

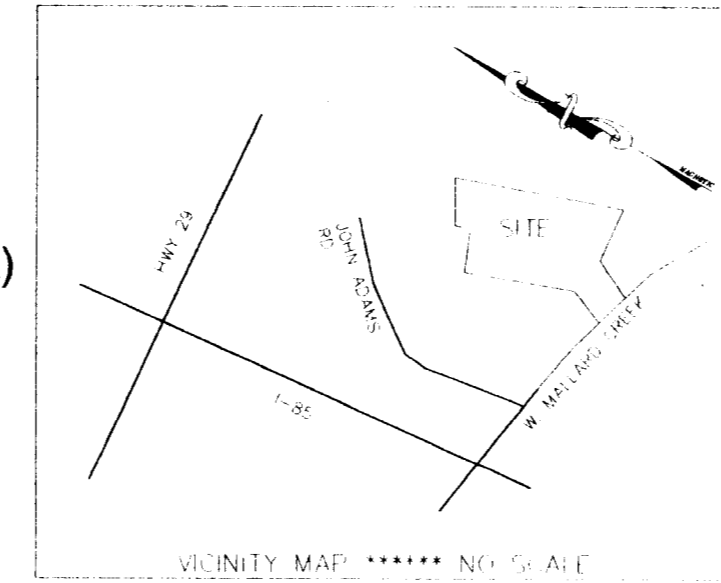
# Mallard Creek Church Road

Charter Properties

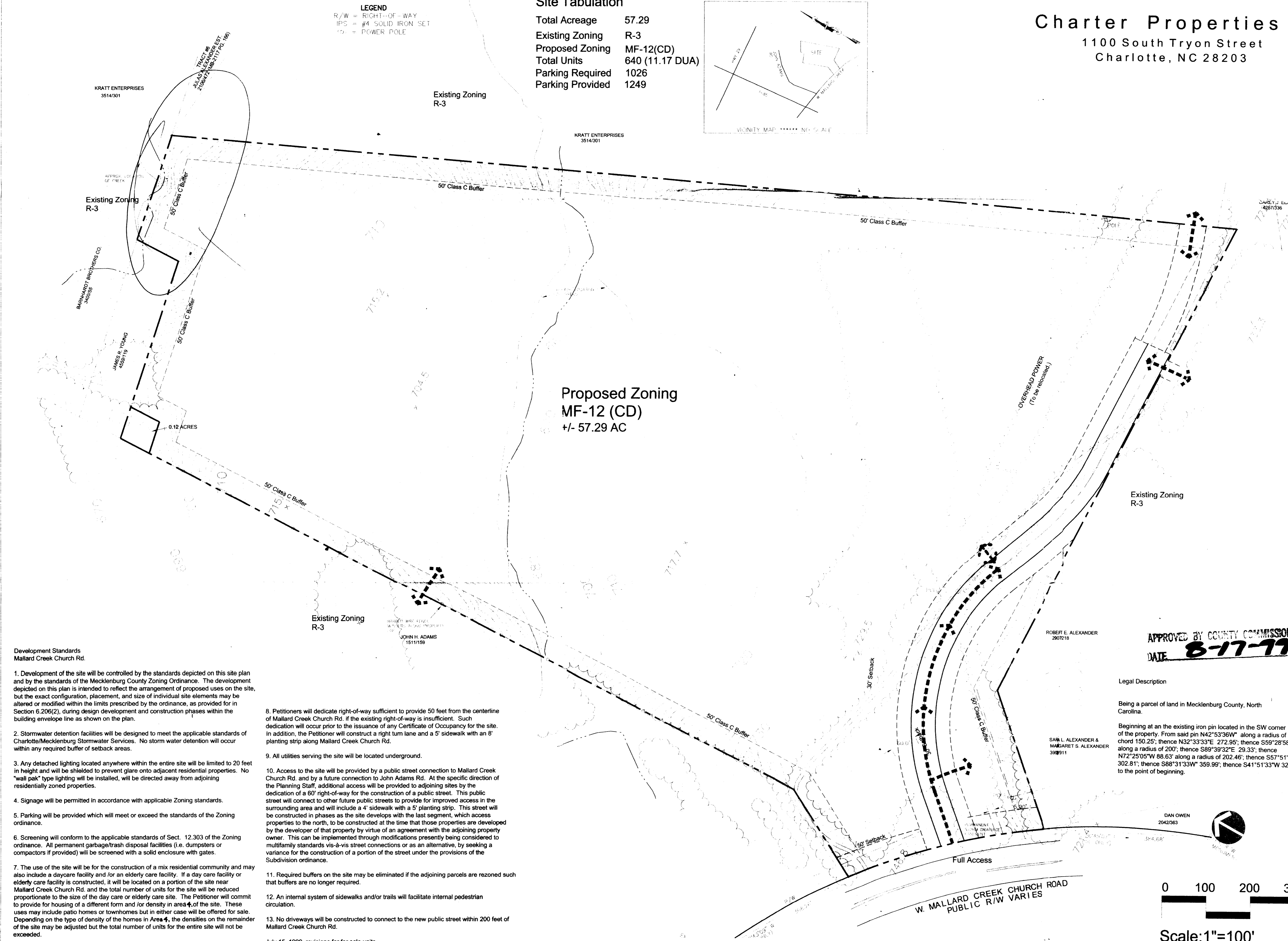
1100 South Tryon Street  
Charlotte, NC 28203

Site Tabulation

Total Acreage	57.29
Existing Zoning	R-3
Proposed Zoning	MF-12(CD)
Total Units	640 (11.17 DUA)
Parking Required	1026
Parking Provided	1249



LEGEND  
R/W = RIGHT-OF-WAY  
SPS = #4 SOLID IRON SET  
P = POWER POLE



- Development Standards  
Mallard Creek Church Rd.
- Development of the site will be controlled by the standards depicted on this site plan and by the standards of the Mecklenburg County Zoning Ordinance. The development depicted on this plan is intended to reflect the arrangement of proposed uses on the site, but the exact configuration, placement, and size of individual site elements may be altered or modified within the limits prescribed by the ordinance, as provided for in Section 5.206(C), during design development and construction phases within the building envelope line as shown on the plan.
  - Stormwater detention facilities will be designed to meet the applicable standards of Charlotte/Mecklenburg Stormwater Services. No storm water detention will occur within any required buffer of setback areas.
  - Any detached lighting located anywhere within the entire site will be limited to 20 feet in height and will be shielded to prevent glare onto adjacent residential properties. No "wall pack" type lighting will be installed, will be directed away from adjoining residentially zoned properties.
  - Signage will be permitted in accordance with applicable Zoning standards.
  - Parking will be provided which will meet or exceed the standards of the Zoning Ordinance.
  - Screening will conform to the applicable standards of Sect. 12.303 of the Zoning Ordinance. All permanent garbage/trash disposal facilities (i.e. dumpsters or compactors if provided) will be screened with a solid enclosure with gates.
  - The use of the site will be for the construction of a mix residential community and may also include a daycare facility and/or an elderly care facility. If a day care facility or elderly care facility is constructed, it will be located on a portion of the site near Mallard Creek Church Rd. and the total number of units for the site will be reduced proportionate to the size of the day care or elderly care site. The Petitioner will commit to provide for housing of a different form and/or density in area 4 of the site. These uses may include patio homes or townhomes but in either case will be offered for sale. Depending on the type of density of the homes in Area 4, the densities on the remainder of the site may be adjusted but the total number of units for the entire site will not be exceeded.

- Petitioners will dedicate right-of-way sufficient to provide 50 feet from the centerline of Mallard Creek Church Rd. if the existing right-of-way is insufficient. Such dedication will occur prior to the issuance of any Certificate of Occupancy for the site. In addition, the Petitioner will construct a right turn lane and a 5' sidewalk with an 8' planting strip along Mallard Creek Church Rd.
  - All utilities serving the site will be located underground.
  - Access to the site will be provided by a public street connection to Mallard Creek Church Rd. and by a future connection to John Adams Rd. At the specific direction of the Planning Staff, additional access will be provided to adjoining sites by the dedication of a 60' right-of-way for the construction of a public street. This public street will connect to other future public streets to provide for improved access in the surrounding area and will include a 4' sidewalk with a 5' planting strip. This street will be constructed in phases as the site develops with the last segment, which access properties to the north, to be constructed at the time that those properties are developed by the developer of that property by virtue of an agreement with the adjoining property owner. This can be implemented through modifications presently being considered to multifamily standards via-vis street connectors or as an alternative, by seeking a variance for the construction of a portion of the street under the provisions of the Subdivision Ordinance.
  - Required buffers on the site may be eliminated if the adjoining parcels are rezoned such that buffers are no longer required.
  - An internal system of sidewalks and/or trails will facilitate internal pedestrian circulation.
  - No driveways will be constructed to connect to the new public street within 200 feet of Mallard Creek Church Rd.
- July 15, 1999, revisions for sale units.

APPROVED BY COUNTY COMMISSION  
DATE: 8-17-99

Legal Description  
Being a parcel of land in Mecklenburg County, North Carolina.  
Beginning at an existing iron pin located in the SW corner of the property. From said pin N42°33'00"W along a radius of 1502.30' chord 150.20'; thence N32°33'33"E 272.95'; thence S59°28'58"W along a radius of 200'; thence S89°30'32"E 29.33'; thence N72°25'05"W 88.63' along a radius of 202.46'; thence S57°51'12"E 302.81'; thence S88°31'33"W 359.99'; thence S41°51'33"W 329.99' to the point of beginning.

For Public Hearings  
Petition # 99-13(c)  
Technical Data Sheet

Land Design, Inc.

DATE:	December 18, 1998
PROJECT NO.:	18035
REVISIONS:	February 12, 1999: Revised per Planning Commission review.
	April 7, 1999: Revised per Planning Commission review.
	April 30, 1999: Revised per Planning Commission review.
	July 6, 1999
	JULY 27, 1999

LandDesign, Inc.  
Landscape Architecture Urban Design  
Land Planning

# Mallard Creek Church Road

Charter Properties

1100 South Tryon Street  
Charlotte, NC 28203



AREA 1  
+/- 37.79 AC.  
MULTI FAMILY  
MAX 12 - 14 UNITS /ACRE

AREA 2  
MULTI FAMILY OR DAY  
CARE CENTER SITE  
+/- 1.5 AC  
MAX 24 UNITS

AREA 3  
+/- 1.5 AC  
MULTI FAMILY AT  
MAX 12 UNITS /ACRE OR  
DAYCARE

AREA 4  
+/- 16.5 AC.  
6 - 8 DUA FOR SALE  
(TOWN HOME OR PATIO HOME)

Scale: 1"=100'

Illustrative Site Plan

Land Design, Inc.

DATE:	December 18, 1998
PROJECT NO.:	18035
REVISIONS:	February 12, 1999: Revised per Planning Commission review.
	July 6, 1999: revisions
	JULY 12, 1999
	JULY 19, 1999
	JULY 27, 1999

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Note: Building footprints and site layout represent one alternative. The specific site layout of buildings, driveways, paving, open space and building configurations may change during detailed design and planned stages.