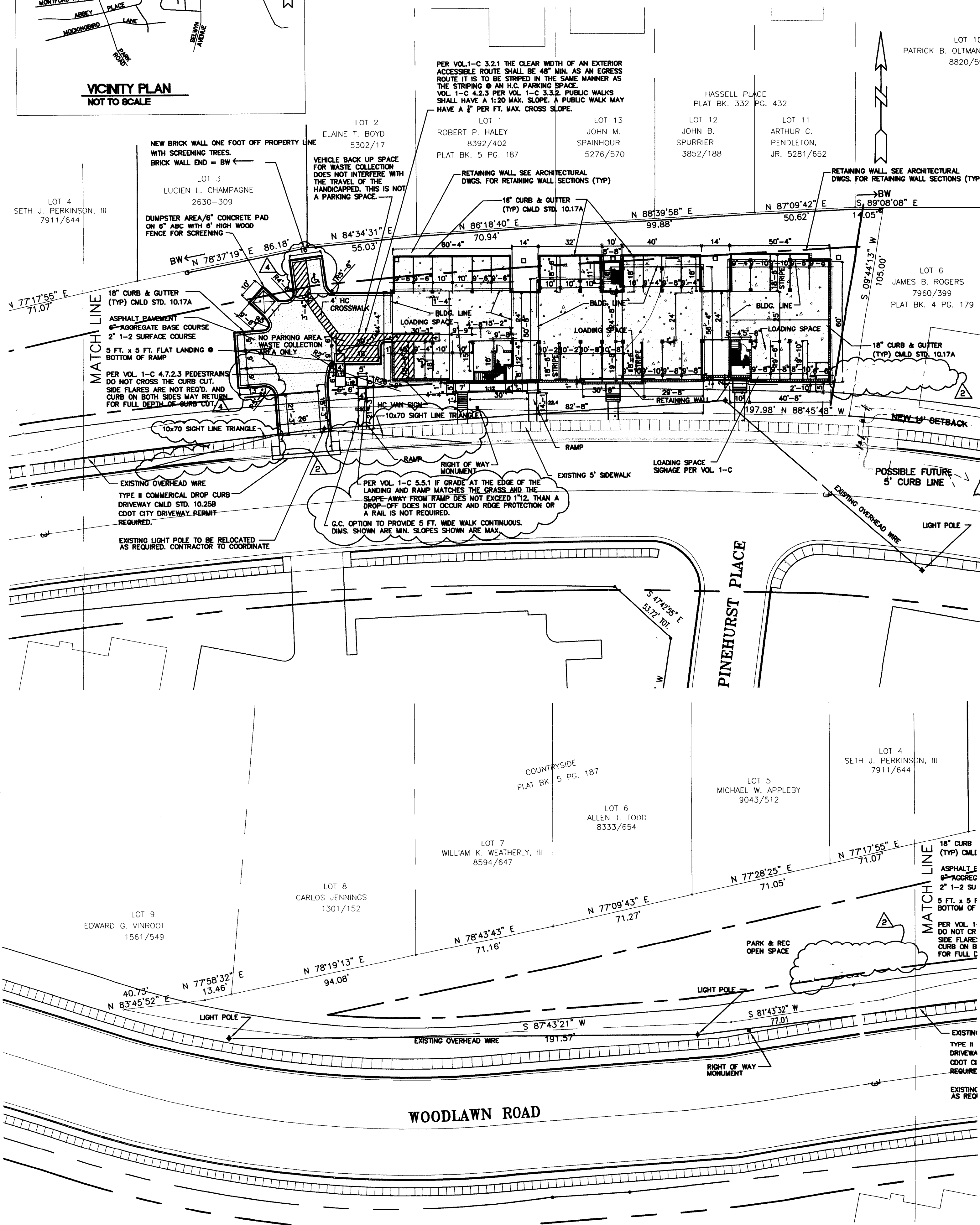


CAROLINAS DESIGN GROUP, PLLC
 CIVIL ENGINEERING • LAND SURVEYING • LAND PLANNING
 201 Second Avenue, Gastonia, NC 28052
 Phone: 704-854-9328 • 704-864-9007 • 704-865-8861
 Fax: 704-854-9328 • E-mail: cdg@carolinasdesign.com

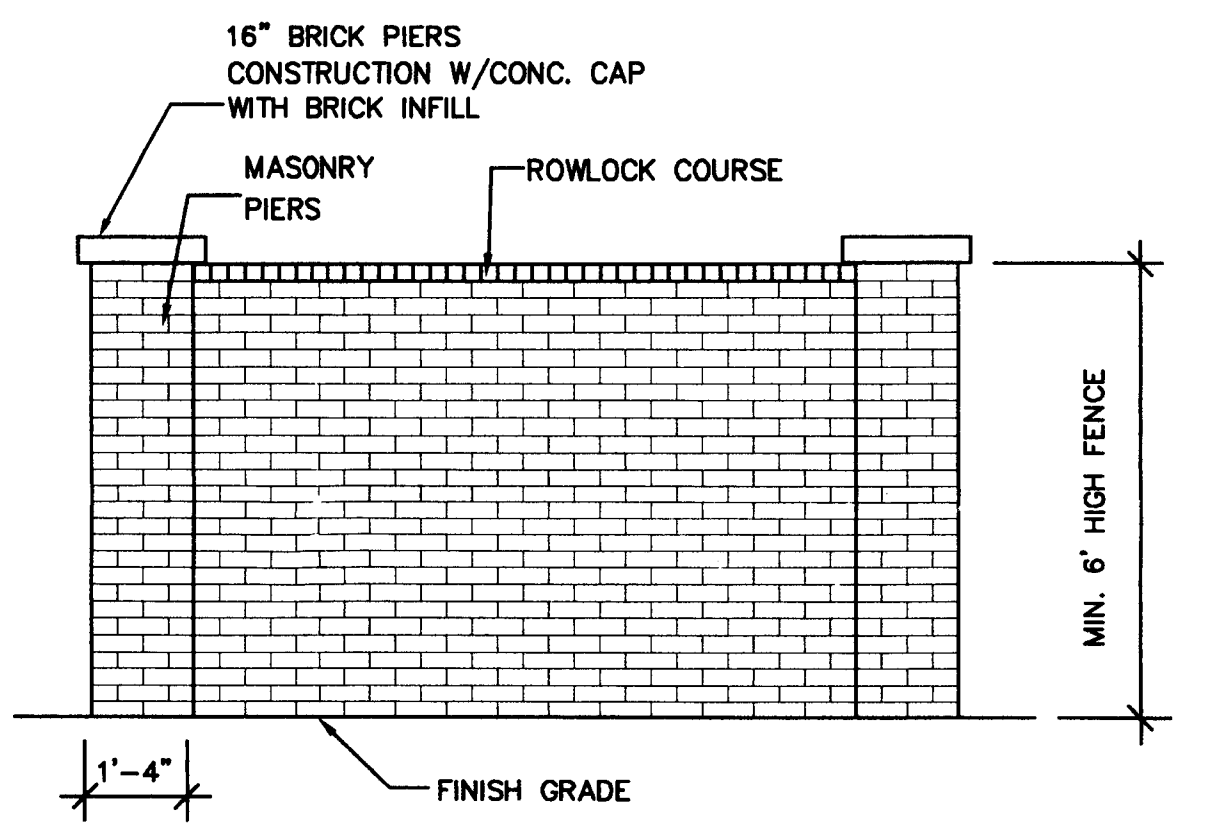


REZONING NOTES:

- THE PROPOSED SITE PLAN REPRESENTS A FIRM CONCEPT WITH REGARD TO THE ARRANGEMENT OF THE BUILDING, PARKING AND CIRCULATION LAYOUT. MINOR AND INCIDENTAL CHANGES ARE PERMITTED AS A MATTER OF RIGHT WHICH WOULD NOT ALTER THE BASIC RELATIONSHIP TO ADJUTING LAND. SUCH CHANGES WOULD BE BASED UPON FINAL DESIGN AND CONSTRUCTION DRAWINGS, SITE AND TOPOGRAPHIC CONSTRAINTS, TREE PRESERVATION EFFORTS, ETC.
- THE PROPOSED DEVELOPMENT SHALL BE LIMITED TO A MULTI-FAMILY DEVELOPMENT BUILDING CONTAINING (3) UNITS WITH A MAXIMUM OF SIXTEEN DWELLINGS. INCIDENTAL ACCESSORY STRUCTURES NORMALLY ASSOCIATED WITH SUCH DEVELOPMENT ARE ALSO PERMITTED.
- THE PROPOSED DEVELOPMENT SHALL COMPLY WITH ALL APPLICABLE ZONING ORDINANCE REGULATIONS PERTAINING TO, BUT NOT LIMITED TO SUCH THINGS AS: OFF-STREET PARKING, SIGNAGE, YARD DIMENSIONS, TREE ORDINANCE, SCREENING, ETC.
- SCREENING IN THE FORM OF A SIX-FOOT HIGH SCREENING FENCE CONSTRUCTED OF WOOD AND BRICK PILASTERS SHALL BE PROVIDED ALONG THE REAR PROPERTY LINE AS SHOWN ON THE PLAN. VEHICULAR INGRESS AND EGRESS SHALL BE PROVIDED FROM WOODLAWN ROAD BY WAY OF ONE DRIVEWAY CURB CUT. THE DRIVEWAY MAY SHIFT SLIGHTLY IF REQUIRED BY CHARLOTTE DEPARTMENT OF TRANSPORTATION REGULATIONS OR OTHER DESIGN NEEDS.
- THE PROPOSED BUILDING EXTERIOR FINISH SHALL BE A COMBINATION OF BRICK AND SIDING MATERIALS. THE OVERALL ARCHITECTURAL DESIGN OF THE BUILDING SHALL BE "TRADITIONAL" IN NATURE (ALSO, REFER TO ARCHITECTURAL ELEVATIONS).
- THE LOWER PORTION OF THE SITE SHALL REMAIN AS UNDISTURBED OPEN SPACE EXCEPT FOR UTILITY CONNECTIONS AND/OR REQUIRED IMPROVEMENTS (SEE ALSO NOTE 18).
- ANY TRASH DUMPSTER LOCATED ON THE SITE SHALL BE LOCATED WITHIN AN ENCLOSURE WITH GATES.
- THE MAXIMUM HEIGHT OF PARKING AREA LIGHTING SHALL BE TEN FEET. ALL OUTDOOR LIGHTING SHALL BE DESIGNED IN A FASHION TO DIRECT THE LIGHT AWAY FROM, OR SHIELD THE LIGHT FROM RESIDENTIAL AREAS.
- THE PETITIONER SHALL INSTALL RESIDENTIAL TYPE BUILDING SPRINKLERS.
- 4" DIAMETER CALIPER 18"-0" HIGH LARGE MATURING TREES PLANTED AT 30'-0" O.C. THAT WILL BE APPLIED TO THE REQUIREMENTS OF THE TREE ORDINANCE. THESE TREES WILL BE PLACED IN THE REAR YARD.
- PER C.D.O.T. APPROVAL 3/18/02, SITE IS AMENDED TO SHOW 5 FT. POSSIBLE FUTURE CURB LINE WITH A 14' SETBACK.
- THE PORTION OF THE REGULATED FLOODPLAIN ASSOCIATED WITH THE SITE SHALL REMAIN UNDISTURBED EXCEPT FOR ANY NECESSARY / REQUIRED UTILITY CONNECTION(S).
- THE REAR BUILDING SETBACK LINE SHALL BE A MINIMUM OF TWENTY FEET, AND AVERAGE 24'-0". THE SIDE YARD ADJACENT TO THE ROGERS PROPERTY SHALL BE AN AVERAGE OF 15 FEET.
- THE REAR BUILDING ELEVATION FACING THE REAR OF THE HASSELL PLACE RESIDENTS ADJOINING THE SITE SHALL CONSIST OF AN ALL MASONRY VENEER, WHICH MAY BE ACCENTED BY SIDING ON THE PERPENDICULAR AREAS NOT FACING THE HASSELL PLACE RESIDENTS.
- THE SITE DISCHARGES INTO A REGULATED FLOODPLAIN AND THUS NO STORMWATER RETENTION IS REQUIRED OR PROVIDED.
- THE ATTACHED ARCHITECTURAL ELEVATIONS ARE INTENDED TO DEPICT THE GENERAL ARCHITECTURAL STYLE OF THE BUILDINGS. MINOR CHANGES AND ALTERATIONS OF DETAIL WHICH DO NOT CHANGE THE OVERALL ARCHITECTURAL THEME/STYLE ARE PERMITTED BASED UPON FINAL DESIGN / CONSTRUCTION DRAWINGS. THE BUILDINGS MAY EMPLOY COMPLIMENTARY DIFFERENCES IN COLOR PERTAINING TO BRICK, ROOF SHINGLES AND TRIM ACCENTS.
- AS INDICATED ON THE SITE PLAN, THE LOWER PORTION OF THE SITE SHALL BE DEDICATED TO MECKLENBURG COUNTY PARKS AND RECREATION DEPARTMENT AS PASSIVE PUBLIC OPEN SPACE. THE AREA MAY BE IMPROVED BY THE ADDITION OF WALKING TRAILS, PICNIC TABLES, AND/OR OTHER SIMILAR FIXTURES. THE DEDICATION WILL OCCUR PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY ASSOCIATED WITH THE PROPOSED DEVELOPMENT.
- THE THREE BUILDINGS SHALL BE SEPARATED BY A MINIMUM DISTANCE OF 14 FEET AS SHOWN.
- THE WALL WILL BE BUILT AND COMPLETED IMMEDIATELY FOLLOWING THE GRADING AND SITEWORK FOR THE PROJECT, INCLUDING THE RETAINING WALLS OF THE APARTMENT BUILDINGS, AND PRIOR TO ANY ADDITIONAL CONSTRUCTION OR DEVELOPMENT BY PARK SELWYN LLC ON THE SITE.
- THE HOURS OF CONSTRUCTION WILL CONFORM TO APPLICABLE STATE AND LOCAL LAWS RESTRICTING CONSTRUCTION HOURS. ADDITIONALLY, NO EXTERIOR WORK OF ANY KIND WILL TAKE PLACE ON SUNDAYS. THERE WILL BE NO RESTRICTIONS ON TILING, PAINTING, OR SIMILAR INTERIOR WORK.

GENERAL SITE NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- SITE INFORMATION TAKEN FROM SURVEY BY DON ALLEN & ASSOCIATES P.A. DATED NOV. 1998.
- SEE ARCHITECTURAL PLANS FOR DETAILED BUILDING, SIDEWALK AND RAMP DIMENSIONS.
- CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS, WATER LINES, STORM DRAINAGE, LIGHT POLES, POWER POLES, ETC... WITH APPROPRIATE UTILITY COMPANIES.
- CONTRACTOR TO COORDINATE WITH OWNER AND PROJECT ENGINEER FOR EXISTING BUILDING DEMOLISHING AND ANY OTHER STRUCTURES WHICH MAY BE ON PROJECT SITE.
- CONTRACTOR TO COORDINATE ALL CONSTRUCTION IN R/W'S WITH N.C.D.O.T. AND CITY OF CHARLOTTE.
- ALL TRAFFIC SIGNS, STRIPE PAINTING ETC... TO CONFORM TO THE PRINCIPLES OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- ALL LANDSCAPING AREAS TO HAVE A MINIMUM WIDTH FROM BACK OF CURB TO BACK OF CURB; MINIMUM TOTAL AREA 200 SQUARE FEET PER TREE.
- ALL CONSTRUCTION TO CONFORM TO THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL DETAILS AND SPECIFICATIONS.



4 SCREEN FENCE W/ MASONRY PIERS
 C-1 NOT TO SCALE

SITE SUMMARY

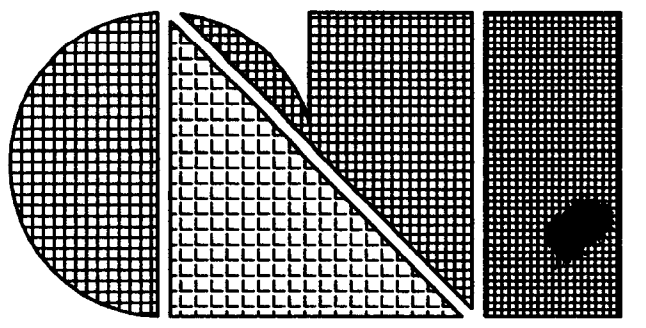
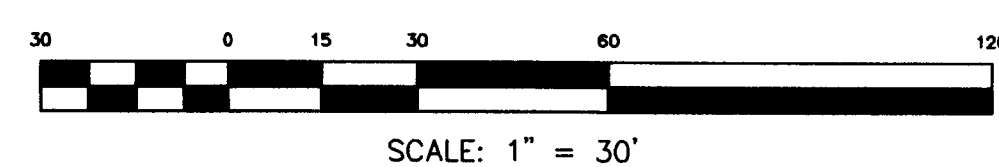
OWNER:	PARK SELWYN II LLC PO BOX 6122 CHARLOTTE, NC. 28207
TOTAL SITE AREA:	1.21 ACRES
EXISTING ZONING:	R-5
PROPOSED ZONING:	UR-2 (CD)
PROPOSED USE:	MULTIFAMILY RESIDENTIAL BLDGS (APARTMENTS)
PETITION NO.:	99-34
MAXIMUM NO. OF DWELLINGS:	16 units
PARKING REQUIRED:	24 spaces (1.5 PER UNIT X 16 UNITS = 24)
PARKING PROVIDED:	31 spaces 29 @ 9FT. X 18FT. 1 HC @ 13 FT. X 18 FT. 1 VAN-HC @ 16 FT. X 18 FT.
MINIMUM SETBACK:	14' 5" FEET FROM LINE OF FUTURE CURB
MINIMUM REAR YARD:	20 FEET
MINIMUM SIDE YARD:	10 FEET
MINIMUM LOT WIDTH:	20 FEET
MAXIMUM FLOOR AREA RATIO:	1.0
MAXIMUM EAVE HEIGHT: (REAR):	23'-5" FEET
MAXIMUM HEIGHT (TOP OF ROOF):	44'-8" FEET (AT ENDS TO GARAGE ENTRY)
AVERAGE HEIGHT:	37.5 FEET
MAXIMUM HT. AT REAR ELEV.:	40 FEET FROM EXISTING GRADE TO TOP OF ROOF.
SCREENING FOR PARKING:	AS REQUIRED
PLANTING STRIP:	MIN. 5 FEET WIDE
SCREENING HEIGHT:	2'-6" H (Evergreens) min. 5' O.C. 6 Ft. Ht. abutting Residential Area
EXIST. IMPERVIOUS AREA =	0.00 ACRES
PROP. IMPERVIOUS AREA =	0.40 ACRES

ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: April 1, 2002
 BY: MARTIN R. CRAMTON, JR.

CRAIG ENGINEERING SERVICES

CIVIL ENGINEERING & LAND PLANNING SERVICES
 106 W. THIRD AVENUE GASTONIA, NC 28052
 PHONE (704) 864-9007 FAX (704) 864-2487



C.L. Helt, Architect Inc.

1136 Greenwood Cliff
 Charlotte, NC 28204

Ph. 704-342-1686
 Fx. 704-343-0054
 E-MAIL CHELHELT@AOL.COM

ARCHITECT'S PROJECT # 98267

Project #
Park Selwyn Phase II
2000 E. Woodlawn Rd.
Charlotte, N.C.

Sheet Description #
Site Plan

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Drawn By:

Hooker

Checked By:

Craig

Revisions:

- Misc. 4/10/00
- Misc. 10/10/00
- Misc. 12/12/00
- Misc. 2/22/02

Date:

4-04-00

Sheet No.

C-1

of: C-5

CHARLOTTE - MECKLENBURG PLANNING COMMISSION
INTER - OFFICE COMMUNICATION

DATE: April 1, 2002

TO: Robert Brandon
 Zoning Administrator

FROM: Shad Spencer
 Land Development Planner

SUBJECT: Administrative Approval for Petition 99-34, Park Selwyn, LLC

Attached is a copy of the revised site plan for the above referenced rezoning petition located on the north side of Woodlawn Road just west of Selwyn Avenue. Also attached is a letter from C.L. Helt with C.L. Helt, Architect Inc. describing the requested administrative approval. This administrative approval eliminates the requirement for additional right-of-way dedication 50' from centerline and modifies the setback from the previously required 5' from the right-of-way to the current standard of 14' from the curbline at this site would only need to move 5'. The elevations, which were part of the original package, are still valid.

Since these changes are allowed according to section 6.206 of the City Zoning Ordinance, I am administratively approving this revised plan. Please use this revision when evaluating requests for building permits and certificates of occupancy.