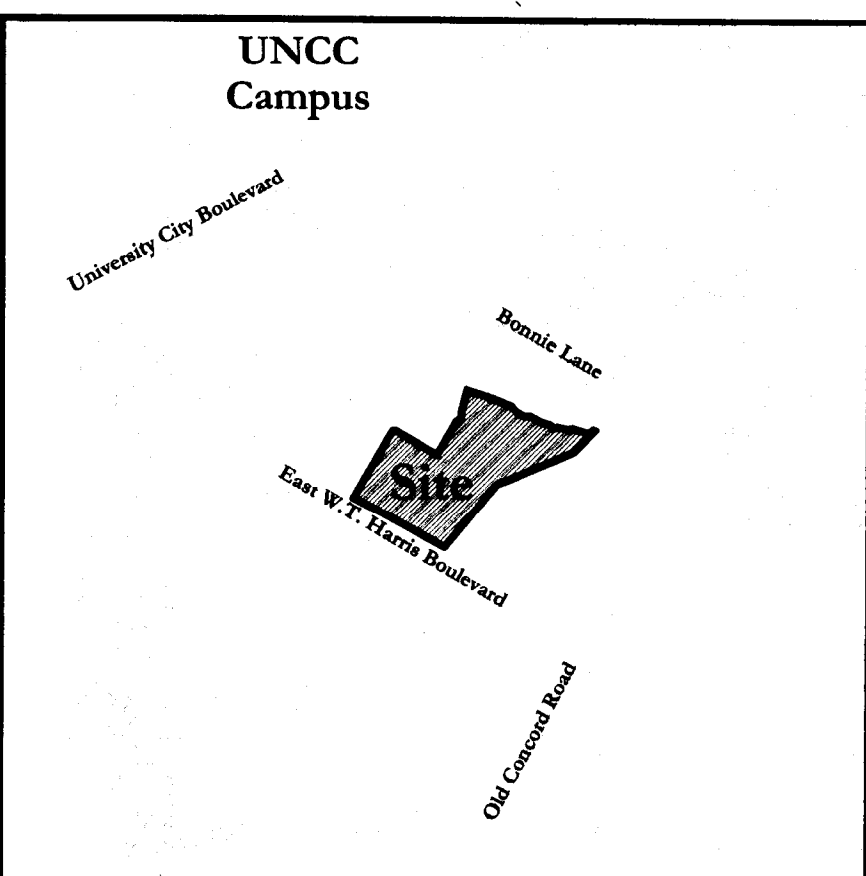
1. Usable open space areas that have been depicted on this Administrative Amendment Plan are preliminary in nature. At this time, the amenity program elements that may be incorporated into these areas have not been finalized, but may include the following such as: sport courts, walkways, benches, seating areas, lighting fixtures, and/or tables. The areas shown on this plan are subject to minor modifications and may increase and/or decrease in size in order to accommodate infrastructure and final building locations, transitional grading from parking lots, sidewalks, and/or driveways. Applicant also proposes to develop a project clubhouse, pool, and patio area for use by the residents. Clubhouse facility has meeting space and central gathering area which are provided for activities and use by residents. This facility is considered to be a part of the amenity program.

Stormwater

- Storm water will be managed strictly in accordance with requirements of the City of Charlotte.
- No stormwater detention facilities will be installed within the setback areas of buffer areas.
- The developer shall dedicate to the City as a permanent storm drainage easement along the stream at the rear of the property. This easement shall be 50' in width from the top of the stream bank of 50' from the property line, whichever is greater. Grading of this area shall not be permitted and the easement shall be left in its natural, undisturbed state during construction.
- The adjacent parcels on Robert Burns Court, Joyce Kilmer Drive, and Robert Frost Lane shall be included in the 100+1 Building Restriction Flood analysis. Any increase in the 100 year event water surface elevation shall be mitigated by the developer using storm water detention or channel improvements.
- Applicant commits to, in the event that if the proposed stormwater pond located between this property and the adjacent multi-family site is visible, it will be designed and constructed as part of the overall landscaping plan for the property.

Elevations- Architecture

- Building elevation concepts have been attached to communicate applicants intent to comply with building material, height, size and scale requirements as set forth in rezoning Petition 1999-09.
- Building Height- maximum building height, height ratio, and methods for calculation shall be in accordance with City of Charlotte zoning ordinance as described in Table 9.305(1)(j)(B).
- Design Guidelines- The petitioner commits to construct buildings housing the condominium units in a design style and with exterior materials that are substantially similar in quality and appearance to the character sketch submitted as part of this rezoning petition (1999-09) (see attached building elevations). Administrative Amendment as further illustrated on Sheet 3 of 3, to effectively "amend" Rezoning Petition 1999-09. (See sheet 3 of 3 for attached building elevations.)



Vicinity Map
Not to Scale

Site Data

Location:	Charlotte, NC
Parcel #:	049-41-201
Total Site Acreage:	+/- 22.4 Acres
Existing Zoning:	R-17MF (CD) Petition 1999-09
Total Units:	+/- 144 Units
Total Bedrooms:	+/-480 Bedrooms
Parking Provided:	+/-500 Spaces
Building Height:	40'
Building Separation:	16' Minimum
Yards/Setbacks Required:	
Setback	100' (W.T. Harris)
Rear Yard	40'; 50' adjacent to SF Zoning
Side Yard	10'
Open Space:	
Min. Required:	10.08 Acres (45%)
Provided:	10.08 Acres (45%)

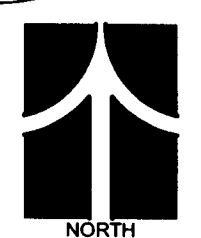
General Notes

- All site plan, zoning, and wetland information utilized in the preparation of this Sketch Plan is considered to be preliminary in nature and subject to change and final verification.
 - Administrative Amendment based on Rezoning Petition #1999-09
- Stream/Wetland Information**
- Stream Wetland information is based on preliminary information provided to ESP by Wetland & Natural Resources Consultants, Inc.
- Access Points/Driveways/Streets**
- Proposed project site entrance locations are considered preliminary in nature and need to be verified for adequate sight distance.
 - All roadway and street systems are proposed to be private. Private streets will need to be verified for sufficiency to satisfy or exceed minimum requirements established in the City of Charlotte Land Development Standards Manual and Subdivision Ordinances. Private street connections and proposed gate locations are preliminary and may be subject to change based on agency input and review.
- Potential Stormwater Quality Areas**
- Location of potential stormwater quality areas are conceptual and preliminary. The exact size and location of these areas will change as the client finalizes decisions regarding final layout, product allocation, parking, as design information is better defined.
- Public Information**
- ESP Associates is not responsible for plan deficiencies created by incorrect, incomplete, missing or outdated information derived from public sources such as GIS, Planning and Zoning departments.

ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: Feb. 19, 2013

BY: DEBRA D. CAMPBELL



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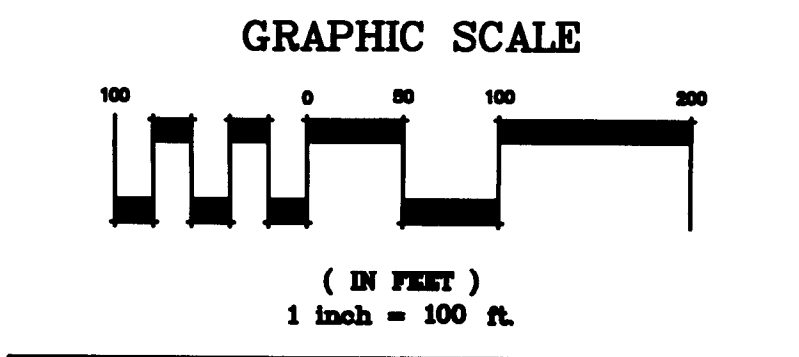


PROJECT LOCATION CHARLOTTE, NC

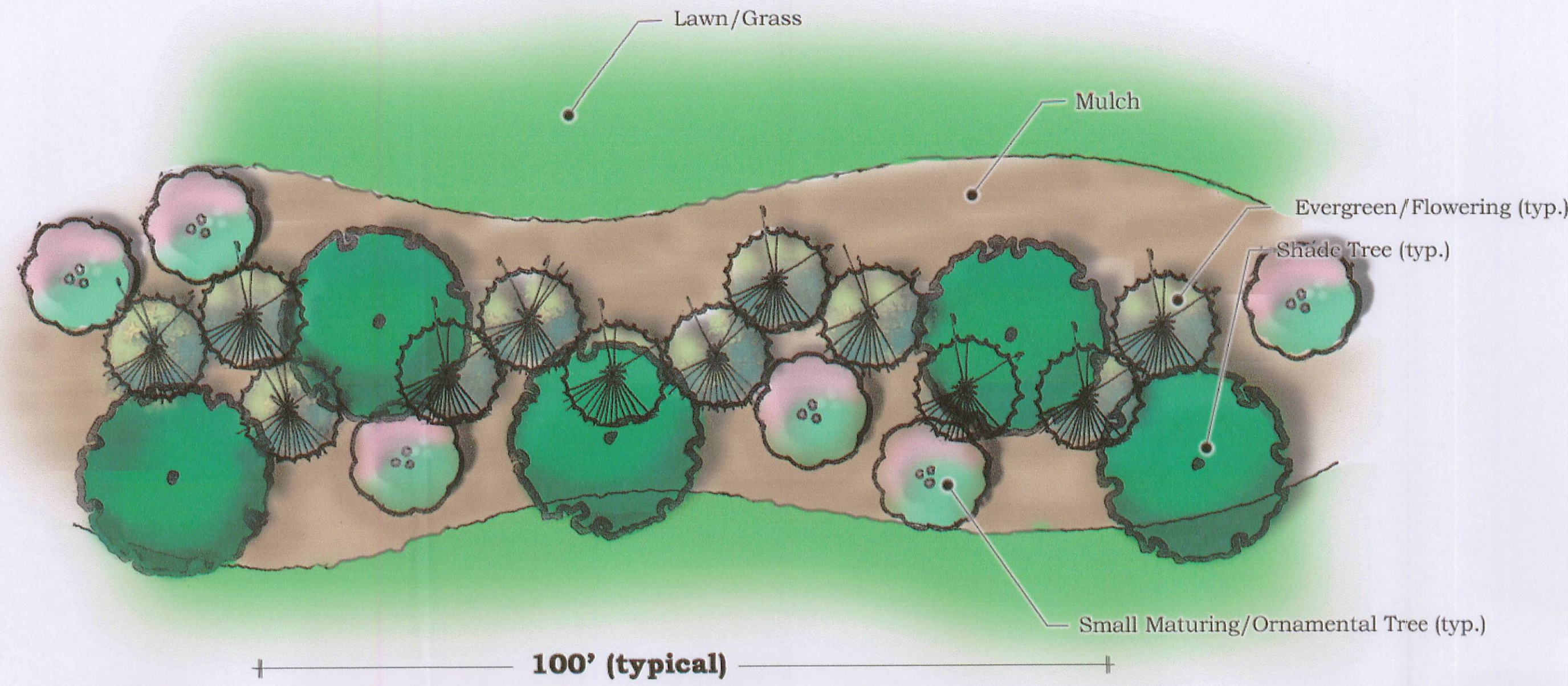
Aspen Heights Charlotte

Administrative Amendment Petition 1999-09

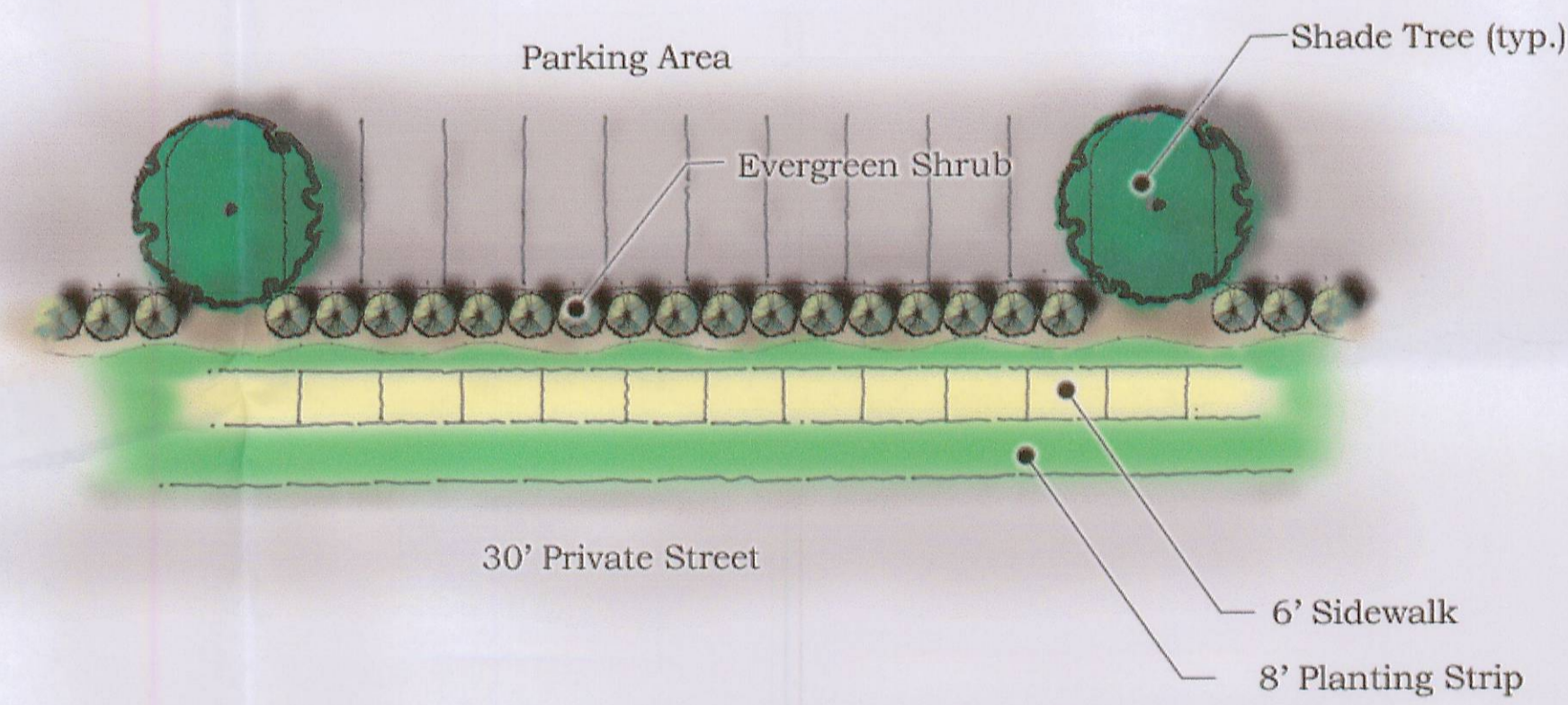
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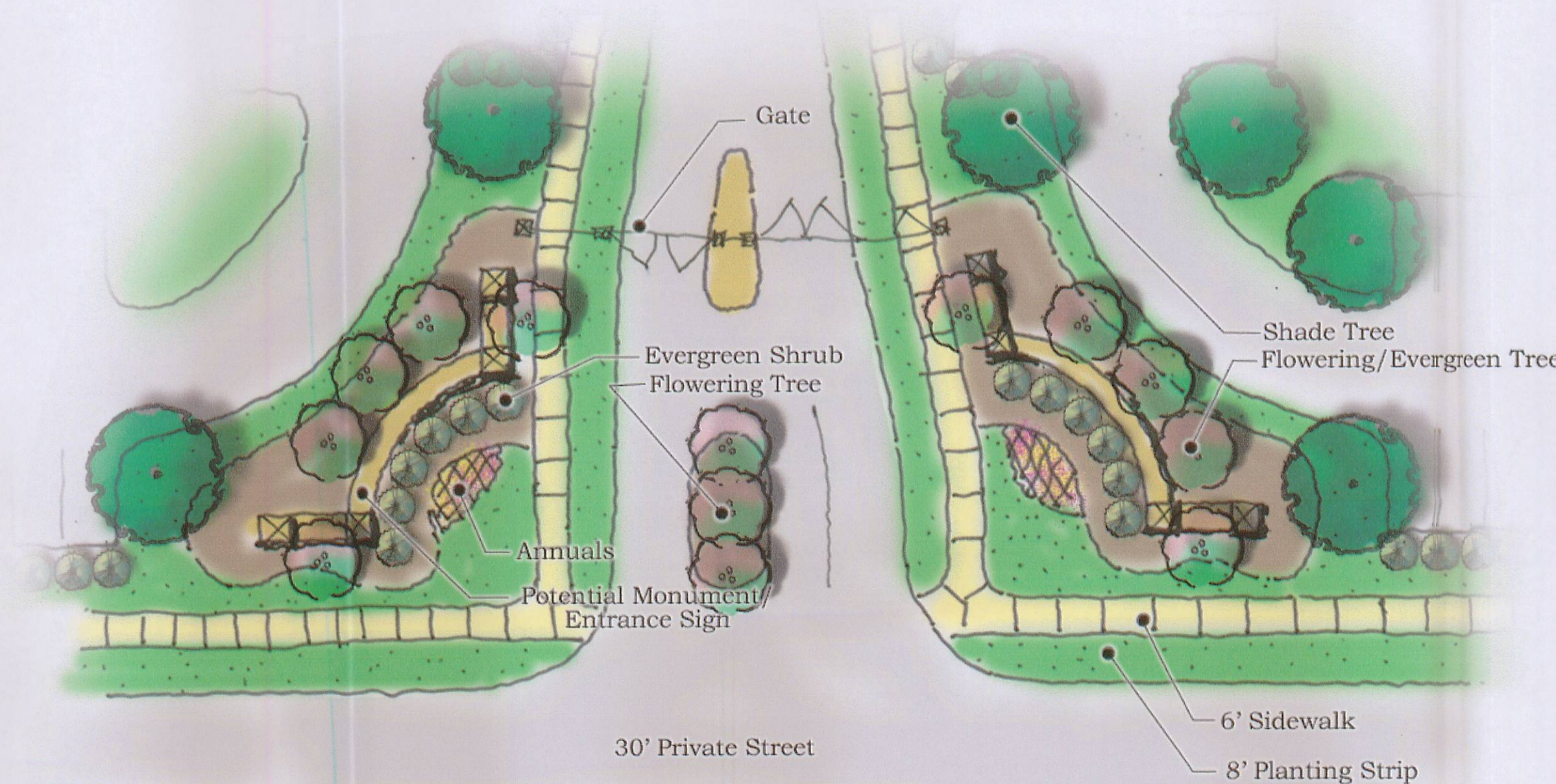
PROJECT NO		AM33.102	
DRAWING		AM33.102-MAST.dwg	
DATE		02/08/2013	
DRAWN BY		MM	
CHECKED BY		PT	
ESP / CLIENT REVISION			
NO.	DATE	BY	REVISION
AGENCY / SUBMITTAL REVISION			
NO.	DATE	BY	REVISION



Planting Detail "A" - Heather Mist Avenue & Western Property Line
Not to Scale



Planting Detail "B" - Typical Parking Area Screen/Streetscape Planting
Not to Scale



Planting Detail "C" - Conceptual Entryway Landscaping
Not to Scale

Planting Detail "A" Notes:

- Typical 100' planting section to include the following:
 -4 Shade trees
 -4-5 Small Maturing, Ornamental or Flowering Trees
 -20 Evergreen/Flowering Shrubs
- Trees to be a minimum of 2" caliper at time of planting
- Evergreen/Flowering shrubs to be a minimum of 2-1/2' tall at time of planting. Up to 25% of evergreen/flowering shrubs may be deciduous, and/or a minimum of 2' tall at time of planting.
- Trees and Shrubs shall be on the approved plant species list in the "Approved Plant Species" matrix in the Charlotte Land Development Standards Manual.
- Planting area to meet or exceed minimum code requirements and will be professionally landscaped.

Planting Detail "B" Notes:

- Detail provided to illustrate proposed required screening for parking areas abutting streets, private streets and/or right of ways (i.e.- proposed extension of Meadow Vista Road).
- Shrubs used in screening or landscaping of parking areas to be evergreen, at least 2' tall at time of planting. Average expected height of shrubs to be a minimum of 4' tall obtained within 4 years of planting assuming normal growing conditions.
- Trees and Shrubs shall be on the approved plant species list in the "Approved Plant Species" matrix in the Charlotte Land Development Standards Manual.
- Planting area to meet or exceed minimum code requirements and will be professionally landscaped. Parking lot Screening to be installed per Section 12.303 of the City of Charlotte Zoning Ordinance.

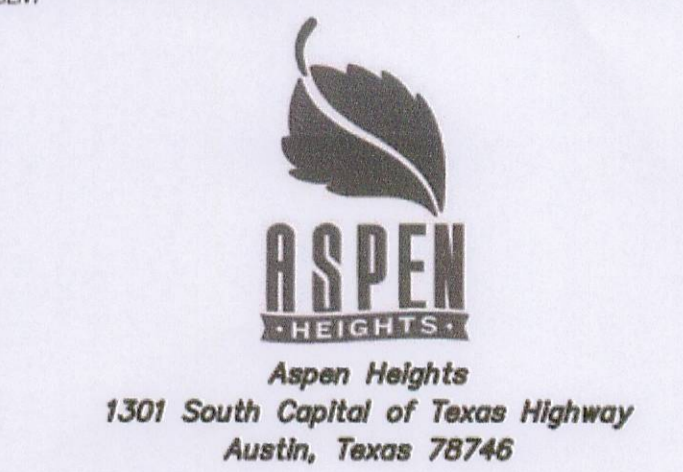
Planting Detail "C" Notes:

- Detail provided to illustrate proposed landscaping and planting concept for entrance areas.
- Shrubs utilized for landscaping to consist of a mixture of evergreen, deciduous, and flowering plant materials; and be at least 2' tall at time of planting. Average expected height of shrubs to be a minimum of 4' tall obtained within 4 years of planting assuming normal growing conditions. Monument sign area to be supported with groundcover material and/or flowering annuals.
- Trees and Shrubs shall be on the approved plant species list in the "Approved Plant Species" matrix in the Charlotte Land Development Standards Manual.
- Entrance Monument Concept depicted on Planting Detail C is for illustrative purposes as a design of these entryway features have not been finalized at this time.



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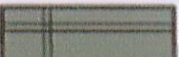

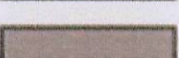

Administrative Amendment Petition 1999-09

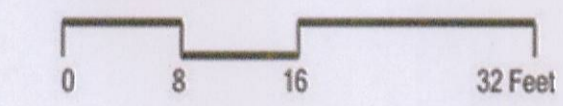
PROJECT LOCATION: CHARLOTTE, NC

PROJECT NO	AM33.102		
DRAWING	AM33_102-MAST.dwg		
DATE	02/06/2013		
DRAWN BY	MM		
CHECKED BY	PT		
ESP / CLIENT REVISION			
NO.	DATE	BY	REVISION



NOTE:
PROPOSED COLOR SCHEME
TO SHOW DESIGN INTENT
ONLY. ACTUAL MATERIAL
COLORS MAY VARY

-  SMOOTH HARDIE
PANEL & TRIM
-  HARDIEPLANK
LAP SIDING
-  4" FACE VENEER
BRICK
-  COMPOSITION
SHINGLE ROOF



EXTERIOR ELEVATIONS - 2 Bedroom Units

Student Housing - Aspen Heights
Charlotte, North Carolina

Job #: 13010.00
File Name: A-Elev
Date: 01-24-2013
Drawn by: LB







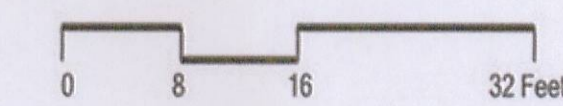
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BRICK
-  COMPOSITION
SHINGLE ROOF



EXTERIOR ELEVATIONS - 4 Bedroom Units

Student Housing - Aspen Heights
Charlotte, North Carolina

Job #: 13010.00
File Name: A-Elev
Date: 01-24-2013
Drawn by: LB



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PREVIOUS CONDITIONAL SITE PLAN

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HEATHERSTONE
 HERITAGE COMMITTEE
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TECHNICAL DATA SHEET
 PETITION #66-09

ADJOINING PROPERTY OWNERS

NEIGHBORHOOD MAP

DEVELOPMENT STANDARDS

SCHEMATIC SITE PLAN
 PETITION #66-09

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NEIGHBORHOOD MAP

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CHARLOTTE – MECKLENBURG

Planning Department

INTER - OFFICE COMMUNICATION

DATE: February 19, 2013

TO: Mark Fowler
Zoning Supervisor

FROM: Debra Campbell
Planning Director

SUBJECT: Administrative Approval for Petition 1999-009 (Aspen Heights fka Heatherstone)

Attached are revised plans for rezoning petition 1999-009. The site plan has been revised to modify the building layout and the building elevations for the undeveloped portion of subject rezoning (parcel 049-412-01).

Since these changes are minor and do not alter the intent of the development and meet the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, I am administratively approving these plans. Please use these plans when evaluating requests for building permits and certificates of occupancy.

Note all other ordinance requirements still apply.