

# General Notes: 99-71c

1. Boundary information taken from survey by R.B. Pharr & Assoc., P.A., dated 8/21/99. Topographic information from digital topographic by Mecklenburg County Mapping / GIS services.
2. The percentage of open space within the project shall meet or exceed the minimum requirements as in the Mecklenburg County Zoning Ordinance.

## Development Standards:

### General Provision

Unless more stringent standards are established by the Technical Data Sheet or these Development Standards, all development standards established under Mecklenburg County Zoning Ordinance (the "Ordinance") for the R-8 M.F. zoning district classification shall be followed in connection with development taking place on this site.

The building configurations, placements and sizes as well as the locations of all development shown on the Schematic Site Plan (Sheet RZ-2) are schematic in nature and may be altered or modified during design, development and construction document phases. Final site plan must be approved through the standard planned multi-family review process as required by Zoning Ordinance and CMPC procedures.

### Permitted Uses

Uses on this site shall consist of 92 Residential for sale attached units along with all accessory and incidental user allowed by right or under prescribed conditions in the R-8 M.F. district.

### Buffer Areas

- (a) Buffer areas established on this Technical Data Sheet shall conform to the standards of Section 12.302 of the Ordinance; subject, however, to the provisions of Section 12.304 thereof.
- (b) Buffer areas shall remain as open space and, subject to the provisions of paragraph (c) and (d) below, will remain undisturbed.
- (c) Where there are existing trees, the Petitioner reserves the right to clear, grade and fill within the first 15 feet on the interior side of the buffer and, where buffer areas are open, Petitioner reserves the right to grade and to create berms.
- (d) The Petitioner reserves the right, within all portions of buffer areas, to install utilities and pedestrian paths. However, utility installations may only cross buffer areas at interior angles measured at the property line which are not greater than 75 degrees.
- (e) No buildings, parking spaces or maneuvering areas except street crossings may be placed within the buffer areas.
- (f) Where existing trees and natural vegetation have been cleared to accommodate pedestrian sidewalks or paths or the installation of utilities, the cleared unimproved areas of the buffer shall be landscaped with trees and shrubs.
- (g) In the event zoning or uses on the adjacent property should change at some point in the future so that the buffer requirement changes or is not required, then the buffers specified on the Technical Data Sheet shall change accordingly.
- (h) Existing buffers will remain undisturbed and any necessary additional planting to meet Ordinance requirements will be provided.

### Access Points

Direct vehicular access to the Site will be limited to the access points shown on the Technical Data Sheet and will be located in the general area depicted. The configurations and ultimate locations of these access points are subject to any minor modifications required to accommodate final site and architectural plans and designs. All driveways shall be subject to approval by the Mecklenburg County Engineering Department and, if applicable, NCDOT.

### Parking

- (a) The parking spaces depicted on the Schematic Site Plan (Sheet RZ-2) may vary in layout and location but, in all events, will be sufficient to satisfy the minimum offstreet parking standards established under the Ordinance, including Sections 12.203(1) and 12.303(2) of the Ordinance.
- (b) No parking will be permitted within buffer areas or setback areas.

### Lighting

All direct lighting shall be designed such that direct illumination does not extend past any exterior property line. Consideration will be given to the impact of intensity, cutoff angles, color, energy efficiency and shielding of sources of light, the intent being to eliminate glare towards adjacent properties.

### Signs

A uniform signage and graphic system will be employed within the site. All signs placed on the Site will be erected in accordance with the requirements of the Ordinance.

### Fire Protection

Adequate fire protection in the form of fire hydrants will be provided to the Mecklenburg County Fire Marshal's standard specifications.

### Landscaped areas and screening

- (a) Screening shall conform with the standards and treatments specified in section 12.303 of the Ordinance.
- (b) Except as required for entryways and grading required for John Adams roadway improvements, all trees 4" in caliper or greater will be saved in the 30' setback from John Adams Road.

### Design Standards

- (a) All parking spaces within the site will be screened from public streets and abutting and adjoining properties in accordance with Section 12.303 of the Ordinance.
- (b) Dumpsters, if provided, will be screened in accordance with the Ordinance. Each dumpster area will be enclosed on all four sides by a wooden fence or brick wall with one side being a hinged gate.
- (c) Where the rear of units face John Adams Road, a minimum of 15' of existing trees will be preserved and additional screening will be provided to substantially screen all exterior uses (patios, gardens, mechanical equipment, etc.) from view.
- (d) Petitioner's side of John Adams Rd. will be improved along the frontage with curb and gutter, a 5' sidewalk with an 8' planting strip; except that 8' planting strip will be reduced at creek crossing where insufficient shoulder is available. (Handrail will be provided at this point.)
- (e) Prior to development, a detailed wetlands assessment will be conducted on the property, and if any wetlands exist they shall be protected or mitigated as required by state and federal laws and regulations. Buildings shall be no more than three stories and 45' in height.
- (f) The "possible pool and/or recreation area" noted at south side of creek may have parking on south side of creek with associated drive, or parking may be provided on north side of creek with pedestrian access across creek.

### Storm Drainage Management

Storm water runoff from the Site will be managed through proven techniques which satisfy the standards imposed by the Mecklenburg County Engineering Department.

Above grade stormwater detention will not be provided in buffers or setbacks. Stream buffers will be provided on this site in accordance with applicable "SWM" stream buffer regulations (even if they have not yet been adopted at time of this approval). (50' each side of creek from top of bank).

The following agencies must be contacted prior to construction regarding possible need for wetland and water quality permits:  
Section 401 Permit NCEHNR - Raleigh office  
Section 404 Permit U.S. Army Corps of Engineers



DPR ASSOCIATES, INC.  
Landscape Architects  
Planners & Engineers  
420 Hawthorne Lane  
Charlotte, NC 28204  
704/332-1204



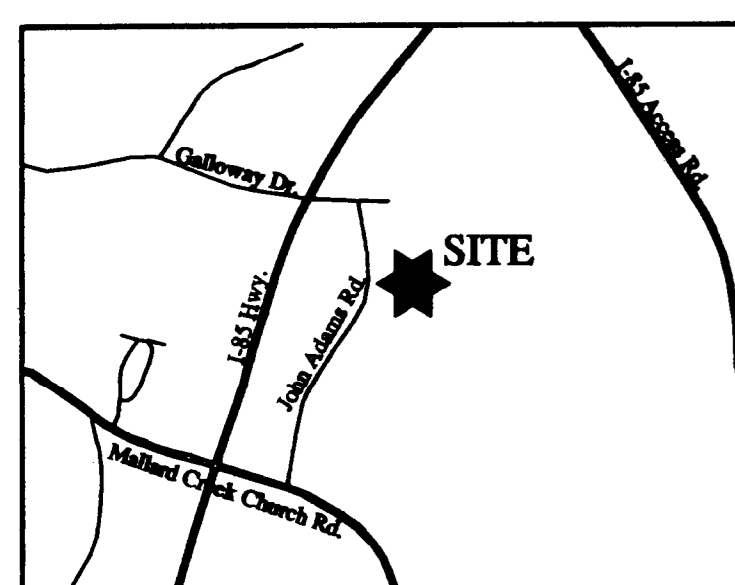
Scale: 1" = 60'

Sheet Number  
**RZ-1\***

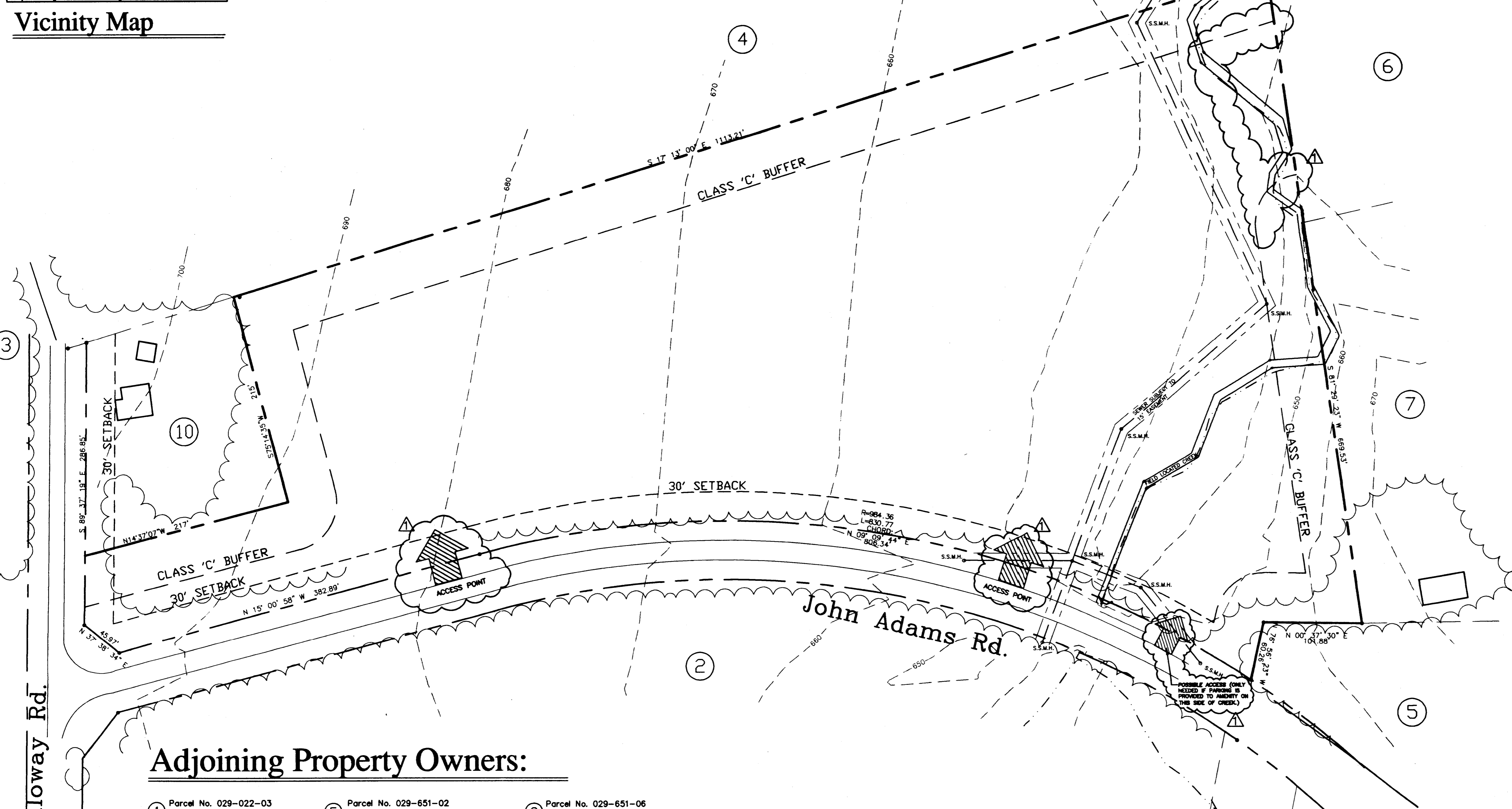
\*NOTE: This is supplemental RZ-1 showing changes which are being made in revision/review process. It is same as "official RZ-1" except **A** is being shown for ease of staff review.

## Development Data:

Total Area (to existing R/W): ±11.71 AC.  
 Existing Zoning: R-3  
 Proposed Zoning: R-8MF(CD)  
 Proposed Use: Multifamily  
 Maximum Proposed Development: 92 Units



Vicinity Map



## Adjoining Property Owners:

- |  |  |  |
|--|--|--|
| 1 Parcel No. 029-022-03<br>Ronald M. Perry<br>10001 John Adams Rd.<br>Charlotte, NC 28262          | 5 Parcel No. 029-651-02<br>John Hope & wf Lois Adams<br>923 W. Mallard Creek Church Rd.<br>Charlotte, NC 28262 | 8 Parcel No. 029-651-06<br>Miranda Boger<br>131 Harrell St.<br>Salisbury, NC 28144                                 |
| 2 Parcel No. 029-022-04<br>Saha International Corp.<br>3815 Yorkford Dr.<br>Charlotte, NC 28269    | 6 Parcel No. 029-651-03<br>Russell Frank Trust Co % Mary Robins<br>P.O. Box 1454<br>Tacoma, WA 98410           | 9 Parcel No. 029-651-07<br>Kratz Enterprises<br>2755 Two First Union Center<br>Charlotte, NC 28282                 |
| 3 Parcel No. 029-111-04<br>James Watts Garrison<br>1124 Galloway Rd.<br>Charlotte, NC 28262        | 7 Parcel No. 029-651-05<br>James R. & wf Vera Elizabeth Young<br>2126 Syracuse Dr.<br>Charlotte, NC 28216      | 10 Parcel No. 029-111-07<br>Carter Robert Proctor & wf Ella Wilson<br>119 Galloway Rd.<br>Charlotte, NC 28262-2401 |
| 4 Parcel No. 029-111-06<br>Kratz Enterprises<br>2755 Two First Union Center<br>Charlotte, NC 28282 |  |  |

# For Public Hearing Document Technical Data Sheet

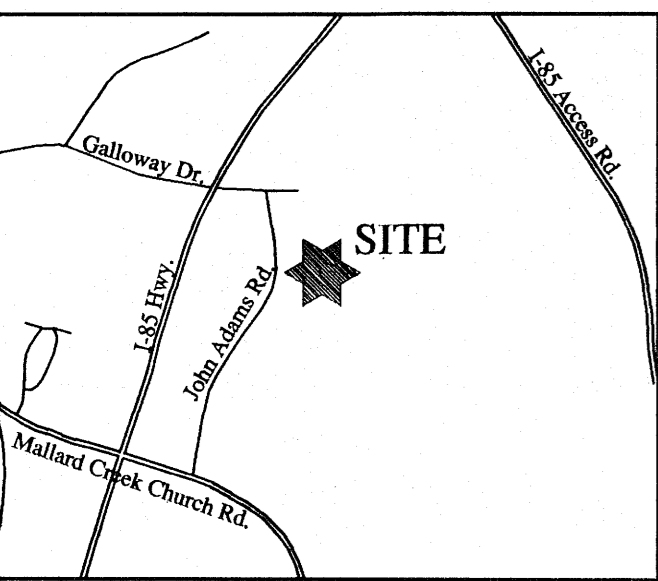
Petition #: 99-71c

# JOHN ADAMS ROAD SITE

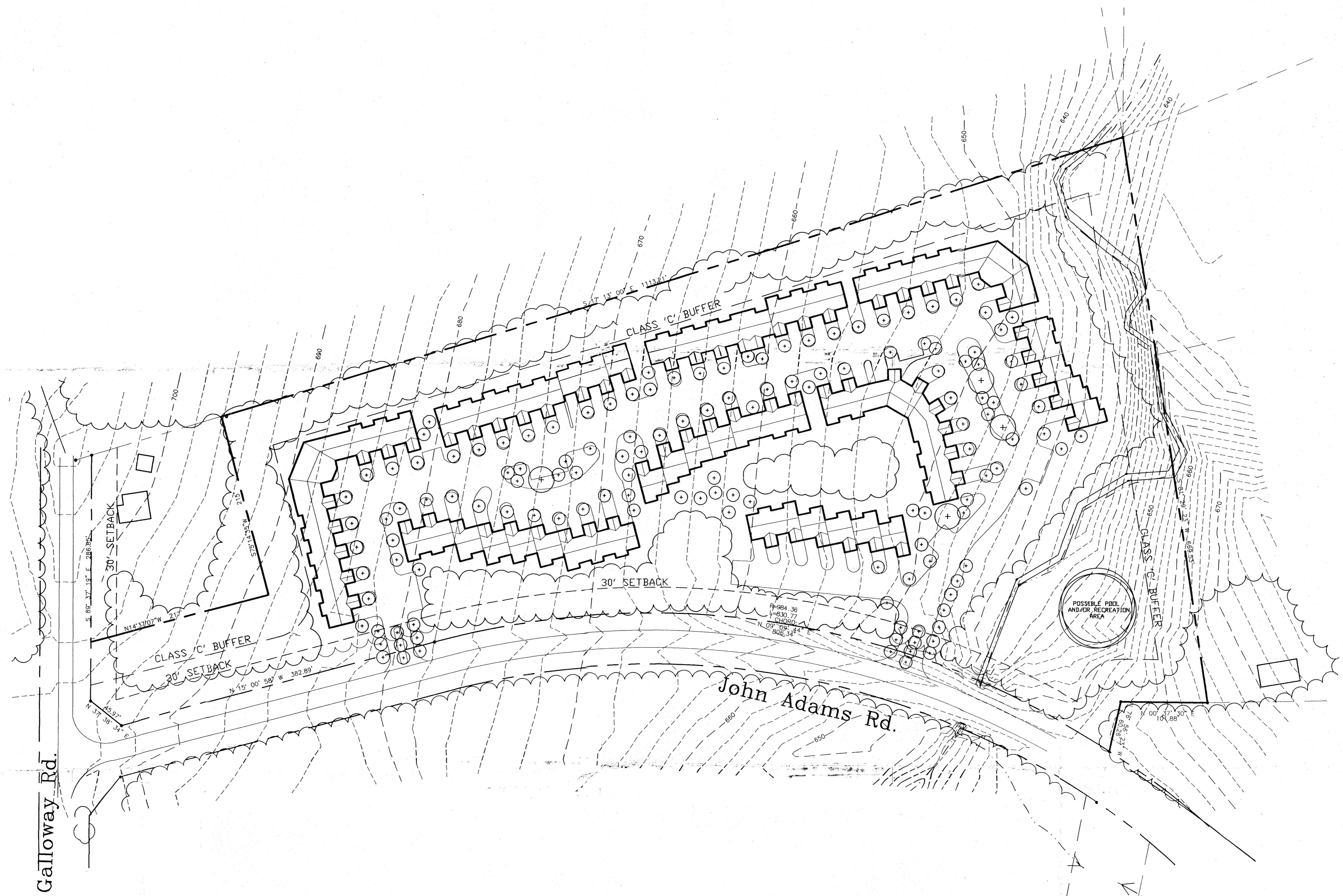
LAKE SHORE II, L.L.C.  
MALLARD CREEK TOWNSHIP, MECKLENBURG COUNTY

Revision Key:  
▲ 12/2/99 - revised per CMPC staff review comments

Project Manager	LM
Drawn By	LMjr
Checked By	
Date	8/20/99
Project Number	99093.01



Vicinity Map



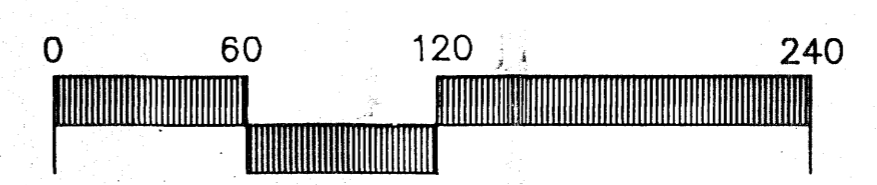
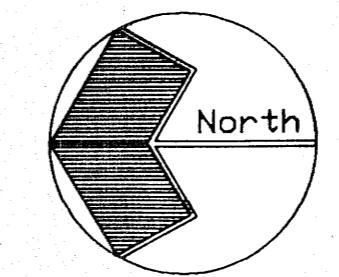
# Schematic Site Plan

Petition #: -

# JOHN ADAMS ROAD SITE

LAKE SHORE II, L.L.C.  
MALLARD CREEK TOWNSHIP, MECKLENBURG COUNTY

Project Manager	LM
Drawn By	LM Jr
Checked By	
Date	8/20/99
Project Number	99093.01



Scale: 1" = 60'



**DPR ASSOCIATES, INC.**  
Landscape Architects  
Planners & Engineers  
420 Hawthorne Lane  
Charlotte, NC 28204  
704/332-1204

Sheet Number

**RZ-2**