

2 GRADING PLAN & PARKING LAYOUT
SCALE 1" = 40'-0"

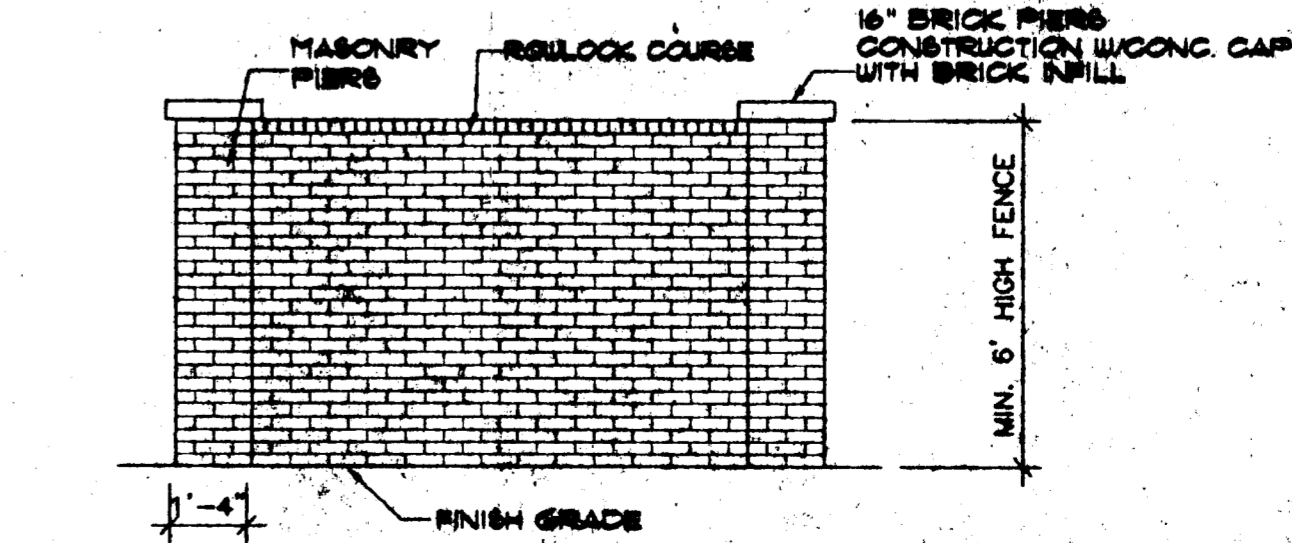
1 TOTAL SITE PLAN
SCALE 1" = 40'-0"

GENERAL NOTES:

1. THE PROPOSED SITE PLAN REPRESENTS A FIRM CONCEPT WITH REGARD TO THE ARRANGEMENT OF THE BUILDING, PARKING AND CIRCULATION LAYOUT. MINOR AND INCIDENTAL CHANGES ARE PERMITTED AS A MATTER OF RIGHT WHICH WOULD NOT AFFECT THE BASIC RELATIONSHIP TO ADJUTING LAND. SUCH CHANGES WOULD BE BASED UPON FINAL DESIGN AND CONSTRUCTION DRAWINGS, SITE AND TOPOGRAPHIC CONSTRAINTS, TREE PRESERVATION EFFORTS, ETC.
2. THE PROPOSED DEVELOPMENT SHALL BE LIMITED TO 3 MULTI-FAMILY DEVELOPMENT BUILDINGS CONTAINING A MAXIMUM OF SIXTEEN DWELLING UNITS. INCIDENTAL ACCESSORY STRUCTURES NORMALLY ASSOCIATED WITH SUCH DEVELOPMENT ARE ALSO PERMITTED.
3. THE PROPOSED DEVELOPMENT SHALL COMPLY WITH ALL APPLICABLE ZONING ORDINANCE REGULATIONS PERTAINING TO, BUT NOT LIMITED TO, SUCH THINGS AS: OFF-STREET PARKING, SIGNAGE, YARD DIMENSIONS, TREE ORDINANCE, SCREENING, ETC.
4. SCREENING IN THE FORM OF A SIX-FOOT HIGH SCREENING FENCE CONSTRUCTED OF WOOD AND BRICK PILASTERS SHALL BE PROVIDED ALONG THE PROPERTY LINE AS SHOWN ON THE PLAN. VEHICULAR INGRESS AND EGRESS SHALL BE PROVIDED FROM WOODLAWN ROAD BY WAY OF ONE DRIVEWAY CURB CUT. THE DRIVEWAY MAY SHIFT SLIGHTLY IF REQUIRED BY CHARLOTTE DEPARTMENT OF TRANSPORTATION REGULATIONS OR OTHER DESIGN NEEDS.
5. THE PROPOSED BUILDING EXTERIOR FINISH SHALL BE A COMBINATION OF BRICK AND SIDING MATERIALS. THE OVERALL ARCHITECTURAL DESIGN OF THE BUILDING SHALL BE "TRADITIONAL" IN NATURE (ALSO, REFER TO ARCHITECTURAL ELEVATIONS).
6. THE LOWER PORTION OF THE SITE SHALL REMAIN AS UNDISTURBED OPEN SPACE, EXCEPT FOR UTILITY CONNECTIONS AND/OR REQUIRED IMPROVEMENTS (SEE ALSO NOTE 1B).
7. ANY TRASH DUMPSTER LOCATED ON THE SITE SHALL BE LOCATED WITHIN AN ENCLOSURE WITH GATES.
8. THE MAXIMUM HEIGHT OF PARKING AREA LIGHTING SHALL BE TEN FEET. ALL OUTDOOR LIGHTING SHALL BE DESIGNED IN A FASHION TO DIRECT THE LIGHT AWAY FROM, OR SHIELD THE LIGHT FROM RESIDENTIAL AREAS.
9. THE PETITIONER SHALL INSTALL RESIDENTIAL TYPE BUILDING SPRINKLERS.
10. 4" DIAMETER CALIPER 18'-0" HIGH LARGE MATURING TREES PLANTED AT 30'-0" O.C. THAT WILL BE APPLIED TO THE REQUIREMENTS OF THE TREE ORDINANCE. THESE TREES WILL BE PLACED IN THE REAR YARD.
11. THE PETITIONER SHALL PROVIDE ADDITIONAL LAND ALONG THE SITE'S WOODLAWN ROAD FRONTAGE SUFFICIENT TO ESTABLISH A RIGHT-OF-WAY MEASUREMENT OF 30 FT. AS MEASURED FROM THE CENTERLINE OF THE ROAD. THE ADDITIONAL LAND SHALL BE DEDICATED AND THE DEDICATION SHALL OCCUR PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT ASSOCIATED WITH THE PROPOSED DEVELOPMENT.
12. THE PORTION OF THE REGULATED FLOODPLAIN ASSOCIATED WITH THE SITE SHALL REMAIN UNDISTURBED EXCEPT FOR ANY NECESSARY REQUIRED UTILITY CONNECTION(S).
13. THE REAR BUILDING SETBACK LINE SHALL BE A MINIMUM OF TWENTY FEET, AND AVERAGE 24'-0". THE SIDE YARD ADJACENT TO THE ROGERS PROPERTY SHALL BE AN AVERAGE OF 15 FEET.
14. THE REAR BUILDING ELEVATION FACING THE REAR OF THE HASSELL PLACE RESIDENTS ADJOINING THE SITE SHALL CONSIST OF AN ALL MASONRY VENER, WHICH MAY BE ACCENTED BY SIDING ON THE PERPENDICULAR AREAS NOT FACING THE HASSELL PLACE RESIDENTS.
15. THE SITE DISCHARGES INTO A REGULATED FLOODPLAIN AND THUS NO STORMWATER RETENTION IS REQUIRED OR PROVIDED.
16. THE ATTACHED ARCHITECTURAL ELEVATIONS ARE INTENDED TO DEPICT THE GENERAL ARCHITECTURAL STYLE OF THE BUILDINGS. MINOR CHANGES AND ALTERATIONS OF DETAIL WHICH DO NOT CHANGE THE OVERALL ARCHITECTURAL THEME STYLE ARE PERMITTED BASED UPON FINAL DESIGN / CONSTRUCTION DRAWINGS. THE BUILDINGS MAY EMPLOY COMPLIMENTARY DIFFERENCES IN COLOR PERTAINING TO BRICK, ROOF SHINGLES AND TRIM ACCENTS.
17. AS INDICATED ON THE SITE PLAN, THE LOWER PORTION OF THE SITE SHALL BE DEDICATED TO MECKLENBURG COUNTY PARKS AND RECREATION DEPARTMENT AS PASSIVE PUBLIC OPEN SPACE. THE AREA MAY BE IMPROVED BY THE ADDITION OF WALKING TRAILS, PICNIC TABLES, AND/OR OTHER PICKNICK AREA NECESSARY. THE DEDICATION WILL OCCUR PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY ASSOCIATED WITH THE PROPOSED DEVELOPMENT.
18. THE THREE BUILDINGS SHALL BE SEPARATED BY A MINIMUM DISTANCE OF 14 FEET AS SHOWN.
19. THE WALL WILL BE BUILT AND COMPLETED IMMEDIATELY FOLLOWING THE GRADING AND SITEWORK FOR THE PROJECT, INCLUDING THE RETAINING WALLS OF THE APARTMENT BUILDINGS, AND PRIOR TO ANY ADDITIONAL CONSTRUCTION OR DEVELOPMENT BY PARK SELWYN LLC ON THE SITE.
20. THE HOURS OF CONSTRUCTION WILL CONFORM TO APPLICABLE STATE AND LOCAL LAWS RESTRICTING CONSTRUCTION HOURS. ADDITIONALLY, NO EXTERIOR WORK OF ANY KIND WILL TAKE PLACE ON SUNDAYS. THERE WILL BE NO RESTRICTIONS ON TILING, PAINTING, OR SIMILAR INTERIOR WORK.

SITE DATA:

TOTAL ACREAGE:	1.21 ACRES
EXISTING ZONING:	R-5
PROPOSED ZONING:	UR-2 (CD)
PROPOSED USE:	MULTIFAMILY RESIDENTIAL BLDGS
MAXIMUM NO. OF DWELLINGS:	16 UNITS
PARKING REQUIRED:	24.0 SPACES
PARKING PROVIDED:	33 SPACES
MINIMUM SETBACK:	5 FEET
MINIMUM REAR YARD:	20 FEET
MINIMUM SIDE YARD:	10 FEET
MINIMUM LOT WIDTH:	20 FEET
MAXIMUM FLOOR AREA RATIO:	1.0
MAXIMUM GROUND HEIGHT (REAR):	23'-5" FEET
MAXIMUM HEIGHT (TOP OF ROOF):	44'-6" FEET (AT ENDS TO GARAGE ENTRY)
AVERAGE HEIGHT:	37'-5" FEET
MAXIMUM HT. AT REAR ELEV.:	40 FEET FROM EXISTING GRADE TO TOP OF ROOF.
SCREENING FOR PARKING:	AS REQUIRED
PLANTING STRIP:	MIN. 5 FEET WIDE
SCREENING HEIGHT:	2'-8" H (Evergreens) min. 5' O.C. / 6" H. abutting Residential Area



4 SCREEN FENCE W/ MASONRY PIERS
NOT TO SCALE

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Petition No. 99-34
2003 WOODLAWN ROAD

ARCHITECT'S PROJECT #

Project #
WOODLAWN ROAD PROJECT

Sheet Description #
SITE PLAN / GRADING PLAN

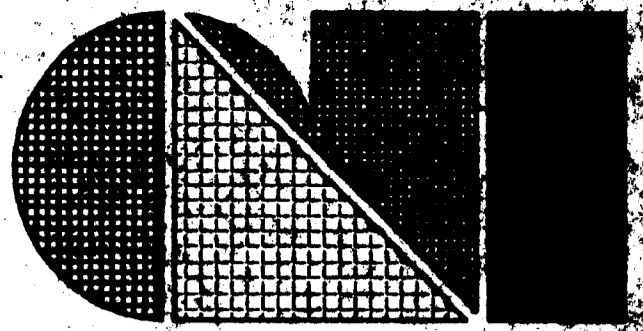
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Checked By:
C. L. HOLT

Revisions:
10/13/98

Scale:
Date:
10/98



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ARCHITECT'S PROJECT # 96267.00

Project:
WOODLAWN ROAD PROJECT

WOODLAWN RD
W, N.C.

Sheet Description:
SECTION STUDY

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E.M.

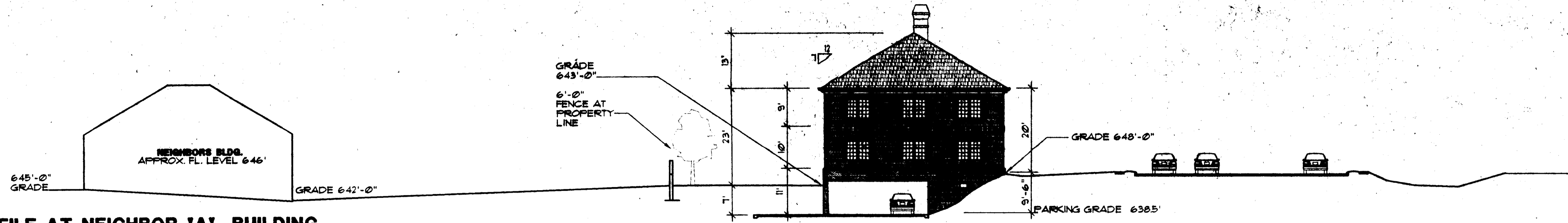
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C. L. HELT

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① 04/09/99
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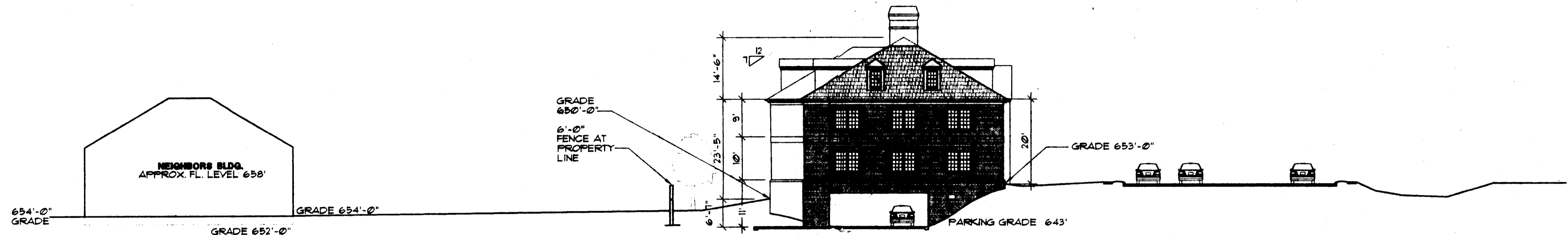
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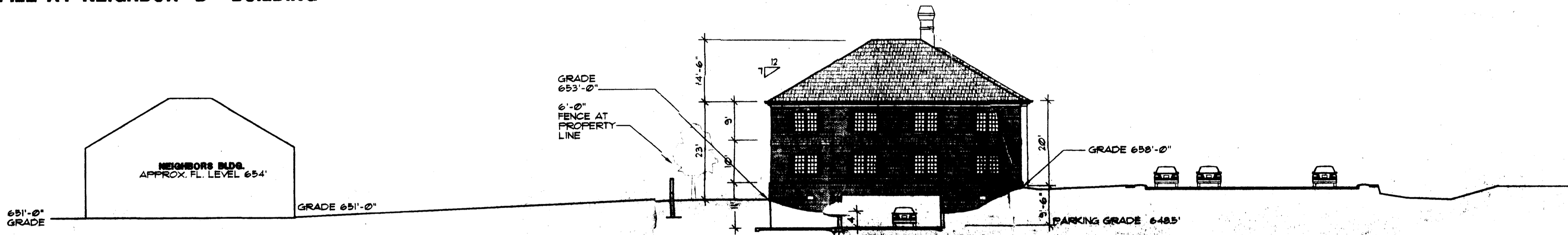
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of 1



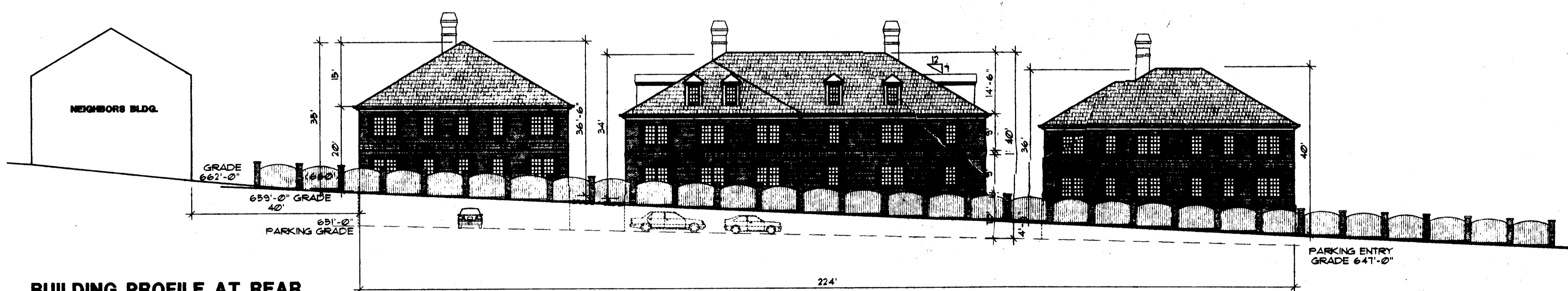
BUILDING PROFILE AT NEIGHBOR 'A' BUILDING



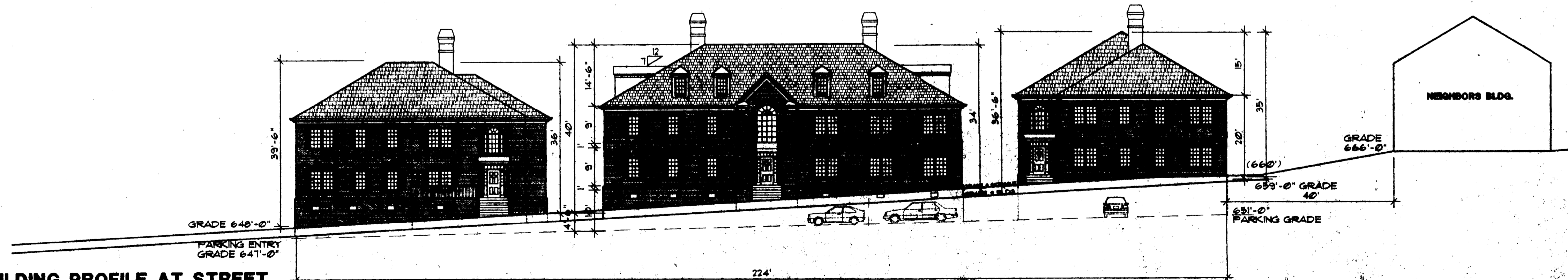
BUILDING PROFILE AT NEIGHBOR 'B' BUILDING



BUILDING PROFILE AT NEIGHBOR 'C' BUILDING



BUILDING PROFILE AT REAR



BUILDING PROFILE AT STREET